AGENDA
Regular Hybrid Meeting
Town of Granby
Inland Wetlands and Watercourses Commission
Wednesday, August 13, 2025, at 7:00 pm
Town Hall Meeting Room

Live Stream Under "Shows and Spotlight": www.gctv16.org
Zoom: https://us02web.zoom.us/j/87386677289?pwd=Nr6FnYPzzWRYcp0i2jrVT2obZsh2ik.1
Call In: 929-205-6099
Meeting ID: 873 8667 7289
Passcode: 856137

1. Call to Order

2. Action on the minutes of July 9, 2025

3. Permit Requests
   a. 129 Barn Door Hills Road – D. Weiss – Permit request to install a ground-mount solar array with associated electrical conduit within a regulated area. (Received and continued from 7/9/25)
   b. 175 Salmon Brook Street – A. Schultz c/o the Friends of Granby Wildflower Meadow – Permit request to construct an access drive and parking lot within a regulated area. (To be received)
   c. 17 Harness Way – J. Scanlan – Permit request to construct an 880 sq. ft. multi-purpose sports court within a regulated area. (To be received)
   d. 15 Indian Hill Drive – Vernon Poolman – Permit request to construct a 648 sq. ft. inground swimming pool and associated site improvements within a regulated area. (To be received)
   e. 215 Salmon Brook Street – Town of Granby – Permit request to install a walkway/ramp from the Salmon Brook Park House to the bandshell with an associated concrete block wall within a regulated area. (To be received)

4. Request for Review
   a. 253 Loomis Street – D. Emery – RFR to conduct repairs to an existing footbridge over Dismal Brook within a regulated area.

5. Public Hearings
   a. 8 East Granby Road – C. Peeler c/o AutoZone, Inc. – Permit application to demolish existing structures and construct a 6,796 sq. ft. commercial building and other associated site work within a regulated area. (Hearing opened and continued from 7/9/25)

6. Agent Report and Correspondence

7. Commissioner Reports and Correspondence

8. Adjourn

Please note: The Town of Granby invites any resident who wishes to provide materials to this Commission to provide them to the Office of Community Development by noon on the prior Thursday of the scheduled meeting. In the event you are unable to meet that deadline but still wish to provide the Commission with materials, the Town of Granby respectfully asks that you provide sufficient copies of your materials to the Office prior to the meeting so the materials may be distributed to the Commission. Thank you in advance for your cooperation.

MEETING MINUTES
Town of Granby
Inland Wetlands and Watercourses Commission
Wednesday, July 9, 2025, at 7:00 pm

PRESENT: Nicholas Dethlefsen, David Tolli, Sue Okie, John Laudati, Fred Jones, Aurelle Locke, and Vickie Dirienzo (via zoom)
ALSO PRESENT: IWWC Agent Kate Bednaz and Land Use Coordinator Renee Deltenre

1. **Call to Order**
   Chair Laudati called the meeting to order at 7:01 p.m.

2. **Action on the minutes of June 11, 2025**

   ON A MOTION by D. Tolli seconded by N. Dethlefsen, the Commission voted 4-0-3 to approve the June 11, 2025, minutes as presented. J. Laudati, A. Locke and F. Jones abstained.

3. **Public Hearings**

J. Laudati recused himself from all proceedings regarding this application; however, received permission from the Commission, public and applicant to continue to run the meeting.

a. **<u>8 East Granby Road</u> – C. Peeler c/o AutoZone, Inc. – Permit application to demolish existing structures and construct a 6,796 sq. ft. commercial building and other associated site work within a regulated area.**
   Applicant representative Trent Suddeth of Kimley Horn was present to discuss the application and answer any questions the Commission had. AutoZone is seeking permission to demolish the existing single-family home and detached garage on-site, to construct a 6,796 commercial retail building, parking lot and associated site improvements. There is an intermittent watercourse located to the west on the other side of Hungary Road. The majority of this property falls within 200 feet of said watercourse and is therefore within the upland review area. Once built out, the impervious coverage will be just under 50%. The parking lot will consist of 41 spaces and an underground detention basin that flows to the north. T. Suddeth discussed the proposed erosion and sediment control measures, as well as the stormwater management plan, which was designed based on a 100-year storm event. Since the last meeting, plans have been revised to include a planting plan and address comments from both the Town Engineer and IWWC Agent.

   <u>Public Comment</u>
   Robert Flanigan of 24 Woodcliff Drive read Mr. Reinhard Maier's presentation into the record, stated that the site is not a suitable location for the proposed business and questioned whether bonds will be submitted by the applicant.

   Maureen Eberly of 37 Silkey Road expressed concerns regarding maintenance of the stormwater system, remediation efforts if something goes wrong, and overall feels the proposal is a bad fit for the town.

   John Corbett of 89 Quarry Road had environmental concerns regarding the products that would be sold on site and potential hazards that could arise.

Lynn Krauss of 20 West Granby Road questioned how the proposed business will benefit the town and expressed environmental concerns.

Sandra Crain of 20 East Street stated that the site is not conducive to an AutoZone and expressed environmental concerns as well.

Connor Smith of 57 Heather Lane stated concerns regarding snow maintenance, run-off, treatment of the pavement, and feels the proposed parking lot is simply too big.

Toni Flanigan of 24 Woodcliff Drive (via zoom) stated that the site is not a suitable location, had environmental concerns regarding the products that would be sold, and questioned remediation efforts if something happens.

K. Bednaz noted that the Town Engineer is comfortable with the latest revisions; however, she needs more time to review. Concern was raised regarding the lack of an oil/water separator and the use of pervious pavement was recommended. Some Commissioners questioned run-off from the site and stated that the parking lot is too big and perhaps a variance could be considered for a reduction of required spaces. T. Suddeth agreed to a continuation of the public hearing and will prepare responses to staff and public comment in advance of the next meeting.

ON A MOTION by S. Okie seconded by A. Locke, the Commission voted 6-0-0 to continue the public hearing to the next regular meeting.

b. **<u>15 Peck Orchard Road</u> – R. Marr – Permit request to modify an existing permit to construct a brook crossing, driveway, and associated improvements within a regulated area, to include test borings on both brook banks as part of a geotechnical review.** Property owner and applicant Richard Marr was present to discuss the application. As stated at the last meeting, he was made aware that the bridge company requires a geotechnical report to determine footing sizes. This requires the drilling of several bore holes about 80 feet into the ground on both the east and west banks of the brook. As this temporary crossing location is outside the area that was permitted under the permit that was just issued, and some vegetation clearing is required to provide access, the property owner was informed that a permit modification is needed. While the east bank can be accessed at the proposed site, it is too steep at that location to cross to the west side. Since the last meeting, a revised application and drawings have been submitted that propose an alternative crossing that allows for a 70% reduction in wetlands disturbance. K. Bednaz walked the proposed route and had no questions or concerns. A draft approval letter was provided to the Commission for consideration and staff recommended one modification.

ON A MOTION by S. Okie seconded by D. Tolli, the Commission voted 7-0-0 to approve the application and draft approval letter as amended, to add the following condition:

1. Photographs which depict the ground cover and substrate along the entire route shall be submitted prior to vehicular access and post restoration.

4. **Permit Requests**
   a. **<u>7 Juniper Drive</u> – M. Christian – Permit request to place a new 392 sq. ft. prefabricated shed on crushed stone within a regulated area.**

Applicant and property owner Martin Christian was present to discuss the application and answer any questions the Commission had. He is looking to install a 28' x 14' prefabricated shed on a crushed stone base approximately 45' off the northern property line and 75' off the back corner of the house within an existing lawn area. The proposed location is mapped wetlands, and the application was received and continued from the 6/11/25 meeting of the IWWC.

ON A MOTION by A. Locke seconded by S. Okie, the Commission voted to 7-0-0 to approve the application and draft approval letter as presented.

b. **<u>129 Barn Door Hills Road</u> – D. Weiss – Permit request to install a ground-mount solar array with associated electrical conduit within a regulated area.**
Property owner Derek Campbell and applicant Damon Weiss of JD Solar Solutions were present to discuss the application. The applicant is looking to install a ground mount solar array just over 1,000 square feet in size and stand 1.5' off the ground in the front and 8.5-9' off the ground in the back. The system will consist of 40 panels, utilize six helical piles (ground screws) to secure to the ground, and approximately 590' of underground conduit within a PVC casing to the house. The proposed array is 55' from the northern wetlands' boundary within an open flat field. K. Bednaz noted that the trenching for the conduct is within wetland soils and the application shall be updated to reflect the total amount of wetland disturbance. In advance of the next meeting, the applicant shall provide a narrative outlining stabilization and restoration of the site, erosion and sediment control measures, ground cover maintenance, and identify a temporary soil stockpile location. The application was received this evening and continued to the next regular meeting.

5. **Agent Report and Correspondence**
   a. **<u>170 Silver Street</u> – M. Vargas – Permit request to place a new 288 sq. ft. prefabricated garage on an existing crushed stone pad within a regulated area.** Authorized Agent approval 7.3.25

6. **Commissioner Reports and Correspondence**
   None

7. **Adjourn**

ON A MOTION by A. Locke seconded by F. Jones, the Commission voted 7-0-0 to adjourn the meeting at 8:50 p.m.

Respectfully submitted,

Renee Deltenre
Land Use Coordinator

TOWN OF GRANBY
MEMORANDUM

TO: Inland Wetlands and Watercourses Commission

FROM: Abby Kenyon, Director of Community Development

DATE: August 7, 2025

RE: Overview and Status of IWWC Applications

The following provides an overview and status of applications pending before the IWWC.

Permit Requests

129 Barn Door Hills Road – D. Weiss – Permit request to install a ground-mount solar array with associated electrical conduit within a regulated area. (Received 7/9/2025)

The applicant proposes to install a ground mount solar array that will be just over 1,000 square feet. The proposed array is shown to be located to the north of the existing driveway in an area that has already been cleared. This location is about 55 feet from the flagged wetland boundary. There is a proposed electrical trench that will extend from the solar array to the house. This proposed trench would cross through the mapped wetland boundary. Refer to the application materials for details.

A draft approval letter has been included in the meeting packet for consideration.

175 Salmon Brook Street – A. Schultz c/o the Friends of Granby Wildflower Meadow – Permit request to construct an access drive and parking lot within a regulated area. (To be received 8/13/2025)

The Town of Granby owns 175 Salmon Brook Street. There is an agreement with the Friends of Granby Wildflower Meadow, which allows the group to use the property to establish a wildflower meadow / pollinator pathway. Over the past several years, the group has worked on plantings in the field and on the removal of invasive species, and eventually they would like to install educational markers and allow school groups and others to visit the property and learn about the importance of pollinator pathways.

To accommodate future use, as well as members of the group who currently work on maintaining the field, they would like to install a parking area. This would be located on the north end of the property. This work would be done in conjunction with the Department of Public Works.

The area of the proposed parking lot falls within the upland review area, therefore permitting is required. As it is within the URA, the application can be delegated to the agent for further review and approval.

<u>17 Harness Way</u> – J. Scanlan – Permit request to construct an 880 sq. ft. multi-purpose sports court within a regulated area. (To be received 8/13/2025)

The applicant proposes to construct an 880 square foot paved multi-purpose court to the rear of the house. This would be for personal use. As shown on the application materials, a proposed fence is shown to separate this court from the nearest property line to the west.

The proposed court and fence are within the upland review area, therefore permitting is required. As it is within the URA, the application can be delegated to the agent for further review and approval.

<u>15 Indian Hill Drive</u> – Vernon Poolman – Permit request to construct a 648 sq. ft. inground swimming pool and associated site improvements within a regulated area. (To be received 8/13/2025)

The applicant proposes to construct an inground swimming pool measuring 18' by 36' (648 square foot total). The pool will be located to the rear of the house. The submitted materials do not show any patio surrounding the proposed pool, fence, location of pool equipment, or any other proposed improvements. The applicant is asked to clarify and show the location of any other proposed work that is within the upland review area.

It should be noted that the online wetland mapping is more extensive that what is shown on the plot plan, which was delineated by a soil scientist at the time the lot was approved. Therefore, as noted above, the proposed improvements would fall within the URA.

As it is within the URA, the application can be delegated to the agent for further review and approval.

<u>215 Salmon Brook Street</u> – Town of Granby – Permit request to install an ADA compliant walkway/ramp from the Salmon Brook Park House to the bandshell with an associated concrete block wall within a regulated area. (To be received 8/13/2025)

The Town of Granby proposes to construct a walking path and ramp from the Salmon Brook Park House to the bandshell. This project would enable easier access to the bandshell, as currently there is no sidewalk extending to the bandshell. Furthermore, the bandshell is not at grade so to access it, there is a high step up.

The proposed work is within a regulated area. The Commission may act on this application at the September 10, 2025 meeting.

<u>Request for Review</u>

<u>253 Loomis Street</u> – D. Emery – RFR to conduct repairs to an existing footbridge over Dismal Brook within a regulated area.

The applicant proposes to repair an existing footbridge that has been undermined by beaver activity.

Under the regulations, this may be considered an as-of-right activity. If the Commission is in agreement, the Commission is asked to vote on this determination and then the application may be signed by the Chair or Vice Chair.

Public Hearings

8 East Granby Road – C. Peeler c/o AutoZone, Inc. – Permit application to demolish existing structures and construct a 6,796 sq. ft. commercial building and other associated site work within a regulated area. (Received 5/22/25. Public Hearing opened 07/09/2025 and continued to 8/13/25)

The applicant proposes to demolish an existing house and detached garage on the property and construct a commercial building, parking lot, and other associated site improvements. There are no mapped wetlands on the property however, there is an intermittent watercourse located to the west on the other side of Hungary Road. Much of this property is within 200 feet of that intermittent watercourse and is therefore within the upland review area. As such, any proposed work requires permitting through this Commission.

At the Commission's May 22, 2025 meeting, the Commission voted to hold a public hearing on the subject application due to public interest and significant impact. The public hearing opened on July 9, 2025 and was continued to August 13, 2025. Once the public hearing opens, it must close within 35 days. Therefore, the hearing must close on August 13th unless an extension is granted.

A draft approval letter is included for further discussion.

It should be noted that if approved by the IWWC, an application to the Planning and Zoning Commission will then be needed. The Planning and Zoning Commission will consider the site layout and proposed use.

TOWN OF GRANBY

Incorporated 1786
15 North Granby Road
Granby, Connecticut 06035-2102

Certified Mail#

August 13, 2025

Damon Weiss
JD Solar Solutions
P.O. Box 503
Manchester, CT 06045

RE: 129 Barn Door Hills Road – D. Weiss – Permit request to install a ground-mount solar array with associated electrical conduit within a regulated area.

Dear Mr. Weiss:

Please be advised that on August 13, 2025, the Inland Wetlands and Watercourses Commission (IWWC) approved the subject application in accordance with the application and supporting documentation received to date.

The following are the conditions of this approval.

1. The Office of Community Development shall be notified at least 48 hours prior to the start of any construction activities.

2. Town staff shall inspect installed erosion controls prior to the start of any work that results in earth disturbance activities, this includes, but is not limited to, grubbing and stump removal.

3. All work shall be in conformance with this approval and application materials as submitted for this Permit Approval. Any modifications to the approved plans must be reviewed and approved by the Granby Inland Wetlands and Watercourses Commission or their designated Agent.

4. Erosion controls shall be maintained until the site has achieved permanent stabilization. Permanent stabilization is defined as 70% permanent vegetation covering over 90% of the area. A stockpile of erosion controls shall remain on site to be installed, as necessary. The IWWC shall be notified in writing at least 48 hours in advance of erosion controls being removed.

5. Excavated soils shall not be brought off-property without the notification and approval of the Office of Community Development. The applicant shall supply the destination in writing for any excavated soil to be removed from the property.

6. This permit is valid for a period of 5-years from the date of issuance.

7. Upon completion of construction and site stabilization, the IWWC shall be notified in writing that work is complete, and a final inspection may be completed at that time.

If you have any questions, please call me at your earliest convenience.

Sincerely,

John Laudati
Granby IWWC Chair

DRAFT

Damon Weiss

Solar Development Partner

(C) 860-717-0786

This letter is to confirm our process for the solar installation at 129 Barn Doors Hill Road, Granby. We will only use one access path with our machine to enter/leave the work area. We are not using any cement. We will install silt fences around the trench work and solar installation.

The trench in the wetlands area is 2 feet deep by 2 feet wide and 300 feet long or 1,200 sq feet.

Our goal and plan is to leave the area as close to the same as it was originally.

Thank you kindly,

Damon Weiss

Solar Partner

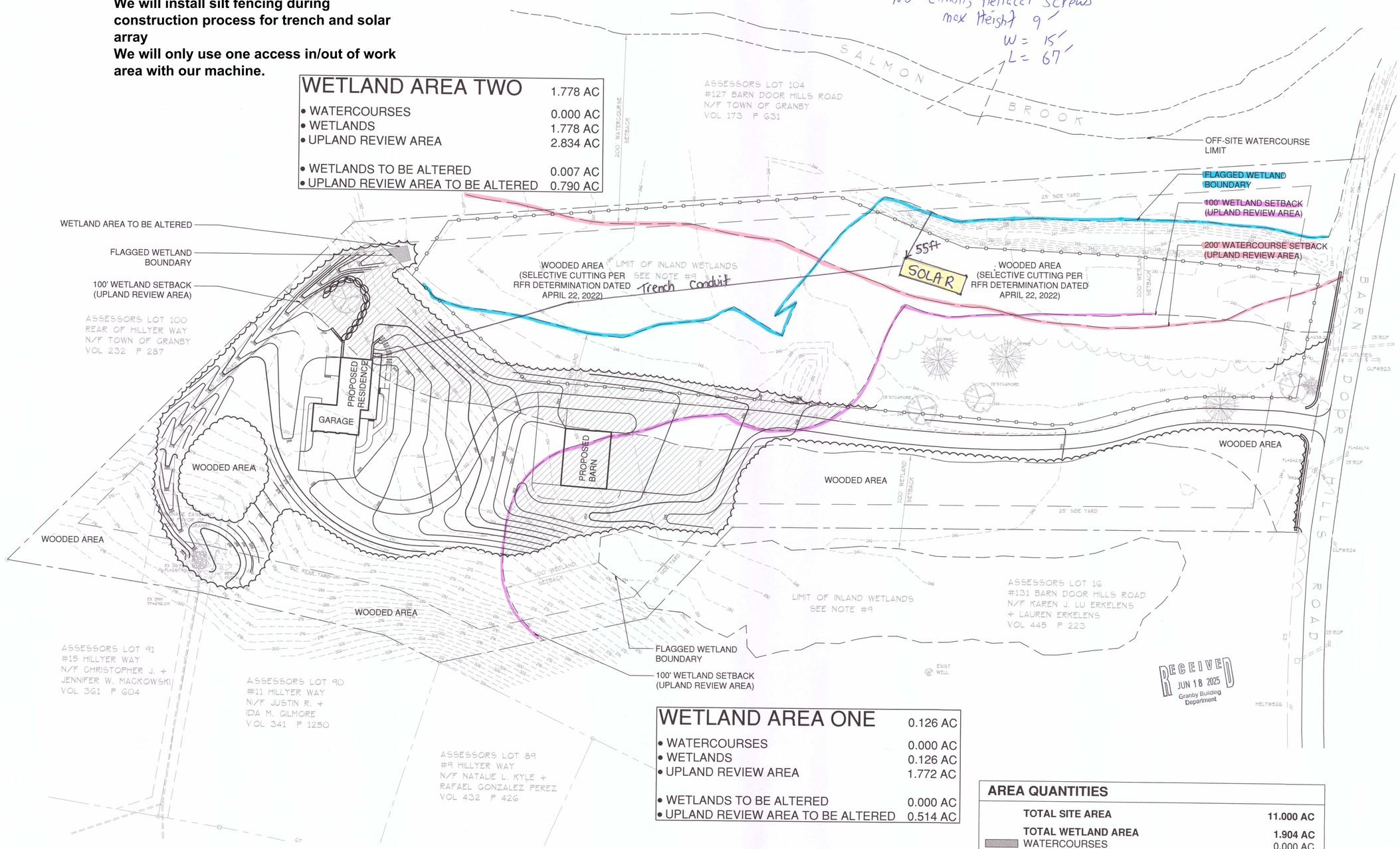
JD Solar Solutions

THINK GREEN

The trench is 2' Wide by 2' Deep, 300 feet long
equates to 1,200 sq. ft. of disturbed wetlands.
We will install silt fencing during construction process for trench and solar array
We will only use one access in/out of work area with our machine.

129 Barn Doors Hill Rd Granby
15.8 KW Grand mount solar
40 Solar Panels, total 1,072 sq ft
NO cement, helical screws
max Height 9'
W = 15'
L = 67'

WETLAND AREA TWO	1.778 AC
• WATERCOURSES	0.000 AC
• WETLANDS	1.778 AC
• UPLAND REVIEW AREA	2.834 AC
• WETLANDS TO BE ALTERED	0.007 AC
• UPLAND REVIEW AREA TO BE ALTERED	0.790 AC



WETLAND AREA ONE	0.126 AC
• WATERCOURSES	0.000 AC
• WETLANDS	0.126 AC
• UPLAND REVIEW AREA	1.772 AC
• WETLANDS TO BE ALTERED	0.000 AC
• UPLAND REVIEW AREA TO BE ALTERED	0.514 AC

AREA QUANTITIES

TOTAL SITE AREA	**11.000 AC**
TOTAL WETLAND AREA	**1.904 AC**
WATERCOURSES	0.000 AC
WETLAND AREA ONE	0.126 AC
WETLAND AREA TWO	1.778 AC
TOTAL WETLANDS TO BE ALTERED	**0.007 AC**
TOTAL UPLAND REVIEW AREA	**4.606 AC**
WETLAND AREA ONE	1.772 AC
WETLAND AREA TWO	2.834 AC
TOTAL UPLAND REVIEW AREA TO BE ALTERED	**1.304 AC**

0 25 50 100'
SCALE: 1" = 50' - 0"

LANDSCAPE ARCHITECT
Richter & Cegan Inc.
8B CANAL COURT P.O. BOX 567
AVON, CT 06001
PHONE: 860-678-0669
CONTACT NAME: MICHAEL A. CEGAN
EMAIL: mcegan@richtercegan.com

CIVIL ENGINEER
R.R. HILTBRAND ENGINEERS & SURVEYORS, LLC
575 NORTH MAIN STREET
BRISTOL, CT 06010
PHONE: 860-582-4548
CONTACT NAME: THOMAS D. GRIMALDI
EMAIL: tdgrimaldi@gmail.com

WETLAND/SOIL SCIENTIST
DAVISON ENVIRONMENTAL, LLC
10 MAPLE STREET
CHESTER, CT 06412
PHONE: 860-803-0938
CONTACT NAME: ERIC DAVISON
EMAIL: eric@davisonenvironmental.com

SURVEYOR
DUFOUR SURVEYING LLC
575 NORTH MAIN STREET
BRISTOL, CT 06010
PHONE: 860-314-0502
CONTACT NAME: CARMINE J. MATRASCIA
EMAIL: dufour.surveying@yahoo.com

CAMPBELL RESIDENCE

129 BARN DOOR HILLS ROAD
GRANBY, CONNECTICUT

MARK	DATE	DESCRIPTION
02	11/30/22	REVISE PER TOWN REVIEW
01	11/01/22	IWWC SUBMISSION

PROJECT NO: 2022009
CAD FILE: 22009L1-6.dwg
DRAWN BY: WRW/REM
CHECKED BY: MAC
COPYRIGHT: ©RICHTER & CEGAN INC. 2022

SHEET TITLE
REGULATED ACTIVITIES PLAN

L1-6

W:\2022009\3DESDEV\Main\22009L1-6.dwg 12/06/2022 1:35:16 PM RMeier

RECEIVED
JUL 16 2025
Granby Building Department

TOWN OF GRANBY
Office of Community Development, Inland Wetlands and Watercourses Commission
Telephone: (860) 844-5318, www.granby-ct.gov

Application for Inland Wetlands & Watercourses Activity

Application For: [X] Permit [ ] Extension [ ] Modification (Existing Permit/Application #): _____
[ ] Wetlands Map Amend. [ ] Request for Review [ ] Other: _____

Property Location and Nearest Intersection: 175 SALMON BROOK ST, APPROX 500' SOUTH OF SB PARK
Size of Parcel: APPROX 5 ACRES Zone: CE Map/Lot: PARCEL ID 131 Current Use: VACANT LAND
(25.6 acres total)
Applicant's Name: Aubrey Schultz, President Friends Of Granby Wildflower Meadow
Complete Address: PO 571, 175 Salmon Brook St, Granby CT 06035
Daytime Phone: 860-484-3212 Evening Phone: 860-484-3212 Fax: _____
Email: aubs15@gmail.com

Owner's Name: TOWN OF GRANBY
If the owner is a corporation, or other non-individual entity, include the primary contact information
Complete Address: 15 NORTH GRANBY RD, GRANBY, CT 06035
Phone Daytime Phone: _____ Evening Phone: _____ Fax: _____

Applicant's Representative: Aubrey Schultz, President Friends Of Granby Wildflower Meadow
Complete Address: 17 KILMER LA, GRANBY, CT 06035
Daytime Phone: 860-484-3212 Evening Phone: 860-484-3212 Fax: _____

**********PLEASE ATTACH ADDITIONAL SHEET IF NECESSARY**********

Project Name and Brief Description (i.e. residential, agricultural, commercial, number of lots, etc.):
SITE ACCESS TO GRANBY WILDFLOWER MEADOW AT 175 SALMON BROOK STREET

Is any portion of the property located within 500 feet of an adjoining municipality? YES, SALMON BROOK PARK
Wetlands Located on Property (in square feet (sq. ft.)): 18 acres Wetlands to be impacted (sq. ft.): 0
Watercourses Located on Property? Yes Name or Type of Watercourse: Salmon Brook
Are Proposed Activities Located within the 100-Year Floodplain? no Floodway? no
Are there slopes with grades in excess of 15% located on the property? NO
Do Proposed Activities Require Review by the PZC? no

*********SEE APPLICATION CHECKLIST ON BACK for MINIMUM APPLICATION REQUIREMENTS**********

The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Granby, Inland Wetlands & Watercourses Commission, and its agent (s) to inspect the subject land, at reasonable times, during the pendency of an application and for the life of the permit.

☞ Applicant's Signature: _____ Date: 07/16/2025
Owner's Signature: _____ Date: _____

FOR OFFICE USE

Application #:	n/a	*Date Submitted:*	7/16/25
Fee amt./Check or Cash:	$260.00 ck# 126	*Date of Receipt:*	8/13/25
Agent Ruling:		*Date Approved/Denied:*	

See Reverse Side for Conditions of Approval or Reason for Denial

SECTION 19
FEES

19.5 Fee Schedule. Application fees shall be based on the following schedule.

ACTIVITY	FEE/ AREA / #	APPLIED
State of Connecticut Land Use Fee	$60.00	$ 60.00 +
Permitted Uses As-of-Right & Non-Regulated Uses	None	None
CATEGORY 1 - RESIDENTIAL/SINGLE-FAMILY RESIDENCES (INCLUDING 2-LOT SUBDIVISIONS)		
I. Base Fee		
a. General Application	$150.00 + II	$ +
b. Accessory to Existing Primary Structure	$80.00 + II	$ +
c. Modification to Existing Approval	$30.00 + II	$ +
II. Activity Fee		
a. $100.00 per Watercourse Crossing	(#)	$ +
b. $0.02 per sq. ft. of Wetland Disturbance	SF	$ +
Within Upland Review Area...		
c. $100.00 per Structure (greater than 200 sq. ft.)	(#)	$ +
d. $0.01 per sq. ft. of Impervious Surface	SF	$ +
e. $250.00 per Stormwater Management Basin	(#)	$ +
f. $100.00 per Storm Drain Outfall	(#)	$ +
g. $0.01 per sq. ft. of Steep Slope Disturbance (Slopes Greater than 2:1 – Define Area on Plan)	SF	$ +
h. $0.005 per sq. ft. of Woody Vegetation Clear-Cut	SF	$ +
➢ **TOTAL FEE – CATEGORY 1**		$
CATEGORY 2 - SUBDIVISIONS (GREATER THAN 2-LOTS)/CONDOMINIUMS, MULTI-FAMILY UNITS/COMMERCIAL		
I. Base Fee		
a. General Application Per Primary Structure (up to 5)	$300.00/(+II)	$ +
i. Fee Per Each Primary Structure Beyond 5	$20.00 (+II)	$ +
b. Accessory to Existing Primary Structure	$150.00 (+II)	$ +
c. Modification to Existing Approval	$60.00 (+II)	$ +
II. Activity Fee*		
a. $200.00 per Watercourse Crossing	(#)	$ +
b. $0.04 per sq. ft. of Wetland Disturbance	SF	$ +
Within Upland Review Area...		
c. $100.00 per Structure	(#)	$ +
d. $0.02 per sq. ft. of Impervious Surface	SF	$ +
e. $250.00 per Stormwater Management Basin	(#)	$ +
f. $100.00 per Storm Drain Outfall	(#)	$ +
g. $0.02 per sq. ft. of Steep Slope Disturbance (Slopes Greater than 2:1 – Defined Area on Plan)	SF	$ +
h. $0.01 per sq. ft. of Woody Vegetation Clear-Cut	SF	$ +
➢ **TOTAL FEE – CATEGORY 2**		$

ACTIVITY	FEE/ AREA / #	APPLIED
CATEGORY 3 – ALL OTHER APPLICATIONS		
I. Base Fee		
a. General Application	$200.00 (+II)	$ 200 — +
b. Modification to Existing Approval	$60.00 (+II)	$ +
II. Activity Fee*		
a. $200.00 per Watercourse Crossing	(#)	$ +
b. $0.04 per sq. ft. of Wetland Disturbance	SF	$ +
Within Upland Review Area...		
c. $100.00 per Structure	(#)	$ +
d. $0.02 per sq. ft. of Impervious Surface	SF	$ +
e. $250.00 per Stormwater Management Basin	(#)	$ +
f. $100.00 per Storm Drain Outfall	(#)	$ +
g. $0.02 per sq. ft. of Steep Slope Disturbance (Slopes Greater than 2:1 – Defined Area on Plan)	SF	$ +
h. $0.01 per sq. ft. of Woody Vegetation Clear-Cut	SF	$ +
➢ **TOTAL FEE – CATEGORY 3**		$
III. Significant Activity Fee	$300.00	$ +
IV. Permit Extension Fee		
a. Residential Uses	$40.00	$ +
b. Commercial/Industrial/Other Uses	$80.00	$ +
V. Map and Regulation Amendments	$250.00	$ +
➢ **APPLICATION FEE SUBTOTAL**		$ +
VI. Post Activity Application Fee	20% of Fee Subtotal	$ +
➢ **TOTAL APPLICATION FEE:**		$ 260.00

Boards, Commissions, Agencies and Departments of the Town of Granby are exempt from all fee requirements.

VII. Complex Application Fee – Section 22a-42a of the Connecticut General Statutes states that an applicant shall pay a fee equal to the Town's expenditures in hiring outside consultants and experts to analyze, review and report on issues requiring such experts. Such fee may include, but not be limited to, the cost of retaining experts to analyze, review, and report on issues requiring such experts. The Commission or the duly authorized agent shall estimate the complex application fee which shall be paid pursuant to section 19.1 of these regulations within 10 days of the applicant's receipt or notice of such estimate. Any portion of the complex application fee in excess of the actual cost shall be refunded to the applicant no later than 30 days after publication of the Commission's decision.

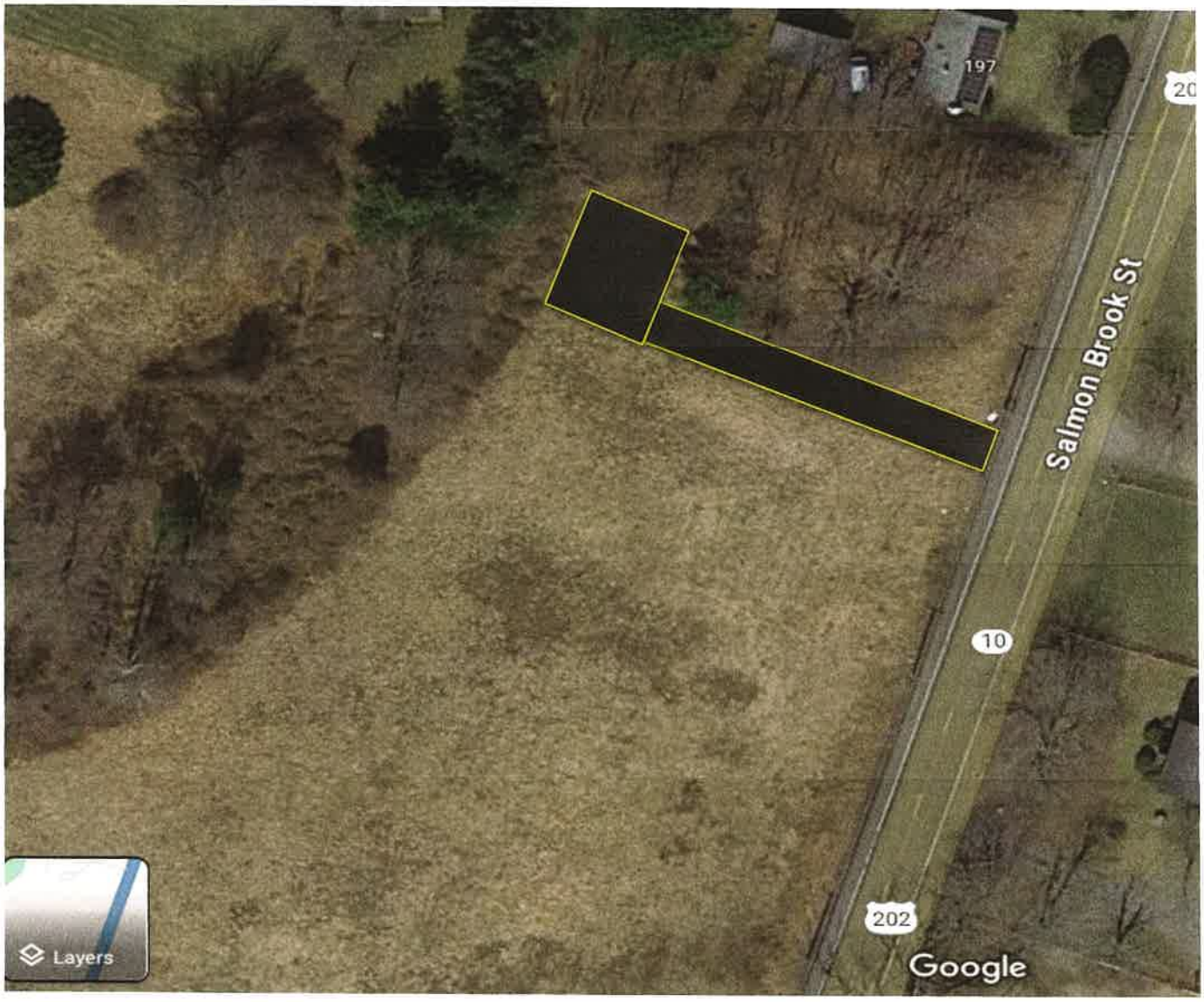
Granby Wildflower Meadow Parking Lot Proposal

Objective: The Granby Wildflower Meadow requests access and parking area at 175 Salmon Brook St.

Proposed location: Using the northernmost telephone pole as a reference, the entrance is 30' along the length of Salmon Brook Street. It extends westward approximately 150' towards the back tree line. The back stretch is approximately 75' long, with a portion extending into the grassy area in the northwestern corner.

The parking area may best fit in a linear fashion to utilize the existing contours, stay on the high ground and limit impact to the bulk of the meadow. There could potentially be a drive lane and park lane.

There might be a benefit of aligning our parking lot with that of 192 Salmon Brook Street.



Reasoning: A longer depth of the parking lot allows visitors to have conversations away from the noise of the road. It is also a safety feature keeping young children away from the busy street. In the future, the intent is to hold educational events within the Meadow and having a quieter, safer meeting location is preferable.

One of our biggest challenges with the Granby Wildflower Meadow is we do not yet have safe site access. Presently, visitors park in a grassy section, which is periodically mowed by Granby Wildflower Meadow board members. If we want the public to care about the good work we are doing within the Meadow, they need to have the ability to view the Meadow up close. When driving by at over 35 mph, it is difficult to appreciate in full what is happening there. With a parking lot installed and proper signage we can sing the praises of the Meadow a bit louder and allow visitors to interact with the flora and fauna within the Meadow.

The Granby Wildflower Meadow was awarded a grant by the Granby Greater Together Community Fund to install a "pocket meadow" in the fall of 2025 with the purpose of creating a space to educate about the importance of native plants. The vision is to have the pocket meadow abutting the parking lot. It will combine desirable aesthetics, value to wildlife, and serve an educational purpose. As we look at this space, the strong, late-afternoon summer sun will have moved behind the trees offering some relief for newly installed plants. In this pocket meadow, a wooden kiosk with signage would also be installed.

Along with a parking lot, we plan to have mowed paths throughout the meadow allowing visitors the opportunity to easily walk through the space. We foresee adding benches among the paths and maintained bird houses which would help attract and shelter nesting birds. For the purposes of documenting what happens over time, a mounted phone camera post would allow board members and visitors to capture images that they can share with the public.

Another issue aligned with the creation of this parking lot is the management of the northern tree line. Many invasive species and weakened trees are prevalent. With additional assistance from the Town of Granby, our organization will help clear up this space. The brush generated from the clean up will be moved to the deeper edges of the tree line in the southwestern parts of the property. A parking area will facilitate this effort.

As the design and associated costs become clearer, we will continue to pursue membership support as well as grant opportunities such as those available from the Lower Farmington River and Salmon Brook Wild & Scenic organization, the Hartford Foundation for Public Giving, and others. We will continue to publicize our efforts through our newsletter, social media, educational programs, and local publications.

The installation of the parking lot will facilitate safe site access and parking, establish a suitable location for an adjacent pocket meadow and kiosk, and enable our future endeavors, furthering our mission to establish the larger meadow and educate the public about the value of native plants.

qPublic.net™ Town of Granby, CT

Overview

Legend

- Parcels
- Roads
- Wetlands

Parcel ID 131
Location 175 SALMON BROOK ST
View Assessor website

Date created: 7/16/2025
Last Data Uploaded: 7/16/2025 5:30:41 AM

Developed by SCHNEIDER GEOSPATIAL

CK# 1347

TOWN OF GRANBY

Office of Community Development, Inland Wetlands and Watercourses Commission

Telephone: (860) 844-5318, www.granby-ct.gov

RECEIVED JUL 23 2025 Granby Building Department

Application for Inland Wetlands & Watercourses Activity

Application For: ☑ Permit ☐ Extension ☐ Modification (Existing Permit/Application #): _____

☐ Wetlands Map Amend. ☐ Request for Review ☐ Other: _____

Property Location and Nearest Intersection: 17 Harness Way, N. Granby Road

Size of Parcel: 0.78 Zone: _____ Map/Lot: _____ Current Use: Residental

Applicant's Name: John + Brielle Scanlan

Complete Address: 17 Harness Way Granby CT 06035

Daytime Phone: 860-944-0383 Evening Phone: — Fax: —

Email: john.scanlan28@gmail.com

Owner's Name: Brielle + John Scanlan

If the owner is a corporation, or other non-individual entity, include the primary contact information

Complete Address: 17 Harness Way Granby CT 06035

Phone Daytime Phone: 860-944-0383 Evening Phone: — Fax: —

Applicant's Representative: _____

Complete Address: _____

Daytime Phone: _____ Evening Phone: _____ Fax: _____

**********PLEASE ATTACH ADDITIONAL SHEET IF NECESSARY**********

Project Name and Brief Description (i.e. residential, agricultural, commercial, number of lots, etc.): Asphalt multi-purpose Court. 22' x 40', excavate 6-8" base process, 3" thick asphalt pad.

Is any portion of the property located within 500 feet of an adjoining municipality? No

Wetlands Located on Property (in square feet (sq. ft.)): none Wetlands to be impacted (sq. ft.): none

Watercourses Located on Property? — Name or Type of Watercourse: —

Are Proposed Activities Located within the 100-Year Floodplain? — Floodway? —

Are there slopes with grades in excess of 15% located on the property? —

Do Proposed Activities Require Review by the PZC? —

*********SEE APPLICATION CHECKLIST ON BACK for MINIMUM APPLICATION REQUIREMENTS**********

The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Granby, Inland Wetlands & Watercourses Commission, and its agent (s) to inspect the subject land, at reasonable times, during the pendency of an application and for the life of the permit.

☞ Applicant's Signature: [signature] Date: 7/22/2025

Owner's Signature: [signature] Date: 7/22/2025

FOR OFFICE USE

Application #: _____ *Date Submitted:* _____

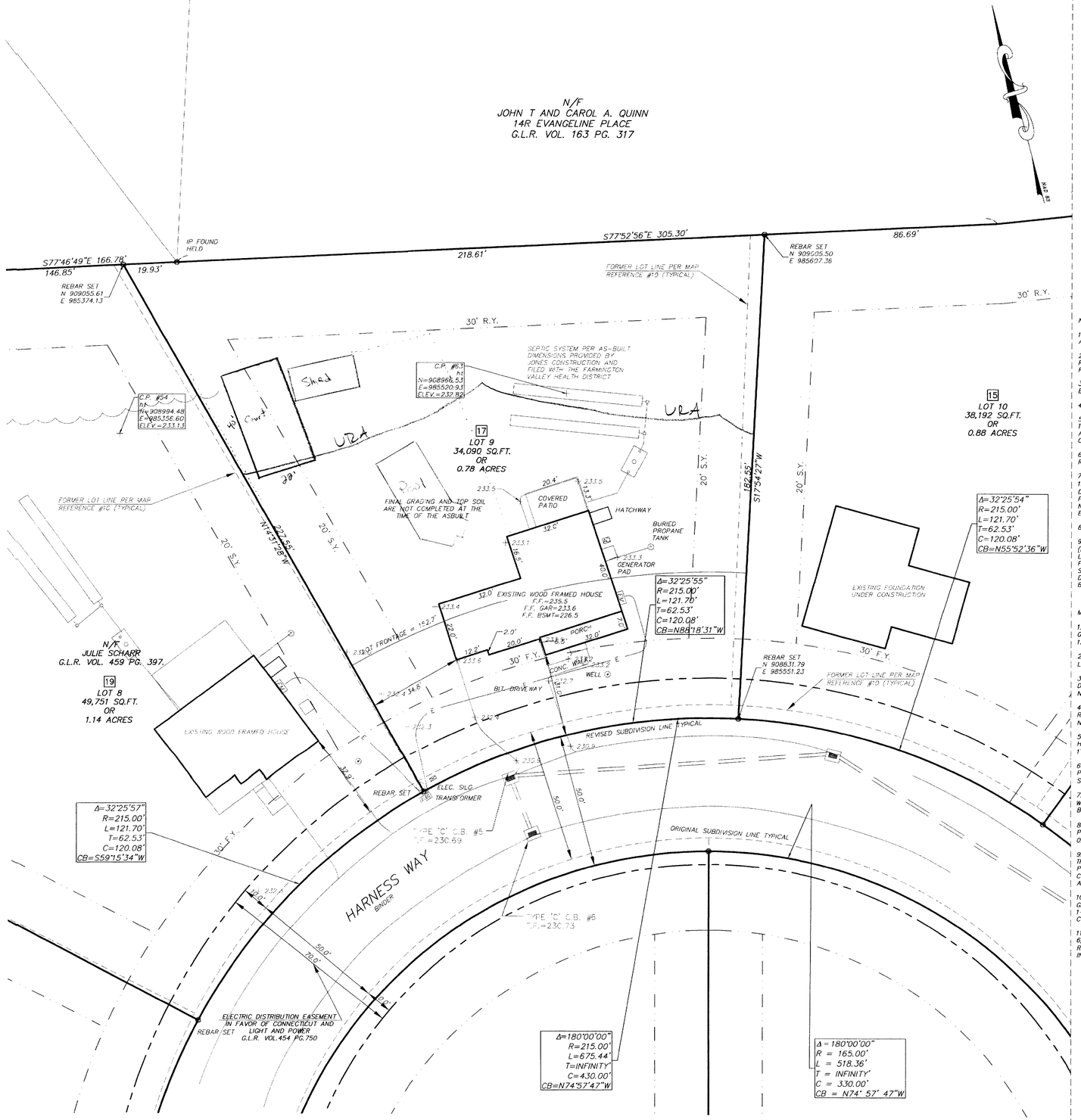
Fee amt./Check or Cash: _____ *Date of Receipt:* _____

Agent Ruling: _____ *Date Approved/Denied:* _____

See Reverse Side for Conditions of Approval or Reason for Denial

LEGEND
(SYMBOLS NOT TO SCALE)

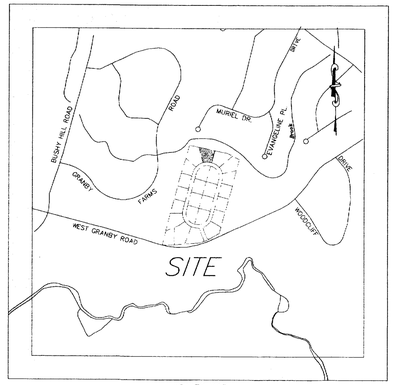
- = CATCH BASIN
- = SANITARY MANHOLE
- = DRAINAGE MANHOLE
- = WATER MANHOLE
- = TELEPHONE MANHOLE
- = ELECTRIC MANHOLE
- = UNKNOWN MANHOLE
- = YARD DRAIN
- = CABLE MANHOLE
- = FLARED END SECTION
- = FIRE HYDRANT
- = WATER GATE VALVE
- = GAS GATE VALVE
- = MISC. GATE VALVE
- = VENT PIPE
- = FILLCAP
- = WELL
- = MAIL BOX
- = HAND HOLE
- CO = CONTROLLER CABINET
- ELEC = ELECTRIC TRANSFORMER
- = UTILITY POLE
- = GUY WIRE
- = CROSSWALK POLE
- = LIGHT POLE
- = POST
- = TRAFFIC LIGHT SUPPORT POLE
- = STREET SIGN
- = TREE (TYP.)
- = MONITOR WELL
- = BORING
- EM = ELECTRIC METER
- GM = GAS METER
- WM = WATER METER
- = TELEPHONE
- AC = AC UNIT
- = TREE LINE
- = STONE WALL
- = GUIDE RAIL
- = DIRECTION OF FLOW
- = I.P. PROPERTY CORNER
- = MONUMENT
- = DRILL HOLE
- = SURVEY CONTROL POINT
- X — X = FENCE LINE
- W = WATER LINE
- G = GAS LINE
- E = ELECTRIC LINE
- CATV = CABLE TELEVISION LINE
- OHW = OVERHEAD WIRES
- P.O.B. = POINT OF BEGINNING
- N = NORTHING
- E = EASTING
- N/F = NOW OR FORMERLY
- G.L.R. = GRANBY LAND RECORDS
- Δ = DELTA ANGLE
- R = RADIUS
- T = TANGENT
- L = LENGTH
- C = CHORD
- CB = CHORD BEARING
- F.Y. = FRONT YARD
- S.Y. = SIDE YARD
- R.Y. = REAR YARD
- C.P. = CONTROL POINT
- 234.3 = SPOT GRADE



ZONING DISTRICT	MINIMUM REQUIRED LOT AREA (S.F.)	MINIMUM * LOT FRONTAGE (FT)	MINIMUM LOT DEPTH (FT)	MAXIMUM STORIES	MAXIMUM HEIGHT,/FEET	MAXIMUM LOT COVERAGE	MINIMUM REQUIRED YARDS (FT.) FRONT	SIDE	REAR
R30	30,000	150	150	2 1/2	30 FT	25%	50 (30**)	20	30

* THE DISTANCE BETWEEN LOT LINES MEASURED AT A DISTANCE OF FIFTY (50) FEET BACK AND PARALLEL TO THE STREET LINE
** MINIMUM FRONT YARD MAY BE REDUCED TO 30 FEET, UNDER SECTION 5.2.9 OF THE GRANBY ZONING REGULATIONS

FRONT YARDS MEASURED FROM THE PROPOSED PERMANENT DEAD-END STREET ARE PERMITTED TO BE REDUCED FROM 50 FEET TO 30 FEET IN ACCORDANCE WITH SECTION 5.2.9 OF THE GRANBY ZONING REGULATIONS.



VICINITY MAP
SCALE: 1=1000'

NOTES:

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20–300b–1 THROUGH 20–300b–20, AS AMENDED.

2. IT IS AN IMPROVEMENT LOCATION PLAN – LOT 9 INTENDED TO AID IN DETERMINING IF THE RECENT IMPROVEMENTS ARE SUBSTANTIALLY IS LOCATED IN ACCORDANCE WITH APPROVED PLANS AND TOWN OF GRANBY ZONING REGULATIONS TO AID IN A CERTIFICATE OF OCCUPANCY.

3. THIS SURVEY FALLS INTO THE RESURVEY BOUNDARY DETERMINATION CATEGORY AND IS BASED UPON MAP REFERENCE #11.

4. THIS SURVEY CONFORMS TO CLASS A–2 HORIZONTAL ACCURACY STANDARDS.

5. THE SUBJECT LOT IS LOCATED WITHIN A 24–LOT SINGLE FAMILY SUBDIVISION APPROVED BY THE TOWN OF GRANBY PLANNING AND ZONING COMMISSION ON JUNE 8, 2021. FILE P–3–21 AND RESUBDIVISION PLAN APPROVED BY THE TOWN OF GRANBY PLANNING AND ZONING COMMISSION ON JUNE 27, 2023.

6. THE SUBJECT PARCEL IS CURRENTLY OWNED BY HARNESS WAY DEVELOPMENT GRANBY LAND RECORDS VOLUME 454 PAGE 753.

7. BEARINGS AND COORDINATES DEPICTED HEREON REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83), ELEVATIONS DEPICTED HEREON REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND ARE BASED UPON OPUS RAPID STATIC OBSERVATIONS PERFORMED ON MAY 08 2020 RESULTING IN THE FOLLOWING VALUES. CONTROL POINT #4 N=907828.87, E=985634.63, ELEV.=232.70 AND CONTROL POINT #7 N=907664.40, E=984892.28, ELEV.=234.46

8. THE SUBJECT PARCEL IS LOCATED IN THE TOWN OF GRANBY ZONE R–30 DISTRICT.

9. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS NOTED OR DEPICTED HEREON (IF ANY) HAVE BEEN COMPILED, IN PART FROM RECORD MAPS AND VISIBLE EVIDENCE. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DID 1–800–922–4545.

MAP REFERENCES:

1. CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF GRANBY, GRANBY–WEST GRANBY ROAD FROM THE GRANBY–NORTH GRANBY ROAD WESTERLY ABOUT 13,000 FEET. ROUTE NO. 20. DATE: AUGUST 31, 1942 SCALE 1"=40' SHEET 2 OF 6

2. REVISION TO SUBDIVISION GRANBY FARMS BUSHY HILL ROAD GRANBY, CONNECTICUT. ED LALLY AND ASSOCIATES, INC. DATE: DECEMBER 7, 1994 SCALE 1"=100'

3. SUBDIVISION PLAN 5 LOTS MURIEL DROVE GRANBY, CONNECTICUT RECORD OWNER & DEVELOPER JOHN COSTELLO 36 HIGH WOOD ROAD WEST HARTFORD, CONNECTICUT. DATE: NOVEMBER 6, 1972 SCALE 1"=40'

4. PROPERTY OF HARRY C. & MARGARET A. PETERSON NORTH SIDE–WEST SIDE GRANBY RD.–GRANBY, CONNECTICUT. W.M. ALFORD CIVIL ENGINEER WINDSOR, CONNECTICUT. DATE: NOVEMBER 1952 SCALE 1"=100'

5. PROPERTY OF W. HOWARD ZIMMER WEST GRANBY ROAD GRANBY, CONNECTICUT. SURVEY BY HAROLD R. SANDERSON C.E. & L.S. BLOOMFIELD CONNECTICUT. DATE: AUGUST 1956 SCALE 1"=60'

6. PROPOSED REAR LOT PROPERTY OF FRED G. AND ELINOR M. SILKEY 40–R EVANGELINE PLACE GRANBY, CONNECTICUT RA–ZONE. HENRY CHARLES COTTON CONSULTANT & LAND SURVEYOR 41 EAST GRANBY ROAD GRANBY, CONNECTICUT. DATE: MAY 1989 SCALE 1"=40'.

7. PROPERTY – TOPOGRAPHIC SURVEY PROPERTY OF TAMMY A. & ARLENE R. MEYERS, 75 WEST GRANBY ROAD, GRANBY, CONNECTICUT DATED 08–1–2020, SCALE 1"=80', SHEET 1 OF 1 BY F.A. HESKETH & ASSOCIATES, INC. 3 CREAMERY BROOK, EAST GRANBY, CT 06026.

8. IMPROVEMENT LOCATION PLAN (PROPOSED) PLOT PLAN – LOT 9 PROPERTY OF LEVESQUE PROPERTIES, LLC 17 HARNESS WAY, GRANBY, CONNECTICUT, DATED 01–30–2023 revised 02–02–2023, SCALE 1"=20' SHEETS 1 AND 2 OF 2 BY F.A. HESKETH & ASSOCIATES, INC.

9. FILE NO. E22004, COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY D.B.A. EVERSOURCE ENERGY ACROSS THE PROPERTY OF LEVESQUE PROPERTY, LLC 76 WEST GRANBY GRANBY ROAD, GRANBY, CONNECTICUT. DATED 01–21–2022, SCALE 1"=40', SHEETS 1 AND 2 OF 2 BY F.A. HESKETH & ASSOCIATES, INC.

10. SUBDIVISION PLAN PREPARED FOR LEVESQUE PROPERTIES LLC, 76 WEST GRANBY ROAD, GRANBY, CONNECTICUT DATED 03–12–2021 REVISED TO 07–06–2021, SCALE 1"=40', SHEETS 1–4 OF 4 BY BY F.A. HESKETH & ASSOCIATES, INC. 3 CREAMERY BROOK, EAST GRANBY, CONNECTICUT 06026.

11. RE–SUBDIVISION PLAN PREPARED FOR HARNESS WAY DEVELOPMENT, LLC 6,8,10,11,15,17,19,21,22,24&26 HARNESS WAY, GRANBY, CONNECTICUT DATED 06–08–2023 REVISED 07–19–2023, SCALE 1"=404', SHEETS 1–4 OF 4 BY F.A. HESKETH & ASSOCIATES, INC. 3 CREAMERY BROOK, EAST GRANBY, CONNECTICUT 06026.

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS MAP IS NOT VALID WITHOUT THE LIVE SIGNATURE AND IMPRESSION TYPE SEAL OF THE LAND SURVEYOR WHOSE NAME APPEARS HEREON.

TODD S. HESKETH, LS 17945

STATE OF CONNECTICUT
TODD S. HESKETH
No. 17945
LICENSED
LAND SURVEYOR

Harness Way Subdivision

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
Civil & Traffic Engineers · Surveyors · Planners · Landscape Architects www.fahesketh.com mail@fahesketh.com

No.	Date	Description

Revisions

IMPROVEMENT LOCATION PLAN – RECORD
PREPARED FOR
LEVESQUE PROPERTIES LLC.
17 HARNESS WAY
GRANBY, CONNECTICUT

Date: 07–20–2023 | Job no: 20145
Scale: 1" = 20' | Drawn by: CAD | Checked by: TSH | Sheet no: 1 OF 1

LOT–9

Q:\20\0\20145–76 West Granby RD\Survey\ASBUILTS\LOT 9\LOT 9 FINAL ASBUILT.dwg, LOT 9, Jul 25, 2023 – 8:19:20 AM

TOWN OF GRANBY
Office of Community Development, Inland Wetlands and Watercourses Commission
Telephone: (860) 844-5318, www.granby-ct.gov

RECEIVED JUL 29 2025 Granby Building Department

Application for Inland Wetlands & Watercourses Activity

Application For: ☑ Permit ☐ Extension ☐ Modification (Existing Permit/Application #): _____
☐ Wetlands Map Amend. ☐ Request for Review ☐ Other: _____

Property Location and Nearest Intersection: 15 Indian Hill Road
Size of Parcel: 2.4 acres Zone: R50 Map/Lot: 41/58/109 Current Use: Single Family Home

Applicant's Name: Vernon poolman
Complete Address: 540 Talcottville Vernon CT 06066
Daytime Phone: 860-872-1926 Evening Phone: _____ Fax: _____
Email: tammy@vernonpoolman.com

Owner's Name: Dave Notarangelo
If the owner is a corporation, or other non-individual entity, include the primary contact information
Complete Address: 15 Indian Hill Dr Granby CT 06035
Phone Daytime Phone: 413-426-2638 Evening Phone: _____ Fax: _____

Applicant's Representative: _____
Complete Address: _____
Daytime Phone: _____ Evening Phone: _____ Fax: _____

**********PLEASE ATTACH ADDITIONAL SHEET IF NECESSARY**********

Project Name and Brief Description (i.e. residential, agricultural, commercial, number of lots, etc.):
Install a 18 X 36 in-ground pool and a code compliant fence

Is any portion of the property located within 500 feet of an adjoining municipality? No
Wetlands Located on Property (in square feet (sq. ft.)): _____ Wetlands to be impacted (sq. ft.): None
Watercourses Located on Property? _____ Name or Type of Watercourse: _____
Are Proposed Activities Located within the 100-Year Floodplain? NO Floodway? No
Are there slopes with grades in excess of 15% located on the property? No
Do Proposed Activities Require Review by the PZC? No

*********SEE APPLICATION CHECKLIST ON BACK for MINIMUM APPLICATION REQUIREMENTS**********

The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Granby, Inland Wetlands & Watercourses Commission, and its agent (s) to inspect the subject land, at reasonable times, during the pendency of an application and for the life of the permit.

☞ Applicant's Signature: Tammy Date: 7-14-25
Owner's Signature: Dave Notarangelo Date: 7-14-25

FOR OFFICE USE

Application #:	n/a	*Date Submitted:*	7/29/25
Fee amt./Check or Cash:		*Date of Receipt:*	8/13/25
Agent Ruling:		*Date Approved/Denied:*	

See Reverse Side for Conditions of Approval or Reason for Denial

SECTION 19
FEES

19.5 Fee Schedule. Application fees shall be based on the following schedule.

ACTIVITY	FEE/ AREA / #	APPLIED
State of Connecticut Land Use Fee	$60.00	$ 60.00 +
Permitted Uses As-of-Right & Non-Regulated Uses	None	None
CATEGORY 1 - RESIDENTIAL/SINGLE-FAMILY RESIDENCES (INCLUDING 2-LOT SUBDIVISIONS)		
I. Base Fee		
a. General Application	$150.00 + II	$ +
b. Accessory to Existing Primary Structure	$80.00 + II	$ 80 +
c. Modification to Existing Approval	$30.00 + II	$ +
II. Activity Fee		
a. $100.00 per Watercourse Crossing	(#)	$ +
b. $0.02 per sq. ft. of Wetland Disturbance	SF	$ +
Within Upland Review Area…		
c. $100.00 per Structure (greater than 200 sq. ft.)	(#)	$ +
d. $0.01 per sq. ft. of Impervious Surface	SF	$ +
e. $250.00 per Stormwater Management Basin	(#)	$ +
f. $100.00 per Storm Drain Outfall	(#)	$ +
g. $0.01 per sq. ft. of Steep Slope Disturbance (Slopes Greater than 2:1 – Define Area on Plan)	SF	$ +
h. $0.005 per sq. ft. of Woody Vegetation Clear-Cut	SF	$ +
➢ **TOTAL FEE – CATEGORY 1**		$ 140
CATEGORY 2 - SUBDIVISIONS (GREATER THAN 2-LOTS)/CONDOMINIUMS, MULTI-FAMILY UNITS/COMMERCIAL		
I. Base Fee		
a. General Application Per Primary Structure (up to 5)	$300.00/(+II)	$ +
i. Fee Per Each Primary Structure Beyond 5	$20.00 (+II)	$ +
b. Accessory to Existing Primary Structure	$150.00 (+II)	$ +
c. Modification to Existing Approval	$60.00 (+II)	$ +
II. Activity Fee*		
a. $200.00 per Watercourse Crossing	(#)	$ +
b. $0.04 per sq. ft. of Wetland Disturbance	SF	$ +
Within Upland Review Area…		
c. $100.00 per Structure	(#)	$ +
d. $0.02 per sq. ft. of Impervious Surface	SF	$ +
e. $250.00 per Stormwater Management Basin	(#)	$ +
f. $100.00 per Storm Drain Outfall	(#)	$ +
g. $0.02 per sq. ft. of Steep Slope Disturbance (Slopes Greater than 2:1 – Defined Area on Plan)	SF	$ +
h. $0.01 per sq. ft. of Woody Vegetation Clear-Cut	SF	$ +
➢ **TOTAL FEE – CATEGORY 2**		$

ACTIVITY	FEE/ AREA / #	APPLIED
CATEGORY 3 – ALL OTHER APPLICATIONS		
I. Base Fee		
a. General Application	$200.00 (+II)	$ _____ +
b. Modification to Existing Approval	$60.00 (+II)	$ _____ +
II. Activity Fee*		
a. $200.00 per Watercourse Crossing	_____(#)	$ _____ +
b. $0.04 per sq. ft. of Wetland Disturbance	_____SF	$ _____ +
Within Upland Review Area…		
c. $100.00 per Structure	_____(#)	$ _____ +
d. $0.02 per sq. ft. of Impervious Surface	_____SF	$ _____ +
e. $250.00 per Stormwater Management Basin	_____(#)	$ _____ +
f. $100.00 per Storm Drain Outfall	_____(#)	$ _____ +
g. $0.02 per sq. ft. of Steep Slope Disturbance (Slopes Greater than 2:1 – Defined Area on Plan)	_____SF	$ _____ +
h. $0.01 per sq. ft. of Woody Vegetation Clear-Cut	_____SF	$ _____ +
➢ **TOTAL FEE – CATEGORY 3**		**$** _____
III. Significant Activity Fee	$300.00	$ _____ +
IV. Permit Extension Fee		
a. Residential Uses	$40.00	$ _____ +
b. Commercial/Industrial/Other Uses	$80.00	$ _____ +
V. Map and Regulation Amendments	$250.00	$ _____ +
➢ **APPLICATION FEE SUBTOTAL**		**$** _____ +
VI. Post Activity Application Fee	20% of Fee Subtotal	$ _____ +
➢ **TOTAL APPLICATION FEE:**		**$** 140

Boards, Commissions, Agencies and Departments of the Town of Granby are exempt from all fee requirements.

VII. Complex Application Fee – Section 22a-42a of the Connecticut General Statutes states that an applicant shall pay a fee equal to the Town's expenditures in hiring outside consultants and experts to analyze, review and report on issues requiring such experts. Such fee may include, but not be limited to, the cost of retaining experts to analyze, review, and report on issues requiring such experts. The Commission or the duly authorized agent shall estimate the complex application fee which shall be paid pursuant to section 19.1 of these regulations within 10 days of the applicant's receipt or notice of such estimate. Any portion of the complex application fee in excess of the actual cost shall be refunded to the applicant no later than 30 days after publication of the Commission's decision.

qPublic.net™ Town of Granby, CT

Overview

Legend

- Parcels
- Roads

Parcel ID 974
Location 15 INDIAN HILL DR
View Assessor website

Date created: 8/4/2025
Last Data Uploaded: 8/4/2025 5:21:04 AM

Developed by SCHNEIDER GEOSPATIAL

qPublic.net™ Town of Granby, CT

Overview

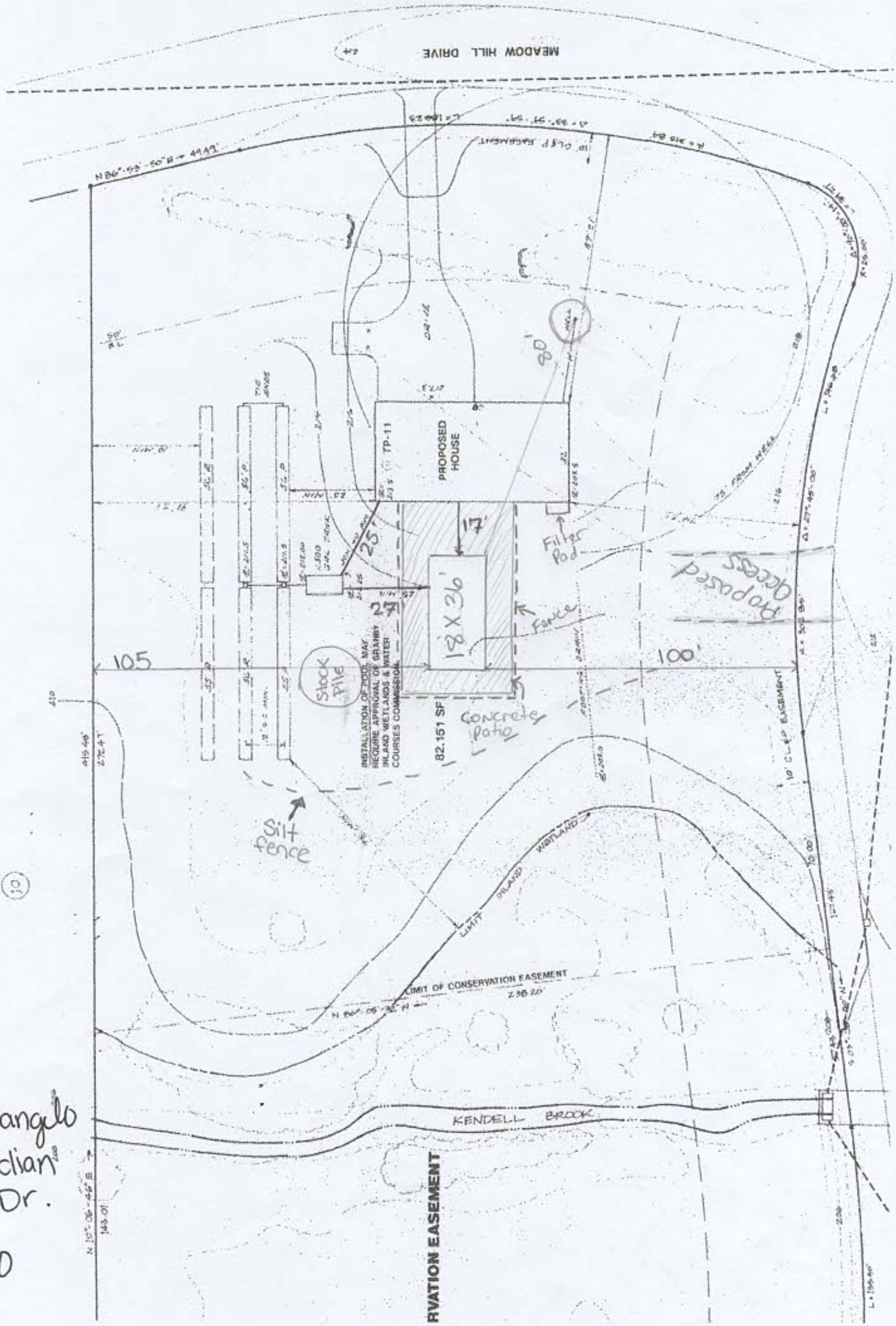
Legend

- Parcels
- Roads
- Streams and Rivers
- Hydrology
- Wetlands

Parcel ID 974
Location 15 INDIAN HILL DR
View Assessor website

Date created: 8/4/2025
Last Data Uploaded: 8/4/2025 5:21:04 AM

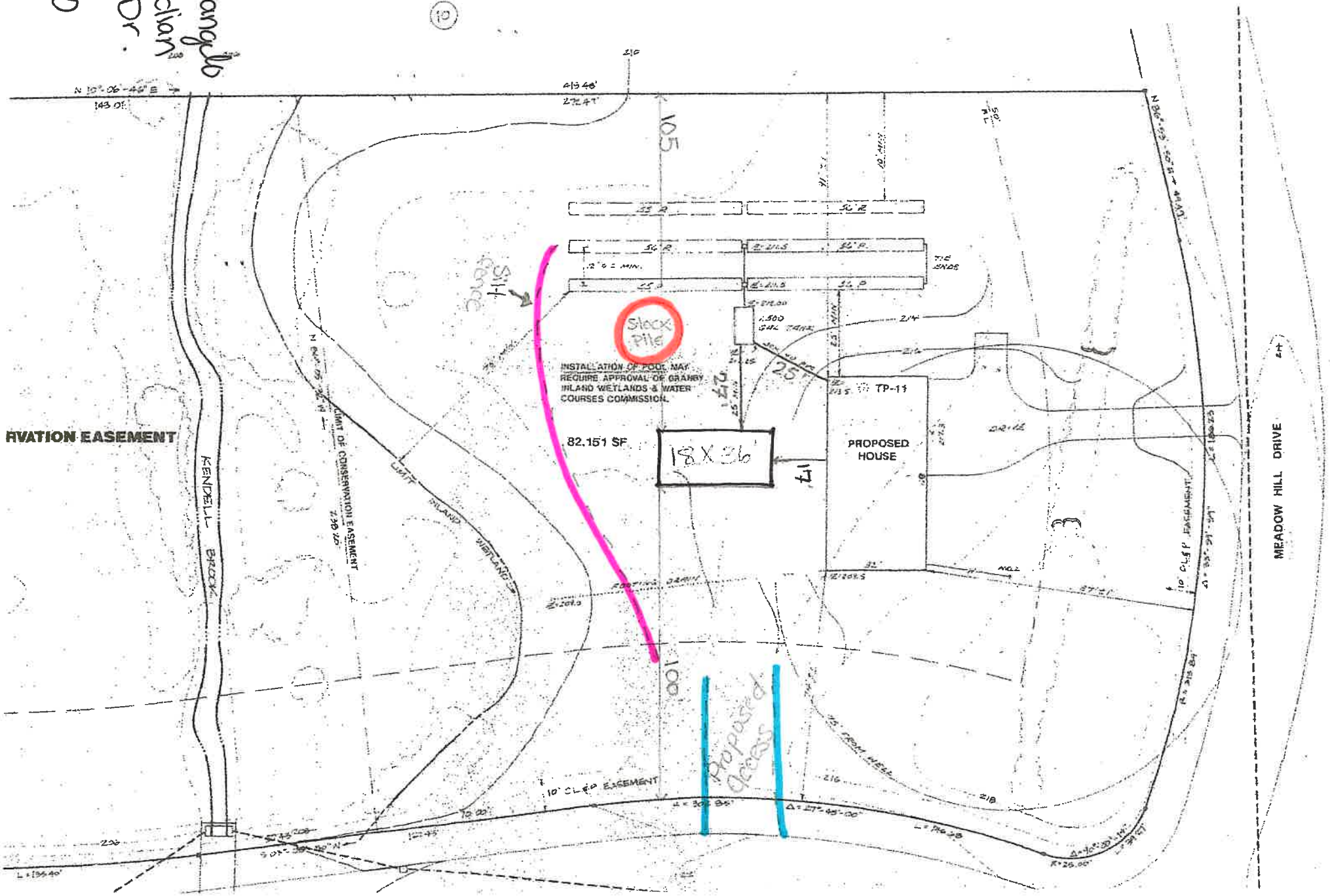
Developed by SCHNEIDER GEOSPATIAL

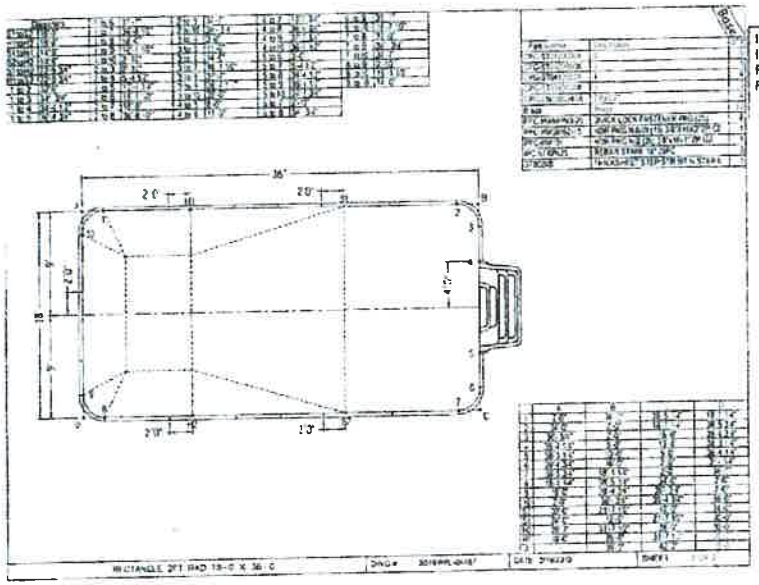


Dave Notarangelo
15 Indian Hill Dr.

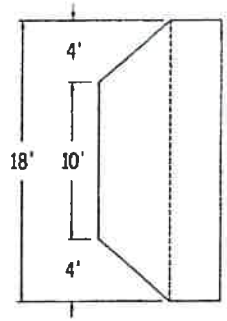
1=40

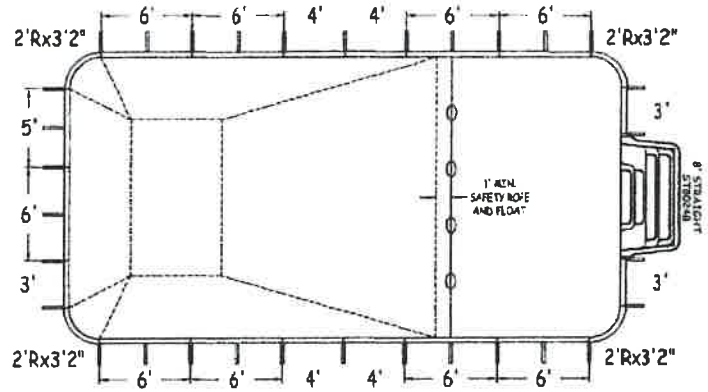
Dave Notarangelo
15 Indian Hill Dr.
1=40

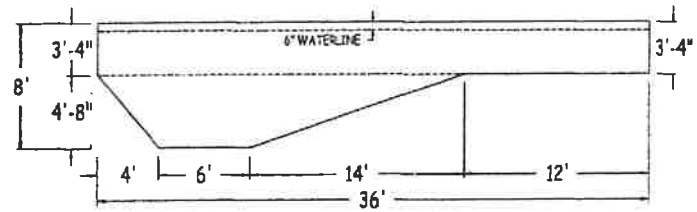




IN ACCORDANCE WITH ANSI/APSP/ICC-5 2011, THE INSTALLER IS RESPONSIBLE FOR PLACING ONE SKIMMER FOR EVERY 800 SQUARE FEET OF SURFACE AREA AND ONE RETURN FOR EVERY 300 SQUARE FEET OF SURFACE AREA.







ICC ES
CERT# ESR-2450

GENERAL NOTES:

1) POOL CLEARANCES TO BUILDINGS AND PROPERTY LINES SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.
2) THIS PLAN DOES NOT INCLUDE POOL LOCATION ON PROPERTY, GRADING, FENCING, WALLS OR OTHER SITE INFORMATION.
3) ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.
4) CONTRACTOR SHALL VERIFY BURIED UTILITIES WITHIN SURROUNDS OF INSTALLATION AREA.

ANSI- TYPE II POOL -DIVING PERMITTED
(DIVING BOARD NOT FURNISHED WITH POOL)

POOL IS IN COMPLIANCE TO American National Standard for Residential Inground Swimming Pools ANSI/APSP/ICC-5 -11

ADDITIONAL NOTE

IF POOL IS FURNISHED WITH DRAINS OR SUBMERGED SUCTION OUTLETS, THAN COMPLIANCE TO THE VIRGINIA GRAEME BAKER POOL AND SAFETY ACT IS REQUIRED:
DRAIN COVERS ASME A112.19.8 2007 AT 3'-0" MIN APART
AND ENTRAPMENT AVOIDANCE MUST BE INSTALLED.

CODE COMPLIANCE
CONNECTICUT
2022 STATE BUILDING CODE
INTERNATIONAL RESIDENTIAL CODE (IRC) - 2021
INTERNATIONAL SWIMMING POOL & SPA CODE (ISPSC) - 2021
(CT AMENDS THE ISPSC STANDARD)

A. ELECTRICAL & PLUMBING
THE CONSTRUCTION AND INSTALLATION OF ELECTRIC WIRING, GROUNDING AND BONDING, AND EQUIPMENT ARE SUBJECT TO THE STATE CODE AND TO NEC-2020 EQUIREMENTS.
ALL PLUMBING MUST COMPLY WITH THE IPC-2021.

GRAPHEX POOL SYSTEMS	RECTANGLE 2FT RAD 18-0 x 36-0					
42" FIXED POLYMER PANELS	PERIMETER:	104'-7"	VOLUME (US Gal):	21200		
DWG#:	SURFACE (ft²):	645	VOLUME (Liters):	80200		
2019-PPL-04487	LINER (ft²):	648	DATE: 2/18/2019	DSR		
KIT#: CUSTOMKIT	COVER (ft²):	760	SCALE: 1/8" = 1'-0"			
RECTANGLE						

DIVING/SLIDING EQUIPMENT SHALL BE DESIGNED FOR SWIMMING POOLS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE DIVING/SLIDING EQUIPMENT MANUFACTURER'S SPECIFICATIONS. PLEASE CONTACT THE DIVING/SLIDING EQUIPMENT MANUFACTURER FOR THEIR SPECIFICATIONS

ALL ASPECTS OF THIS DRAWING COMPLIES WITH ANSI/APSP/ICC-5 2011 AND 2015 ISPSC

CUSTOMER:

JOB NAME:

SHEET: 1 OF 2

DocuSigned by: James Marx
CA0D0CEBB0D472...

STATE OF CONNECTICUT
JAMES A. MARX, JR.
No. 17349
LICENSED
PROFESSIONAL ENGINEER

5/27/25

James A. Marx,Jr. PE
CT Professional Engineer Lic 17349

GENERAL NOTES.

1) POOL CLEARANCES TO BUILDINGS AND PROPERTY LINES SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.
2) THIS PLAN DOES NOT INCLUDE POOL LOCATION ON PROPERTY, GRADING, FENCING, WALLS OR OTHER SITE INFORMATION.
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4) CONTRACTOR SHALL VERIFY BURIED UTILITIES WITHIN SURROUNDS OF INSTALLATION AREA.

ANSI/NSPI – TYPE II POOL –DIVING PERMITTED

POOL COMPLIES TO NSPI-5

ADDITIONAL NOTE

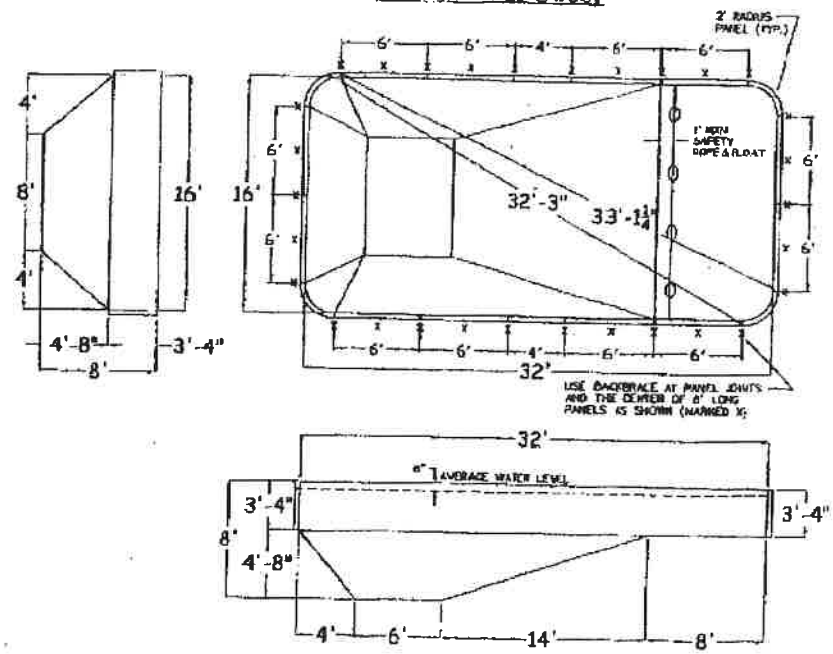
IF POOL IS FURNISHED WITH DRAINS OR SUBMERGED SUCTION OUTLETS, THAN COMPLIANCE TO THE VIRGINIA GRAEME BAKER POOL AND SAFETY ACT IS REQUIRED.
DRAIN COVERS ASME A112.19.8 2007 AT 3'-0" MIN APART AND ENTRAPMENT AVOIDANCE MUST BE INSTALLED.

CODE COMPLIANCE
CONNECTICUT
2016 STATE BUILDING CODE & IRC-2012/ IRC -2012

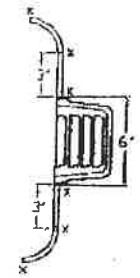
A. ELECTRICAL & PLUMBING

THE CONSTRUCTION AND INSTALLATION OF ELECTRIC WIRING, GROUNDING AND BONDING, AND EQUIPMENT ARE SUBJECT TO THE STATE CODE AND TO THE CURRENT ADOPTED NATIONAL ELECTRIC CODE REQUIREMENTS.
ALL PLUMBING MUST COMPLY WITH THE CURRENT ADOPTED STATE CODE.

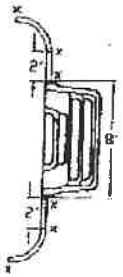
STANDARD PANEL LAYOUT



STEP OPTIONS



6' STEP



8' STEP

GRAPHEX	GRAPHEX 196		
	16' x 32' RECT. (2' RAD.)		
PART#: GX-1213	SURFACE AREA: (ft²): 509	PERIMETER: 92'-7"	
DATE: 12/10/07	LINER: AREA (ft²): 612	VOLUME (US Gal): 18,612	
SCALE: 1/8" = 1'-0"	SF TT COVER AREA (ft²): 512	VOLUME (Liters): 70,457	
RECTANGLE			

Feet First

DIVING/SLIDING EQUIPMENT SHALL BE DESIGNED FOR SWIMMING POOLS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE DIVING/SLIDING EQUIPMENT MANUFACTURER'S SPECIFICATIONS. PLEASE CONTACT THE DIVING/SLIDING EQUIPMENT MANUFACTURER FOR THEIR SPECIFICATIONS.

DWG#: GX-1213

SHEET: 1 OF 2

JAMES A. MARX JR.
PROFESSIONAL ENGINEER
10 High Mountain Road, Hopatcong, New Jersey 07406
7/8/16
JAMES A. MARX JR.
CT Professional Engineer Lic. (7)49

FVHD

PAID

JUL 17 2025

RECEIVED

JUL 17 2025

FEE: $55.00
VF
15206

Farmington Valley Health District

95 River Road, Suite C1 • Canton, CT 06019 • Phone (860) 352-2333 • Fax (860) 352-2542

Avon • Barkhamsted • Canton • Colebrook • East Granby • Farmington • Granby • Hartland • New Hartford • Simsbury

APPLICATION FOR LOCATION APPROVAL/ADDITION

PROPERTY OWNER: Dave Notarangelo PHONE # (H): 413-426-2638

ADDRESS 15 Indian Hill Dr TOWN Granby PHONE # (Work/Cell) _____

*CONTRACTOR: Vernon Poolman PHONE #: 860-872-1926

** Contractors that conduct renovation, remodeling or paint removal activities on residential houses, apartments and child-occupied facilities built before 1978 **MUST** be EPA certified.*

TYPE OF PROPOSAL

☑ **Building Addition &/or** ☐ **Interior Renovation** (describe) Install a 18' x 36' in-ground pool and a code compliant fence

Number of bedrooms in existing house_____ Number of bedrooms after addition_____

☐ **Detached Structure** ☐Shed ☐Barn ☐ Garage ☐ Propane ☐ Generator Pad ☐ Other(describe)_____

☑ **Swimming Pool** ☑In-ground ☐Above ground (filter type_____) heated y/n Deck provided ☐Yes ☐ No

☐ **Building Conversion - Change in use** (describe)_____

☐ **House Teardown, Replacement:** Using existing foundation _____ New foundation_____

Bedrooms in existing house_____ # Bedrooms in proposed house_____

☐ **Demolition (see demolition instructions):**_____

PLEASE COMPLETE (applicable sections only)

Will the addition have: Heat ☐yes ☐no Plumbing ☐yes ☐no Exterior sewer pipe/pump needed? ☐yes ☐no
Interior sewage pump needed? ☐yes ☐no

☐**Full foundation** ☐**Frost Wall** ☐**Slab** ☐**Piers** ☐**Other** _____

Footing Drains ☐yes (show on plan) ☐no Cuts in grade <50' downhill of septic system? ☐ yes ☐no

Distance of proposed addition from: Septic tank 27 **ft Leaching system** 40' **ft Well** 80 **ft**

Any sewage backups, overflows or other problems noted with the existing septic system? Yes ☐ No ☐

** *PROVIDE A SKETCH SHOWING THE LOCATION OF THE ADDITION RELATIVE TO THE WELL & SEPTIC* **

FVHD ASSUMES NO RESPONSIBILITY FOR PRESENT/FUTURE OPERATION OF SEPTIC SYSTEM OR FOR ANY DAMAGE TO THE SEPTIC SYSTEM CAUSED BY THE NEW CONSTRUCTION OR ANY NECESSARY TESTING.

I certify that I'm the **owner or owner's contractual representative** & that the information above is accurate to the best of my knowledge. I also acknowledge that I'm responsible for securing any required approvals from other town/state agencies (Bldg, Wetlands, Zoning, etc.)

Signature [signature] DATE 7/28/25

THE APPROVAL WILL BE FAXED TO TOWN BLDG DEPT. FVHD WILL CALL ONLY IF QUESTIONS ARISE.

(OFFICE USE ONLY)

FVHD APPROVED [signature] **DENIED**_____ **Date:** 7/28/25

COMMENTS:

TOWN OF GRANBY
Office of Community Development, Inland Wetlands and Watercourses Commission
Telephone: (860) 844-5318, www.granby-ct.gov

RECEIVED AUG 06 2025 Granby Building Department

Application for Inland Wetlands & Watercourses Activity

Application For: ☒ Permit ☐ Extension ☐ Modification (Existing Permit/Application #): _____
☐ Wetlands Map Amend. ☐ Request for Review ☐ Other: _____

Property Location and Nearest Intersection: 215 Salmon Brook Street
Size of Parcel: 116±ac Zone: R30 Map/Lot: H-42/74/87 Current Use: Town Park

Applicant's Name: Town of Granby
Complete Address: 15 N Granby Rd
Daytime Phone: 860-844-5318 Evening Phone: _____ Fax: _____
Email: _____

Owner's Name: Town of Granby
If the owner is a corporation, or other non-individual entity, include the primary contact information
Complete Address: Same
Phone Daytime Phone: _____ Evening Phone: _____ Fax: _____

Applicant's Representative: Abby Kenyon - Director of Community Development
Complete Address: 15 N Granby Rd Granby CT
Daytime Phone: 860-844-5319 Evening Phone: _____ Fax: _____

**********PLEASE ATTACH ADDITIONAL SHEET IF NECESSARY**********

Project Name and Brief Description (i.e. residential, agricultural, commercial, number of lots, etc.): Bandshell sidewalk - See attached

Is any portion of the property located within 500 feet of an adjoining municipality? No
Wetlands Located on Property (in square feet (sq. ft.)): 2,643,000 Wetlands to be impacted (sq. ft.): 0
Watercourses Located on Property? Y Name or Type of Watercourse: West Branch Salmon Brook
Are Proposed Activities Located within the 100-Year Floodplain? No Floodway? No
Are there slopes with grades in excess of 15% located on the property? Yes
Do Proposed Activities Require Review by the PZC? No

*********SEE APPLICATION CHECKLIST ON BACK for MINIMUM APPLICATION REQUIREMENTS**********

The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Granby, Inland Wetlands & Watercourses Commission, and its agent (s) to inspect the subject land, at reasonable times, during the pendency of an application and for the life of the permit.

☞ Applicant's Signature: _____ Date: _____
Owner's Signature: [signature] Date: 8/6/25

FOR OFFICE USE

Application #: n/a	*Date Submitted:* 8/6/25
Fee amt./Check or Cash: n/a	*Date of Receipt:* 8/13/25
Agent Ruling:	*Date Approved/Denied:*

See Reverse Side for Conditions of Approval or Reason for Denial

Project Narrative

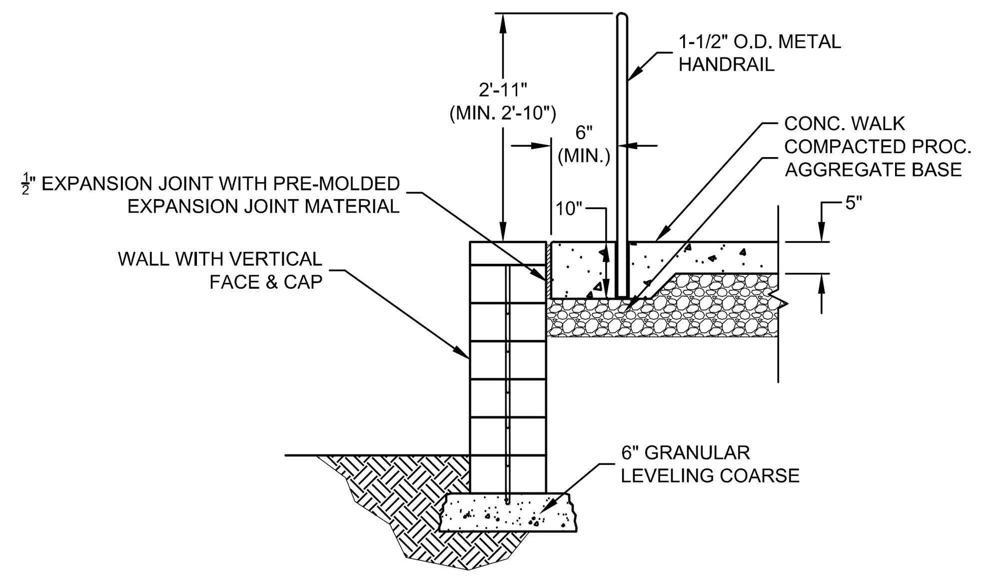
The proposed project consists of the installation of a walkway/ramp extending from the Salmon Brook Park House north to the bandshell.

The Town of Granby received a donation from the Valley Brook Community Church to install a ramp to provide easier access to the bandshell. After analyzing and exploring several options, it was determined that a walk that extends from the northeast corner of the building, running to the southwest corner of the bandshell, and then turning and running parallel to the bandshell (ramping up slightly) to provide access at the southeast corner of the bandshell, is the preferred location and layout. Refer to the aerial below:

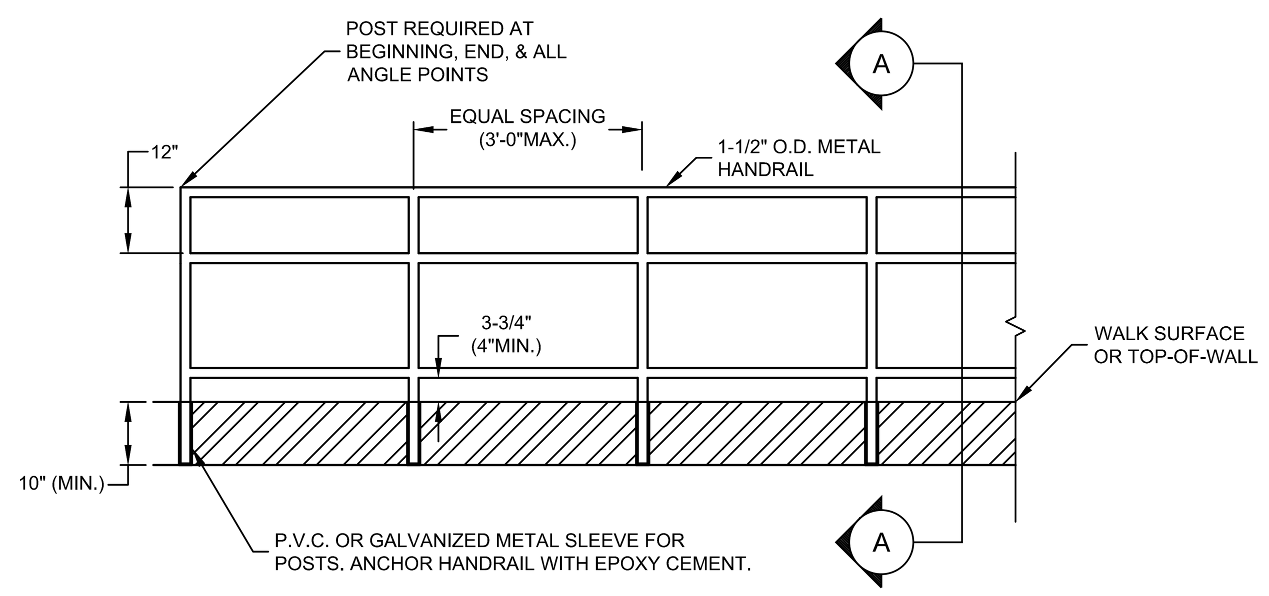
The area of the proposed walk would be excavated (approximately 475 square feet) and a compacted aggregate base (8-10”) added. Pavers would then be laid on this base to form a 5-foot wide walk. Once the pavers are set, polymeric sand would be swept into all paver joints and edging installed to ensure stability. As the walk approaches the front of the bandshell and ramps up, a new concrete block wall, approximately 16 feet in length would be installed. A railing would be installed on top of the completed block wall. Once all work is complete, the disturbed area would be topsoiled and seeded.

As shown on the attached plan, during construction, silt fence would be installed around the disturbed area until it is reestablished and stabilized.

There are alluvial soils therefore the project is in a regulated area and permitting is required.



SECTION A-A



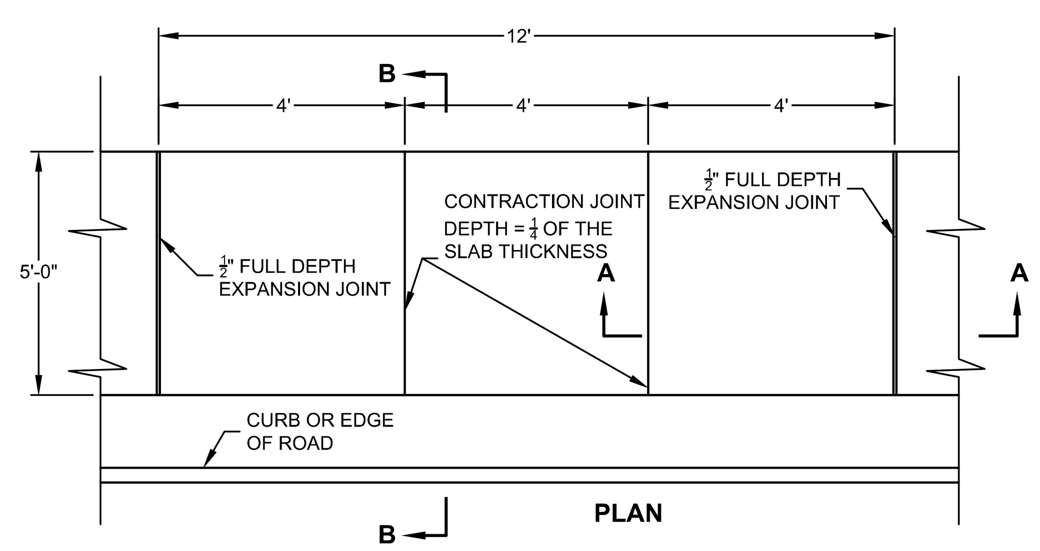
ELEVATION

NOTES:

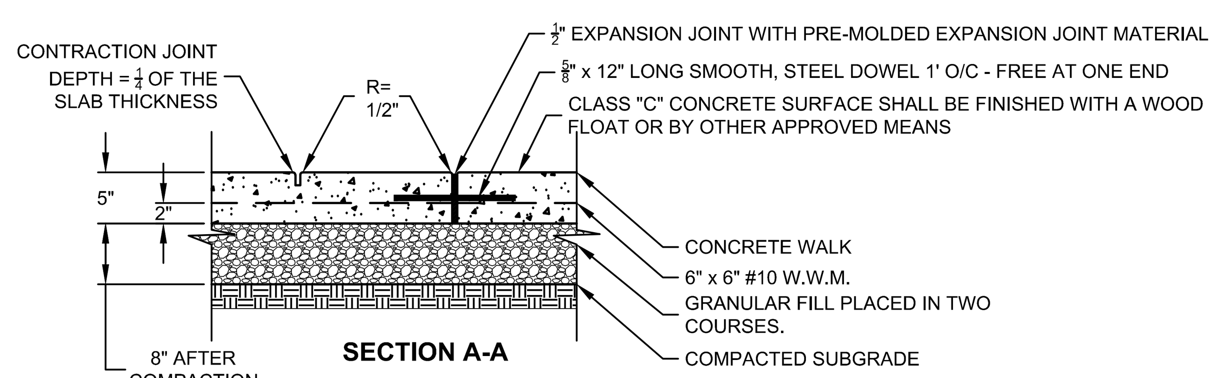
1. WALL TO BE A VERSA-LOK STANDARD UNIT UNREINFORCED WALL WITH A CAP UNIT, OR EQUAL.
2. DO NOT MIX UNITS FROM DIFFERENT VENDORS ON SAME WALL.
3. BLOCKS TO BE PINNED TOGETHER.
4. PIN NEW BLOCK WALL TO EXISTING CONCRETE SLAB.
5. TOP CAP UNIT TO BE GLUED TO BLOCKS WITH ADHESIVE MEETING MANUFACTURERS RECOMMENDATIONS.
6. UNLESS OTHERWISE SPECIFIED, ALL RAMP POSTS, HANDRAILS, AND RETURNS SHALL BE SCHEDULE. 40 GALVANIZED STEEL.

METAL GUIDE RAIL FOR CONC. WALK WITH WALL DETAIL

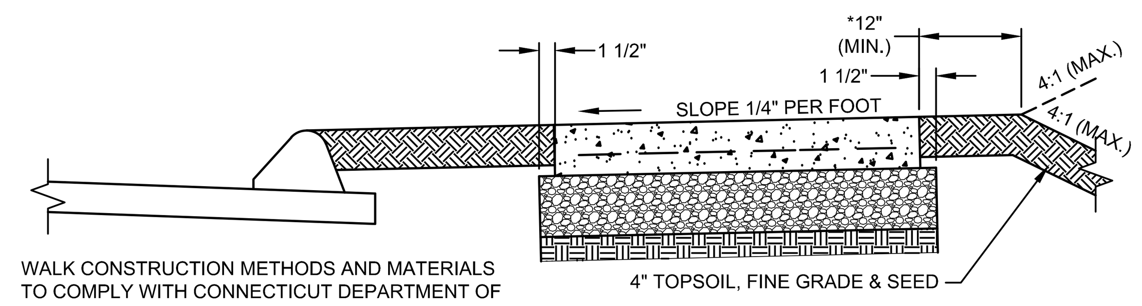
(NOT TO SCALE)



PLAN



SECTION A-A



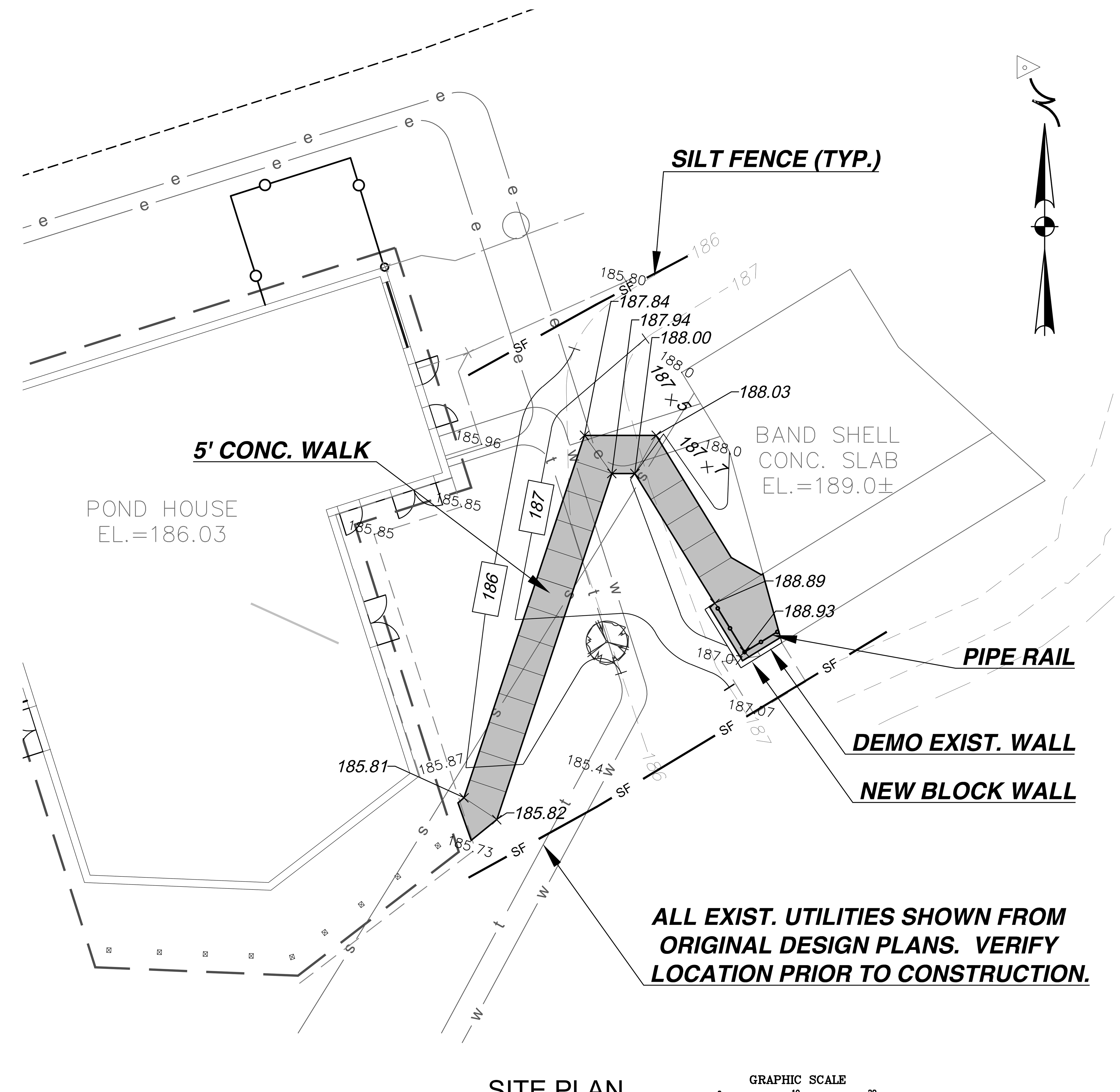
WALK CONSTRUCTION METHODS AND MATERIALS TO COMPLY WITH CONNECTICUT DEPARTMENT OF TRANSPORTATION FORM 817 AS AMENDED.

SECTION B-B

* EXCEPT WHERE NOTED

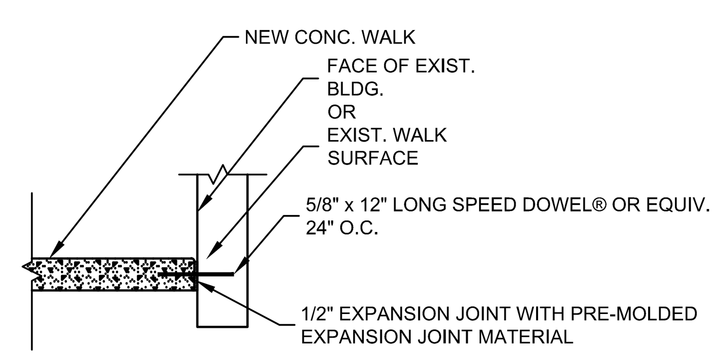
CONCRETE WALK DETAIL

(NOT TO SCALE)



SITE PLAN
SCALE:1"=10'

GRAPHIC SCALE
0 10 20
(IN FEET)
1 inch = 10 ft.



CONC. SIDEWALK JOINT AT EXIST. BUILDING OR SIDEWALK DETAIL

(NOT TO SCALE)

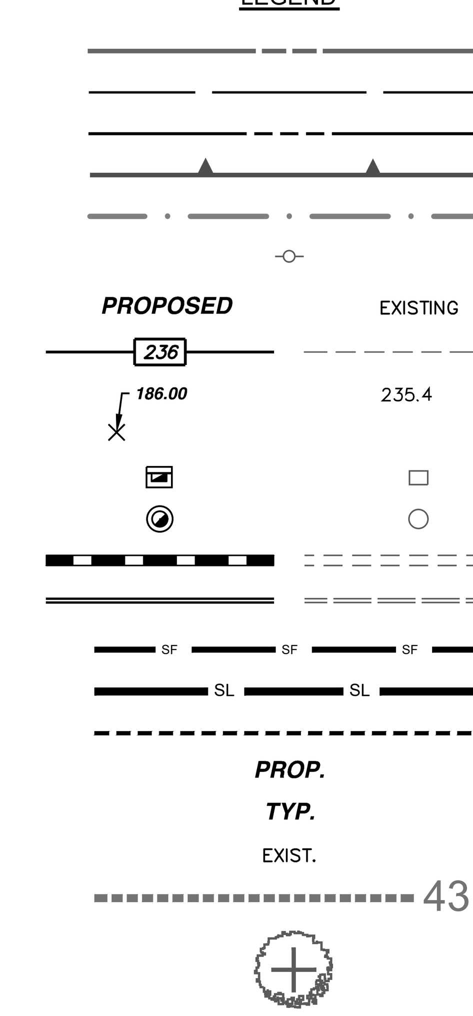
GENERAL NOTES:

1. THE CONTRACTOR SHALL USE "CALL BEFORE YOU DIG, 1-800-922-4455" PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. CONSTRUCTION METHODS AND MATERIALS, SHALL CONFORM TO THE REGULATIONS OF CTDOT FORM 819 .AS AMENDED.
3. THE CONTRACTOR SHALL VERIFY ALL LINES AND GRADES PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES, ETC.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY AND SHALL COMPLY WITH ALL FEDERAL AND STATE OCCUPATIONAL SAFETY AND HEALTH AUTHORITY (O.S.H.A.) REGULATIONS.
6. THE CONTRACTOR SHALL PROVIDE, INSTALL, MAINTAIN AND REMOVE ALL SHORING, BRACING AND OTHER ITEMS NECESSARY TO RETAIN BANKS OR EXCAVATIONS AND PREVENT CAVE-INS AND DISPLACEMENT OF ADJOINING GROUND. SHORING AND BRACING SHALL BE ENTIRELY INDEPENDENT OF FOOTINGS.
7. THE CONTRACTOR SHALL KEEP TRENCHES FREE FROM STANDING WATER AT ALL TIMES UNTIL PERMANENT WORK IS IN PLACE. ALL NECESSARY WELL-POINTING AND/OR PUMPING SHALL BE PERFORMED AND MAINTAINED AT THE CONTRACTOR'S EXPENSE.
6. ALL EXPOSED CURB ENDS ARE TO BE TAPERED.
7. SAW CUT EXISTING CURBS AND PAVEMENT WHERE THEY MEET PROPOSED CURBS OR PAVEMENT.

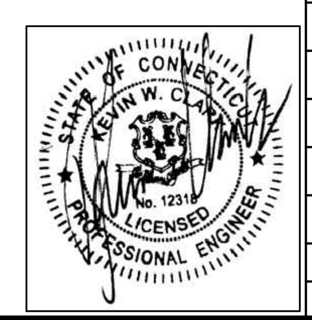
GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO, "2024, CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION," AS AMENDED.
2. THE SEDIMENT AND EROSION CONTROL NOTES AND DETAILS INCLUDED IN THE CONSTRUCTION DOCUMENTS MAY REFER TO INFORMATION LOCATED IN THE GUIDELINES. THE CONTRACTOR SHALL HAVE A COPY OF THE GUIDELINES AVAILABLE FOR REFERENCE DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE NEARBY STREETS OF ANY SEDIMENT OR CONSTRUCTION DEBRIS ORIGINATING FROM THIS PROJECT.
5. IF EXCESS MATERIAL FROM THE PROPOSED CONSTRUCTION IS TO BE REMOVED FROM THE SITE, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ITS DEPOSITION.
6. THE CONSTRUCTION ENTRANCE, IF NOTED, AND THE SEDIMENT CONTROLS LOCATED AT THE PERIMETER OF THE PROPOSED EDGE OF DISTURBANCE(S), SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY. INSTALLATION SHALL BE AS PER THE MANUFACTURERS' INSTRUCTIONS AND AS DETAILED ON THESE PLANS.
7. ALL STORM DRAINAGE INLETS ARE TO BE PROTECTED FROM SEDIMENT INTRUSION. SEDIMENT SHALL BE REMOVED FROM ALL DRAINAGE STRUCTURES, PIPE SYSTEMS, OUTLET STRUCTURES, RIP RAP, AND CHANNELS.
8. ALL STOCKPILES OF SOIL ARE TO BE ENCIRCLED WITH SILT FENCE.
9. THE CONTRACTOR SHALL EMPLOY TEMPORARY EROSION CONTROL MEASURES SUCH AS, SILT FENCE, HAY BALES, STONE BARRIERS, EROSION CONTROL MATTING, SEDIMENT TRAPS, DEWATERING BASINS, AND TEMPORARY STORMWATER DIVERSIONS, AS NECESSARY DURING CONSTRUCTION, TO PROTECT THE SITE AND ADJACENT PROPERTIES FROM EROSION.
10. ALL LOCATIONS, INCLUDING SWALES, LAWN AREAS, AND STORM SEWER DISCHARGE POINTS, THAT ARE TO RECEIVE A CONCENTRATED FLOW OF STORMWATER, ORIGINATING FROM SURFACE FLOW OR STORM SEWER SYSTEMS, SHALL BE STABILIZED AND PROTECTED FROM EROSION PRIOR TO RECEIVING THE WATER.
11. DAMAGED SECTIONS OF SILT FENCE AND/OR HAY BALES SHALL BE REPLACED BY THE CONTRACTOR. SEDIMENT DEPOSITS SHALL BE REMOVED BY THE CONTRACTOR WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. SEDIMENT SHALL BE REMOVED IN A MANNER THAT DOES NOT CAUSE ADDITIONAL EROSION OR POLLUTION.
12. AT A MINIMUM, ALL SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER. REPAIR SEDIMENT CONTROL MEASURE AS NECESSARY.
13. DISTURBED AREAS ARE TO BE STABILIZED AS SOON AS POSSIBLE AFTER DISTURBANCE. WHEN GRADING OF THE DISTURBED AREA WILL BE SUSPENDED FOR A PERIOD OF 30 OR MORE CONSECUTIVE DAYS, BUT LESS THAN 5 MONTHS, STABILIZE THE SITE WITHIN 7 DAYS OF THE SUSPENSION OF GRADING THROUGH THE USE OF MULCH OR OTHER MATERIALS APPROPRIATE FOR USE AS A TEMPORARY SOIL PROTECTOR. FOR SURFACES THAT ARE NOT TO BE REWORKED WITHIN 5 MONTHS BUT WILL BE REWORKED WITHIN 1 YEAR, USE TEMPORARY SEEDING, MULCH FOR SEED OR WHEN SLOPES ARE LESS THAN 3:1, WOOD CHIPS, BARK CHIPS OR SHREDDED BARK. FOR SURFACES THAT ARE TO BE REWORKED AFTER 1 YEAR, USE PERMANENT SEEDING AND MULCH FOR SEED.
14. EXCAVATED STUMPS AND CUT TREES ARE TO BE CHIPPED AND STOCKPILED FOR FUTURE USE, OR REMOVED TO AN OFF-SITE DISPOSAL AREA. BRUSH AND SLASH ARE TO BE CHIPPED AND STOCKPILE FOR FUTURE USE OR REMOVED FROM THE SITE. EXCAVATED STUMPS,CUT TREES, BRUSH, AND SLASH, ARE NOT TO BE BURIED ON-SITE.

LEGEND



PROPERTY LINE
BUILDING SETBACK LINE
EASEMENT
WETLANDS
UPLAND REVIEW AREA
UTILITY POLE
CONTOUR
SPOT GRADE
CATCH BASIN
MANHOLE
STORM SEWER
CURB
SILT FENCE
SEDIMENT CONTROL LOG
CONTRACT LIMIT LINE
PROPOSED
TYPICAL
EXISTING
SOIL BOUNDARY & TYPE
EXIST. TREE TO BE REMOVED



NO.	DATE	DESCRIPTION

REVISIONS

TOWN OF GRANBY
PLAN SHOWING PROPOSED SIDEWALK
SALMON BROOK PARK
215 SALMON BROOK STREET
GRANBY, CONNECTICUT

SCALE: 1"=10'	DATE: JUNE 30, 2025	JOB #: 2025.G05	SHEET: 1 OF 1

TOWN OF GRANBY
ENGINEERING DEPARTMENT
GRANBY TOWN HALL
15 NORTH GRANBY ROAD
GRANBY, CONNECTICUT 06035
PHONE: (860) 844-5318 FAX: (860) 844-5325

UTILITY WARNING

The locations of existing underground utilities are shown in an approximate way only and have not been independently verified by the Owner or its representative. Utilities not shown on this plan may exist. The Contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the Contractor's failure to exactly locate and preserve any and all underground utilities. The Contractor shall use CALL BEFORE YOU DIG, 811, or contact CBYD.com prior to any construction activity.

K:\G_2025\2025.G05\dwg\SBP-Ramp-CIVIL000.dwg

TOWN OF GRANBY
Office of Community Development, Inland Wetlands and Watercourses Commission
Telephone: (860) 844-5318, www.granby-ct.gov

RECEIVED AUG 01 2025 Granby Building Department

Application for Inland Wetlands & Watercourses Activity

Application For: ☐Permit ☐Extension ☐Modification (Existing Permit/Application #): _____
☐Wetlands Map Amend. ☒Request for Review ☐Other: _____

Property Location and Nearest Intersection: # 253 Loomis St. N. Granby CT
Size of Parcel: _____ Zone: _____ Map/Lot: _____ Current Use: _____

Applicant's Name: Dave Emery representing Granby Land Trust
Complete Address: # 71 Loomis St.
Daytime Phone: 860 214 6055 Evening Phone: — Fax: —
Email: dwemery79@gmail.com

Owner's Name: Granby Land Trust
If the owner is a corporation, or other non-individual entity, include the primary contact information
Complete Address: _____
Phone Daytime Phone: _____ Evening Phone: _____ Fax: _____

Applicant's Representative: _____
Complete Address: _____
Daytime Phone: _____ Evening Phone: _____ Fax: _____

**********PLEASE ATTACH ADDITIONAL SHEET IF NECESSARY**********

Project Name and Brief Description (i.e. residential, agricultural, commercial, number of lots, etc.):
— see attached summary —
Seeking permission to repair/damage to footbridge at Dismal Brook wildlife preserve

Is any portion of the property located within 500 feet of an adjoining municipality? north border is state line
Wetlands Located on Property (in square feet (sq. ft.)): _____ Wetlands to be impacted (sq. ft.): _____
Watercourses Located on Property? Yes Name or Type of Watercourse: Dismal Brook
Are Proposed Activities Located within the 100-Year Floodplain? yes Floodway? see map
Are there slopes with grades in excess of 15% located on the property? yes
Do Proposed Activities Require Review by the PZC? ?

*********SEE APPLICATION CHECKLIST ON BACK for MINIMUM APPLICATION REQUIREMENTS**********

The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Granby, Inland Wetlands & Watercourses Commission, and its agent (s) to inspect the subject land, at reasonable times, during the pendency of an application and for the life of the permit.

☞ Applicant's Signature: [signature] GLT V.P. Date: Aug 1, 2025
Owner's Signature: GLT Date: Aug 1, 2025

FOR OFFICE USE

Application #:	n/a	*Date Submitted:*	8/1/25
Fee amt./Check or Cash:	n/a	*Date of Receipt:*	8/13/25
Agent Ruling:		*Date Approved/Denied:*	

See Reverse Side for Conditions of Approval or Reason for Denial

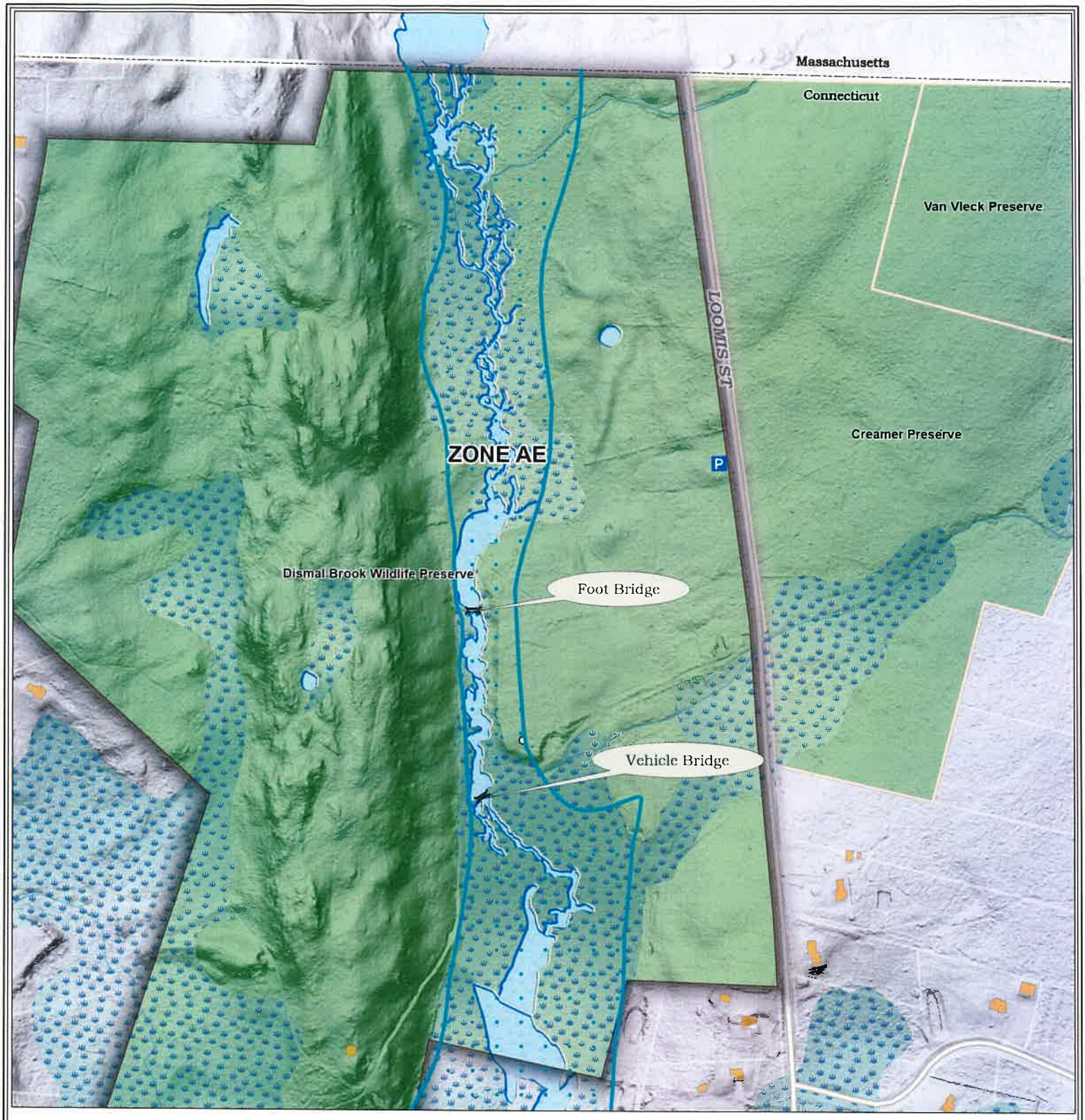
In 2020, the Granby Land Trust (GLT) opened the Dismal Brook Wildlife Preserve (DBWP) on 210 acres of land in North Granby that was donated by Jamie Gamble. In the intervening five years, the Preserve has become very popular, attracting several thousand visitors annually. A key component to the DBWP experience are the two bridges, one suitable for vehicular traffic and one footbridge, that were constructed over Dismal Brook with input from Inland Wetland and Watercourse Commission (IWWC) agent Kate Bednaz. The footbridge is 30' wide and constructed on top of the remnants of a earthen dam that was apparently breached in the 1955 flood.

In the spring of 2025, beavers constructed a 4' high dam across Dismal Brook immediately upstream from the footbridge. The result was the 14 acre north marsh that lies upstream of the beaver dam became an impoundment. While initially celebrating the expansion of the north marsh wetland complex, the GLT became concerned about the integrity of the footbridge in the event the beaver dam was breached by high water. These concerns were underscored when an unknown individual removed material from the east and west ends of the dam triggering severe scouring of the bridge supports, particularly on the west side. The footbridge is supported by four concrete Sonotubes, two at each end, sunk 42 inches down into the sand, gravel and stone matrix of the preexisting dam. The erosion on the western abutment is such that only six or so inches of those two Sonotubes remain buried. The GLT is requesting permission to rectify this situation that threatens the integrity of the footbridge in an environmentally responsible manner. The proposed plan has three components:

1. construction of a "beaver deceiver" to manage the water level in the north marsh such that a) the beaver dam is left intact b) the beaver inspired expansion of the north marsh is maintained and c) the possibility of the beaver dam being overtopped during a high water event and threatening the footbridge is minimized. The "beaver deceiver" was completed under the duress of heavy spring rains and the aforementioned severe erosion around the western footbridge supports. Input from Kate Bednaz was solicited and Kate and IWWC board member Sue Okie inspected the site on 5/29/25.
2. remediation of the existing overflow channel: The original earthen dam on the site was protected from high water events by an overflow channel on the western side. This channel is now clogged with multiflora rose, brush and fallen trees. The GLT proposes using a mini excavator to remove this organic debris and rejuvenate the overflow channel, thus providing additional protection for the footbridge during high water events.
3. repairs to eroded footbridge abutments: The present situation at the DBWP footbridge, where only 6 or so inches of the foundational Sonotubes on the west side remain buried, is untenable. We are looking at the distinct possibility of having the footbridge toppled during a high water event unless the abutments are reinforced. Our proposal is to:

a) remove enough beaver dam material from extremities of the beaver dam to expose the original earthen dam. This would be done with the use of a miniexcavator during a time when low water in the upstream impoundment meant we were not working in water. Beaver debris would be replaced when work was finished.
b) use of "river rock" and concrete to reinforce western abutment. The concrete would be hand mixed with a minimal amount of water to keep it in a plastic, non-runny state with

the rock placed into the concrete matrix by hand. Erosion control logs would be installed to preclude material from entering the brook. The GLT hired Martin Page P.E. to diagram the proposed reinforcement….see attached stamped document.



1% Annual Chance Floodplain Boundary (100 yr flood)

DFIRM Special Flood Hazard Areas

NWI 2010 Wetlands

Buildings

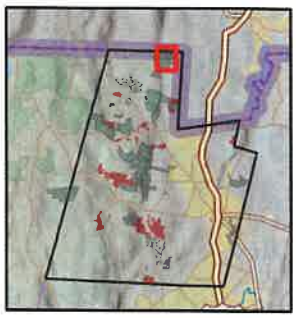
Granby Land Trust

Dismal Brook Wildlife Preserve

Beaver Dam Work

N

0 0.03 0.06 0.12 Miles



Granby Land Trust

Preserving Granby's Natural Heritage

Print Date 4/29/2025

Source:
Parcel data obtained from the State of CT. Planimetrics and NWI Wetlands obtained from CT ECO.
DFIRM data obtained from FEMA - https://floodmaps.fema.gov/NFHL/status.shtml

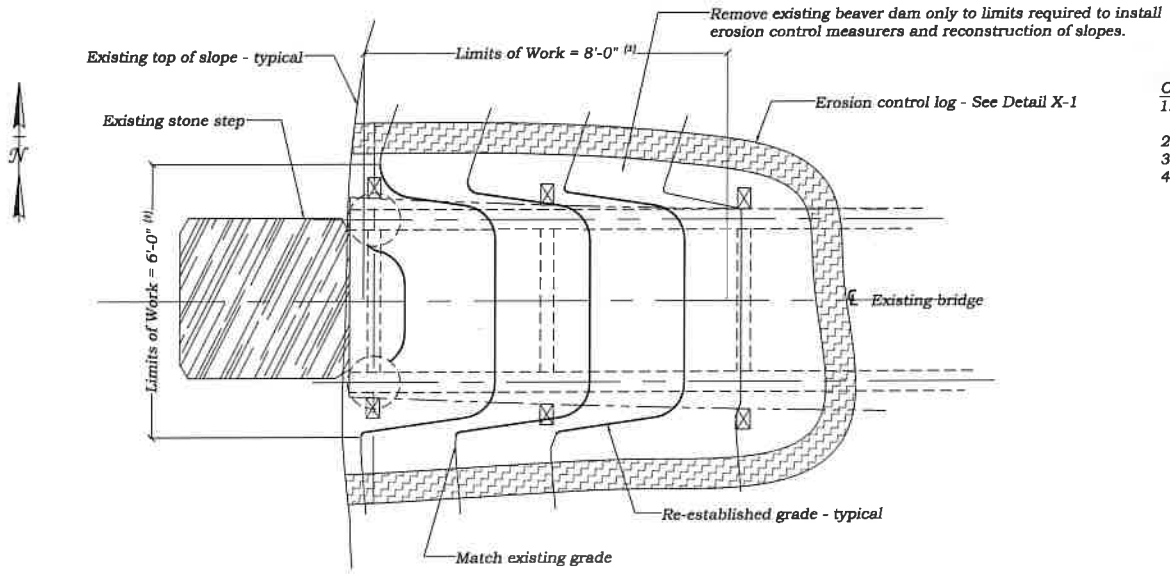
Disclaimer:
This map is for illustration purposes only. The Granby Land Trust, participating local municipalities and its mapping contractors assume no legal responsibilities for the information contained herein.

E:\Clients\GranbyLandTrust\GIS\ProjectFiles\GLT_Map_Requests\GLT_Map_Requests.aprx

Sperry Geospatial, LLC

Mapping the Answers to Your Questions

Proposed repairs to western abutment of footbridge at Dismal Brook Wildlife Preserve



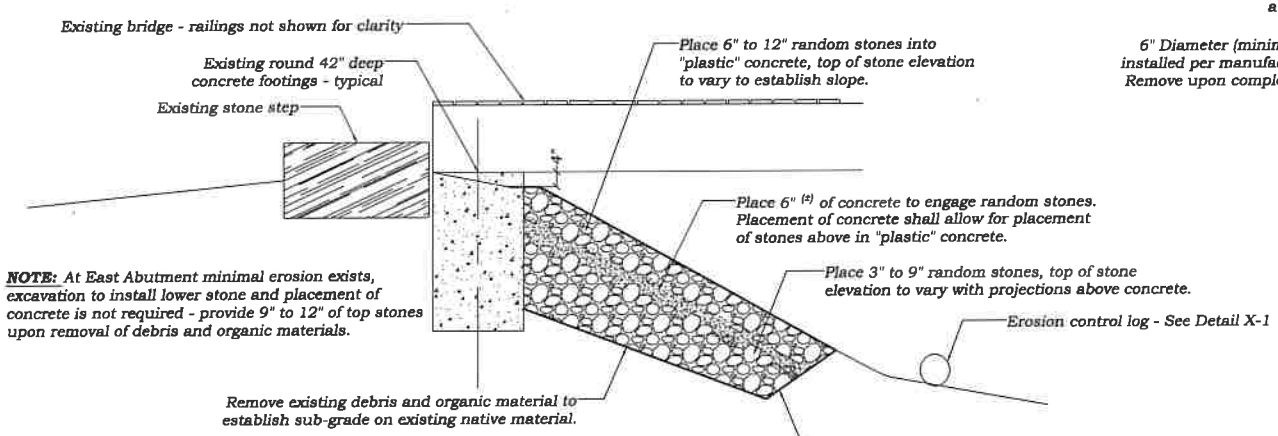
PP-1 **Part Plan - Slope Restoration**

Scale: 3/8" = 1'-0"

West abutment shown - Limits for reconstruction similar at East Abutment.

Overflow Spillway Restoration Notes:

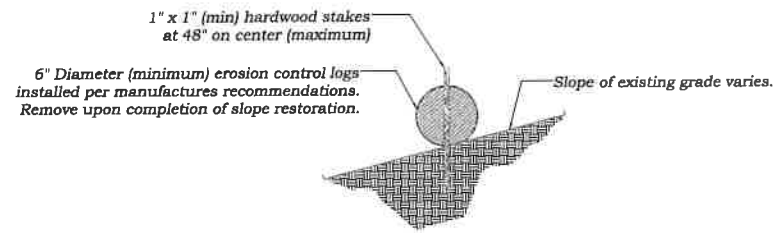
1. An old existing overflow spillway exist on the West bank of the pond. This spillway circumvents the dam and leads to the stream below.
2. Remove all organic material, wood, brush, vegetation etc. from spillway.
3. All existing stones and boulders shall remain.
4. As needed, place additional flat stones for trail stepping stones and erosion control in areas where the trail crosses the overflow spillway.



NOTE: At East Abutment minimal erosion exists, excavation to install lower stone and placement of concrete is not required - provide 9" to 12" of top stones upon removal of debris and organic materials.

S-1 **Section - Slope Restoration**

Scale: 3/8" = 1'-0"



X-1 **ECS Detail**

Scale: NONE

Dismal Brook Wildlife Preserve - Granby Land Trust Loomis Street - Granby, Connecticut	
Drawing Title: Foundation Erosion Repair	Date: 07-24-2025 Drawing No.: D-1

diagram produced by Marty Page P.E.

TOWN OF GRANBY

Incorporated 1786
15 North Granby Road
Granby, Connecticut 06035-2102
860-844-5318

August 13, 2025

Cassandra Peeler
c/o AutoZone, Inc.
123 S. Front Street, 3rd Floor
Memphis, TN 38103

Re: 8 East Granby Road – C. Peeler c/o AutoZone, Inc. – Permit application to demolish existing structures and construct a 6,796 sq. ft. commercial building and other associated site work within a regulated area.

Dear Ms. Peeler,

Please be advised that on August 13, 2025, the Inland Wetlands and Watercourses Commission (IWWC) approved the subject application in accordance with the following documentation:

1. Preliminary Site Plans; 8 East Granby Road; Prepared by Kimley Horn; Dated 5/13/25; Revised 8/5/25 (16 Sheets)
2. Stormwater Management Plan; Prepared by Dean Apostoleris; Dated May 2025; Revised August 2025
3. Environmental Safety Assurance Letter; dated 7/31/25
4. Application dated 5/13/25 and all other corresponding materials.

The following are the conditions of this approval.

1. All construction activities shall be coordinated through the Office of Community Development.

2. The Office of Community Development shall be notified:
   a. At least 48 hours prior to the start of any activities and when barrier erosion controls have been installed prior to earth disturbance activities.
   b. Upon completion of construction and site stabilization, the IWWC shall be notified in writing that work is complete, and a final inspection may be completed at that time.

3. Prior to the start of work the applicant shall reimburse the Town of Granby for all payments made to the Town Wetlands Officer for monitoring the development for compliance with this approval. The applicant will reimburse the Town at a rate of $100 per hour for the services of the Town Wetlands Officer. The applicant shall deposit with the Town of Granby the sum of $500 to be applied to the costs as described herein. Should the costs exceed this amount the applicant will be billed for the difference. Any funds not used for the project will be remitted to the applicant at the conclusion of the project. As used in this condition, the term Town Wetlands Officer includes any person or firm so designated by the Director of Community Development for the purposes of monitoring the development activities to assure compliance with this approval and the IWWC Regulations.

DRAFT

4. All work shall be in conformance with the approval and application materials as submitted for this Permit Approval. Any modifications to the approved plans must be reviewed and approved by the Granby Inland Wetlands and Watercourses Commission or their designated Agent.
5. Erosion controls shall be maintained until the site has achieved permanent stabilization. Permanent stabilization is defined as 70% permanent vegetation covering over 90% of the area. A stockpile of erosion controls shall remain on site to prepare controls as necessary. The IWWC shall be notified in writing at least 48 hours in advance of erosion controls being removed.

6. Excavated soil shall not be brought off-property without the notification and approval of the Office of Community Development. The applicant shall supply the destination in writing for any excavated soil removed from the property.

7. Only clean fill, free of invasive species shall be brought on-site.

8. It shall be noted that the issuance of a permit through the Granby IWWC only satisfies approval with the local Inland Wetlands and Watercourse Regulations and does not satisfy any other local, state, or federal permits which may apply to this project.

9. This permit shall be considered valid for a period of 5-years from the date of issuance.

Please provide a Mylar copy of the approved maps to the Office of Community Development for the signature of the Inland Wetlands and Watercourses Commission's Chair at your earliest convenience. Once the approved Mylars are signed by the Commission's Chair, you will need to file it in the office of the Town Clerk.

If you have any questions, please call the Office of Community Development at your earliest convenience.

Sincerely,

John Laudati
Granby IWWC Chairman

DRAFT

Outlook

FW: 8 East Granby Road-AutoZone, Inland Wetlands Application

From Abigail Kenyon <akenyon@granby-ct.gov>
Date Mon 8/11/2025 12:32 PM
To Renee Deltenre <RDeltenre@granby-ct.gov>
Cc Granby Wetlands Agent <wetlandsagent@granby-ct.gov>

Hi Renee-

Can you please forward this to the applicant? And include in the IWWC meeting folder / packet.

Thanks,
Abby

From: Kevin Clark <townengineer@granby-ct.gov>
Sent: Monday, August 11, 2025 10:53 AM
To: Abigail Kenyon <akenyon@granby-ct.gov>; Kate Bednaz <freshwaterwetland@gmail.com>
Subject: 8 East Granby Road-AutoZone, Inland Wetlands Application

Abby,

The revised plans dated 8/5/25 submitted by the applicant and the revised drainage report, address all of my comments from my 5/22/25 review.

Kevin Clark, PEL
Town Engineer
Town of Granby
15 North Granby Road
Granby, CT 06035
(860)844-5318

Kimley»Horn

August 5th, 2025

Town of Granby – Inland Wetlands & Watercourses Commission
Town Hall
15 North Granby Road
Granby, CT 06035

Attn: Kevin Clark, PEL, Kate Bednaz, and Abigail St. Peter Kenyon, AICP

RE: **AutoZone Granby**
8 East Granby Road, Granby, CT 06035
IWWC Application Submitted 5/14/2025

Dear Commission Members,

This letter is being submitted by Kimley-Horn & Associates, Inc. on behalf of AutoZone, Inc. ("Applicant") in response to the department review letters listed below:

- Town Engineer – Kevin Clark, PEL dated 7/2/2025
- Inland Wetlands Agent Review – Kate Bednaz dated 7/17/2025

The below comments are followed by responses numbered based on the comments in the above referenced review letters.

<u>Town Engineer – Kevin Clark, PEL</u>

Survey Sheet 1

1. Show and label existing sidewalk.

   Response: The existing sidewalk is shown, and a label has been added on the Survey Sheet.

Sheet C-3.0

2. Show test hole information on this sheet.

   Response: Sheet C-3.0 has been revised to include the test pit information (testing elevation and infiltration rate).

Stormwater Management

3. Add the test hole pit data to the report and on sheet C-3.0. Test pits and soil data reporting to comply with the Connecticut Stormwater Quality Manual, March 30, 2024, Chapter 10, Test pits and Borings, pages 178 and 179.

   Response: Test pit data is included in the SWMP on page 14 and the full geotechnical report is provided in Appendix A.

   Per the CT Stormwater Quality Manual, if the infiltration rate exceeds 8.3 in/hr, then 100% of the stormwater quality volume requirement must be treated using a different stormwater management practice before entering the infiltration basin. Therefore, the project stormwater management plan has been revised to include a bioretention basin before the

infiltration basin to treat the required water quality volume. The provided site plans and SWMP have been revised to include the bioretention location and details.

4. Concur with the results and conclusions

   Response: Comment Acknowledged.

<u>Inland Wetlands Agent Review – Kate Bednaz</u>

1. A total of the $257.94 application fee for the "VI. Post Activity Application Fee" shall be returned to the applicant, as no work, beyond exploratory investigations and data collection, has been started before the issuance of an approval.

   Response: Comment Acknowledged. The check has been received.

2. Kevin Clark, the Granby Town Engineer provided his most recent comments in the July 2, 2025, memorandum in which the remaining items to be addressed, will need to be addressed by the subsequent Town review and would not change the impacts to wetland resource areas as part of the proposed project.

   Response: Comment Acknowledged.

3. The project proposes to modify the property to increase impervious surfaces from 0.17 acres to 0.80 acres. Resulting in a 0.63 acre increase in the impervious area on the property. The property survey, sheet 1 of 1, shows the size of each tree and corresponding dripline. A large portion of the property is currently shaded by tree canopy, proposed work will modify this feature by reducing the area covered by canopy, having a reasonably likely impact on thermal temperatures generated by the property. These changes, if implemented with best management practices, will not impact the wetland resource area. The applicant presented that they propose to mitigate this impact through the following measures.
   a. The installation of 102 woody native species as part of the project, and to preserve existing vegetation where possible. This is best depicted on the "Landscape Plan". Considering the size of the proposed development's footprint, the applicant has proposed a reasonable density of native woody vegetation.
   b. In addition, the roof color and pavement around the building will be light in color to reduce the absorption of heat on the lot.
   c. Primary (parking, roof, walkways) development driven stormwater flows will be directed to the underground stormwater management system, and then to the infiltration basin. This will provide time and conditions for a reduction in the temperature in stormwater flows. Thankfully, the site allows for complete infiltration of stormwater, to combine with the underground water table. It is reasonably likely that this impact, as mitigated will not have a negative impact on the adjacent wetland resource areas.
   d. The IWWC is charged with protecting the functions and values of the wetland resource areas. It is my professional opinion that it is reasonably likely that the site design will not have an adverse impact on the wetland resource areas. This determination is also considering the location of the paved Hungary Road between the site and the adjacent resource area.

   Response: Comment Acknowledged.

4. While it is not a requirement for IWWC approval, it remains strongly recommended that the applicant investigate utilizing pervious pavement or other parking medium during subsequent Town review processes. Options that would provide for stormwater infiltration to be located throughout the property, thereby best replicating predevelopment stormwater management characteristics on the site.

   Response: The applicant has reviewed implementing porous asphalt or porous concrete on the project per the recommendation of the IWWC. The quotes provided below are from the CT Stormwater Manual and are accompanied by responses as to why the applicant believes permeable pavement is not the best suited for this project:

   "Well-suited to locations where space for other stormwater BMPs is limited" – Page 295
   - ***The project site has available space to implement traditional stormwater BMPs. The proposed bioretention basin and infiltration basin are designed to treat the full Water Quality Volume (WQv) and reduce peak runoff rates through infiltration-based systems. Adding pervious pavement is not required to meet the applicable design criteria presented in the CT Stormwater Manual.***

   "Not recommended in areas with high traffic volumes. Should only be used in low speed and low traffic areas or outside main travel lanes." – Page 296
   - ***The proposed project will feature vehicle turnover, turning movements, delivery truck access, and garbage truck access making the main drive aisles inconsistent with the intended use of pervious surfaces. Installing such pavements in these areas would contradict state design guidance and could result in early failure and reduced system effectiveness.***

   "Susceptible to clogging by sediment – Page 296
   - ***Once clogged, permeable pavement requires costly and specialized vacuuming or replacement. Unlike bioretention and infiltration basins, which are easily inspected and maintained, the infiltration capacity of permeable pavement cannot be easily verified after installation. The applicant would prefer to install traditional BMPs, which provide clear inspection and maintenance schedules as to properly maintain the effectiveness of the stormwater design for decades into the future.***

   "Porous Asphalt installations of 0.5 acre or less are generally not cost effective" – Page 296
   - ***0.09 acres are available for porous asphalt within parking stalls and 0.12 acres are available for porous concrete within parking stalls. The limited available space to implement porous pavement is not cost effective for this project.***

5. The applicant has proposed an "Invasive Species Removal Notes" on the Landscape Notes and Details" sheet L-1.1.
   a. The applicant proposes to remove invasive species within 10-feet outside of the limit of disturbance. Why not the entire property? It is recommended that the entire property be included in the invasive species removal plan and application notes be modified accordingly.
   b. The initial treatment/removal is proposed during the site clearing activities and 6 months post initial treatment. It is recommended that the treatment area be free of invasive species for one full growing season, the intent is to treat any remaining seed stock that germinates the spring post removal. It is recommended that the application notes regarding this activity be modified accordingly. The following condition has also been included for review below.
      i. "The site shall remain free of invasive vegetative species throughout 2-full growing seasons to ensure re-establishment from invasive seed stock or plant parts does not occur. A final inspection shall be required by the IWWC or their designee."

Response: The notes on Sheet L-1.1 have been revised to include the entire property in the invasive species removal plan and to include the additional note above.

6. Overall, the project as proposed does not appear likely, in my professional opinion, to result in an alteration to the adjacent Inland Wetlands and Watercourse resource areas due to the mitigation proposed and the existing adjacent landscape.

   Response: Comment Acknowledged

Please contact us at (914) 369-1733 or trent.suddeth@kimley-horn.com if you have any questions or require further information.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

Trent A Suddeth

Trent Suddeth, P.E.

123 South Front Street, Memphis TN 38103-3607

July 31st, 2025

Dear Community of Granby, CT

At AutoZone, we value the concerns raised by our community and appreciate the opportunity to address them directly. We remain committed to complying with all applicable environmental regulations and to protecting the natural resources in the communities we serve. This letter is intended to address the specific questions we received and provide assurance about our environmental practices.

1. Protection of Local Waterways & Stormwater Management

We design our facilities and protocols with the Clean Water Act (CWA) in mind, particularly the provisions outlined in 40 CFR 122, which cover stormwater control under the National Pollutant Discharge Elimination System (NPDES). While our facility is not directly regulated under NPDES, we voluntarily adopt best practices to mitigate potential runoff and pollution risks.

Our site will be equipped with an infiltration basin designed to capture and manage stormwater runoff. In addition, our AutoZoners receive training on spill response procedures to ensure quick and appropriate containment and cleanup of any incidents. For situations beyond the scope of store personnel, we partner with a professional emergency response vendor trained in hazardous material cleanup and environmental remediation.

While we understand the suggestion to use pervious concrete or asphalt, we intentionally avoid such materials. In the event of a spill, pervious surfaces could allow contaminants to seep into the subsurface. Our goal is to contain spills on the surface, clean them effectively, and dispose of waste through appropriate channels.

2. Handling and Disposal of Hazardous Materials

AutoZone has established robust programs for managing materials such as used motor oil and vehicle batteries. These items are collected and sent to authorized recyclers for processing into new products. For all other potentially hazardous materials, we comply with the Resource Conservation and Recovery Act (RCRA), ensuring proper cradle-to-grave tracking and disposal through a licensed hazardous waste hauler and a permitted Treatment, Storage, and Disposal Facility (TSDF).

3. Oil-Water Separator

This facility will not discharge any oil or hazardous substances to the sanitary or storm sewer systems. All discharges will be limited to standard domestic sewage from restrooms and sinks, which are routed to the municipal wastewater system. Since there will be no floor drains or industrial discharges requiring treatment, an oil-water separator is neither required nor appropriate for this location.

We appreciate the thoughtful engagement from the community and are committed to being a responsible and transparent neighbor. If there are any additional questions or concerns, please don't hesitate to reach out.

Sincerely,

Caleb Baker

Caleb Baker
Environmental Manager

Engine Hoists In Stock
Duralast
PROVEN TOUGH
Duralast
JUEGO DE ELEVACIÓN DE 2 TONELADAS
Duralast
2 TON MECHANICS LIFT KIT
Best Parts. Best Prices.
Duralast Jack/Creeper Mechanics Kit
$69.99
80-6253
ASK FOR ASSISTANCE

Get The Fun Started
BatteryZone
Duralast
PROVEN TOUGH
FREE TESTING
Duralast 1 YEAR
Duralast 2 YEAR
Duralast 2 YEAR
Keep It Fresh
GORILLA
Duralast
SLIM JIM
ORIGINAL
2 x $5

PartsZone
Parts • Exchanges • Refunds
STARTING & CHARGING
Duralast
CheckoutZone
Air Conditioning
FREE HOW-TO GUIDE

AutoZone
FREE
LOAN-A-TOOL®
PROGRAM
Duralast
AutoZone

STP
MOTOR OIL
PRO
FORMULA
STP
STP

Duralast

AutoZone
Bulbs & Fuses
Headlights
Switches
3
Take Pride In Your Ride
FREE
"CHECK ENGINE LIGHT" HELP
BatteryZone
FREE TESTING
Duralast
PROVEN TOUGH
ROADSIDE KIT
Get Rea

Air Fresheners
Fuel Additives
Oil Additives
1
Headlights
Bulbs
Wipers
2
3
OilZone
Wash & Wax
Keep It Looking Great.
Chemicals
FREE
AutoZone Rewards
Get The Style You Want
MAGAZINES
MAGAZINES
HOT DEALS

PRELIMINARY SITE PLAN APPLICATION PLANS

FOR

AUTOZONE GRANBY

8 E GRANBY ROAD
GRANBY, CT 06035

PROJECT TEAM

CIVIL ENGINEER
KIMLEY-HORN & ASSOCIATES, INC.
1 NORTH LEXINGTON AVENUE, SUITE 505
WHITE PLAINS, NY 10601
TEL: (914) 368-9200
CONTACT: DEAN APOSTOLERIS, P.E.

TRAFFIC ENGINEER
KIMLEY-HORN & ASSOCIATES, INC.
1 NORTH LEXINGTON AVENUE, SUITE 505
WHITE PLAINS, NY 10601
TEL: (914) 368-9200
CONTACT: JOHN CANNING, P.E.

LANDSCAPE ARCHITECT
KIMLEY-HORN & ASSOCIATES, INC.
1 NORTH LEXINGTON AVENUE, SUITE 505
WHITE PLAINS, NY 10601
TEL: (914) 368-9200
CONTACT: FRANK MADER, PLA

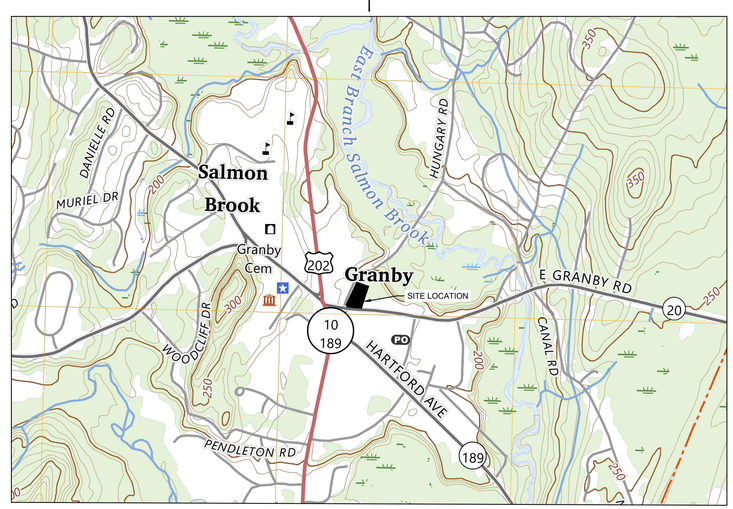
ELECTRICAL ENGINEER
KIMLEY-HORN & ASSOCIATES, INC.
1 NORTH LEXINGTON AVENUE, SUITE 505
WHITE PLAINS, NY 10601
TEL: (914) 368-9200
CONTACT: GRAHAM PENROSE, P.E.

SURVEYOR
VALLEY LAND SERVICES, LLC
4383 HECKTOWN ROAD, SUITE B
BETHLEHEM, PA 18020
TEL: (610) 365-2907
CONTACT: JACK W. SHOEMAKER, PLS

SITE LOCATION MAP
SOURCE: NEARMAPS

NORTH

GRAPHIC SCALE IN FEET
0 100 200 400



VICINITY MAP
SOURCE: USGS

NORTH

GRAPHIC SCALE IN FEET
0 500 1000 2000

PROPERTY INFORMATION

APPLICANT
AUTOZONE INC.
123 S. FRONT STREET, FLOOR 3
MEMPHIS, TN 38103
TEL: 901- 495 - 8753
CONTACT: CASSANDRA PEELER

OWNER
DOCARMO CHRISTOPHER & MANUELA T
116 SOUTHWOOD DR
LUDLOW, MA 01056

MAP: G-51
BLOCK: 71
LOT: 2

ZONE: CENTER COMMONS (CC) AND HISTORIC OVERLAY DISTRICT

Sheet List Table

Sheet Number	Sheet Title
C-0.0	COVER SHEET
C-0.1	GENERAL NOTES
--	SURVEY (BY OTHERS)
C-1.0	EXISTING CONDITIONS AND DEMO PLAN
C-2.0	SITE PLAN
C-3.0	GRADING AND DRAINAGE PLAN
C-4.0	UTILITY PLAN
C-5.0	EROSION AND SEDIMENT CONTROL - PHASE 1
C-5.1	EROSION AND SEDIMENT CONTROL - PHASE 2
C-5.2	EROSION AND SEDIMENT CONTROL DETAILS
C-5.3	EROSION AND SEDIMENT CONTROL DETAILS
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NO.	REVISIONS	DATE	BY
2	IWWC COMMENTS REVISION	08/05/25	KH
1	IWWC COMMENTS REVISION	07/01/25	KH

FOR PERMIT REVIEW

Kimley»Horn

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AutoZone

STATE OF CONNECTICUT
DEAN APOSTOLERIS
37922
LICENSED
PROFESSIONAL ENGINEER
08/05/2025

KHA PROJECT: 112703002
DATE: 05/13/2025
SCALE: AS SHOWN
DESIGNED BY: TS
DRAWN BY: AMA
CHECKED BY: TS

COVER SHEET

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035
TOWN OF GRANBY CONNECTICUT

SHEET NUMBER
C-0.0

Saved Tuesday, August 5, 2025 8:07:00 AM TRENT SUDDETH Plotted Tuesday, August 5, 2025 8:07:41 AM Suddeth, Trent
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GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL STATE AND LOCAL REQUIREMENTS RELATED TO SITE CONSTRUCTION ACTIVITIES PRIOR TO COMMENCING WORK. ALL WORK SHALL CONFORM AS APPLICABLE TO THESE GOVERNING STANDARDS AND SPECIFICATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.

3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.

4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.

5. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO CONSTRUCTION.

6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.

7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.

8. DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF ANY AND ALL CHANGES RELATED TO FIELD CONDITIONS, INCLUDING AREAS OF ROCK EXCAVATION. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS PREPARED BY A NYS LICENSED LAND SURVEYOR SHOWING AND LOCATING ALL FEATURES OF THE WORK AS INSTALLED.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF CONNECTICUT PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.

11. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE OWNER WITHIN 24 HOURS AFTER DISCOVERY IS MADE.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

13. ANY EXISTING UTILITY, WHICH IS TO BE EXTENDED, WHICH IS THE CONNECTION POINT FOR NEW UNDERGROUND UTILITIES, OR WHICH NEW FACILITIES CROSS, SHALL BE EXPOSED BY THE CONTRACTOR PRIOR TO PLACEMENT OF THE NEW UTILITIES. COST OF SUCH EXCAVATION AND SUBSEQUENT BACKFILL SHALL BE INCLUDED IN THE PRICES PAID FOR THE VARIOUS ITEMS OF WORK. THE ELEVATIONS AND LOCATIONS OF THE EXISTING FACILITIES WILL BE CHECKED BY THE PUBLIC WORKS INSPECTOR AND THE ENGINEER. IF IN THE OPINION OF THE INSPECTOR A CONFLICT EXISTS, THEN THE ENGINEER SHALL MAKE ANY NEEDED GRADE AND/ OR ALIGNMENT ADJUSTMENTS AND REVISE THE PLANS ACCORDINGLY. ALL GRAVITY FLOW PIPELINES TO BE LAID UPGRADE FROM THE LOWEST POINT STARTING AT THE END OF EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.

14. WORK OF THIS CONTRACT IS TO INCLUDE, BUT NOT LIMITED TO, DEMOLITION OF EXISTING BUILDING FOUNDATIONS AND OLD UTILITY SYSTEMS, SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, UTILITIES, UTILITY STRUCTURES, ASPHALT AND CONCRETE PAVEMENT. CONCRETE PAVERS. CONCRETE AND GRANITE CURBING, DRIVEWAY APRONS, CONCRETE AND ASPHALT RAMPS, SIDEWALKS. FENCING, RAILINGS, SIGNAGE, SITE LIGHTING, RETAINING WALLS AND MISCELLANEOUS STRUCTURES.

15. HOURS OF CONSTRUCTION ACTIVITY MUST COMPLY WITH THE TOWN OF GRANBY CODE.

16. PRIOR STARTING CONSTRUCTION ALL ACTIVE UTILITIES SHOULD BE IDENTIFIED, MARKED OUT IN THE FIELD, AND SECURED AS NECESSARY.

16. CONTRACTOR IS ALSO TO FAMILIARIZE HIMSELF WITH THE SUBSURFACE EXPLORATIONS AND GEOTECHNICAL REPORTS APPLICABLE TO THE PROJECT. ASSUMED PROVIDED BY OTHERS.

17. INFORMATION GIVEN IN THE SUBSURFACE EXPLORATIONS AND GEOTECHNICAL ENGINEERING REPORTS WAS OBTAINED FOR USE BY THE OWNER IN EXECUTION OF DESIGN. THE SUBSURFACE CONDITIONS DESCRIBED IN THE REPORTS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY. THE SUBSURFACE STRATIGRAPHY SHOWN IN THE REPORTS ARE BASED ON NECESSARY INTERPOLATIONS BETWEEN BORINGS AND MAY OR MAY NOT REPRESENT ACTUAL SUBSURFACE CONDITIONS. THE OWNER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS MADE FROM THE DATA IN THE REPORTS BY THE CONTRACTOR.

18. CONDUCT A PRE-CONSTRUCTION CONFERENCE AT THE PROJECT SITE A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING ANY WORK OF THIS CONTRACT. THE MEETING WILL BE ARRANGED BY THE OWNER UPON NOTIFICATION OF THE CONTRACTOR AND IS TO BE ATTENDED BY REPRESENTATIVES OF THE CONTRACTOR, OWNER, CONSTRUCTION MANAGER, GEOTECHNICAL ENGINEER, SITE/CIVIL ENGINEER AND REPRESENTATIVES OF THE TOWN OF GRANBY.

19. ADJOINING PROPERTY OWNERS WILL CONTINUE TO OCCUPY THEIR FACILITIES IMMEDIATELY ADJACENT TO THE PROJECT SITE AND DEMOLITION AREAS. THUS, THE CONTRACTOR MUST CONDUCT HIS OPERATIONS IN SUCH A MANNER AND MAKE ANY ARRANGEMENTS NECESSARY SO THAT THE ADJOINING PROPERTY OWNER'S USE OF THEIR FACILITIES WILL NOT BE DISRUPTED DURING THE COURSE OF THE WORK.

20. PROVIDE NOT LESS THAN SEVENTY-TWO (72) HOURS' NOTICE TO THE OWNER AND ADJACENT PROPERTY OWNERS OF ACTIVITIES THAT WILL AFFECT THEIR RESPECTIVE USE OF THEIR PROPERTY.

21. MAINTAIN ACCESS TO EXISTING WALKWAYS, EXITS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.

22. DO NOT CLOSE OR OBSTRUCT WALKWAYS, EXITS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION OR THE AFFECTED PROPERTY OWNER.

23. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE CONDUCT OF THE WORK. HOWEVER, IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED. DO NOT DISTURB AND IMMEDIATELY NOTIFY THE OWNER AND CONSTRUCTION MANAGER. HAZARDOUS MATERIALS WILL BE REMOVED BY THE OWNER AND/OR CONTRACTOR UNDER A SEPARATE CONTRACT.

24. REVIEW PROJECT RECORD DOCUMENTS OF EXISTING CONSTRUCTION PROVIDED BY OWNER. OWNER DOES NOT GUARANTEE THAT EXISTING CONDITIONS ARE SAME AS THOSE INDICATED IN PROJECT RECORD DOCUMENTS.

25. THE CONTRACTOR IS RESPONSIBLE FOR ENGAGING A PROFESSIONAL ENGINEER TO PERFORM AN ENGINEERING SURVEY OF THE CONDITION OF ANY REMAINING BUILDING STRUCTURE OR FOUNDATION SYSTEM TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THAT STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION OPERATIONS.

26. PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.

27. EXISTING UTILITIES: MAINTAIN ACTIVE UTILITY SERVICES INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.

28. DO NOT INTERRUPT EXISTING UTILITIES SERVING BOTH ON SITE AND OFF SITE ADJACENT OCCUPIED OR OPERATING FACILITIES UNLESS AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.

29. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO AUTHORITIES HAVING JURISDICTION.

30. PROVIDE AT LEAST SEVENTY-TWO (72) HOURS' NOTICE TO OWNER IF SHUTDOWN OF SERVICE IS REQUIRED DURING CHANGEOVER.

31. TEMPORARY PROTECTION: ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION AND AS INDICATED.

32. PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.

33. PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.

34. PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND BUILDING DEMOLITION AREA AND TO AND FROM OCCUPIED PORTIONS OF ADJACENT BUILDINGS AND STRUCTURES.

35. PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN AND THAT ARE EXPOSED TO BUILDING DEMOLITION OPERATIONS OR OTHER CONSTRUCTION ACTIVITY.

36. GENERAL: DEMOLISH ALL ITEMS, AS EITHER INDICATED ON THE PLANS OR ENCOUNTERED IN THE FIELD DURING THE WORK, COMPLETELY. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:

37. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.

38. MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.

39. LOCATE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND OTHER MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING OF ADJOINING STRUCTURES.

40. ENGINEERING SURVEYS: PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS THAT MAY RESULT FROM BUILDING DEMOLITION ACTIVITIES.

41. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.

42. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, WALKWAYS. OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.

43. USE WATER MIST AND OTHER SUITABLE METHODS TO LIMIT SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL-PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE ADJACENT CONSTRUCTION OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING, AND POLLUTION.

44. REMOVE STRUCTURES AND OTHER SITE IMPROVEMENTS INTACT WHEN PERMITTED BY AUTHORITIES HAVING JURISDICTION.

45. CONCRETE: CUT CONCRETE FULL DEPTH AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS.

46. MASONRY: CUT MASONRY AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY BETWEEN SAW CUTS.

47. CONCRETE SLABS-ON-GRADE: SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, THEN BREAK UP AND REMOVE.

48. EQUIPMENT: DISCONNECT EQUIPMENT AT NEAREST FITTING CONNECTION TO SERVICES, COMPLETE WITH SERVICE VALVES. REMOVE AS WHOLE UNITS, COMPLETE WITH CONTROLS.

49. BELOW-GRADE CONSTRUCTION: DEMOLISH EXISTING FOUNDATIONS AND FOOTINGS, FOUNDATION WALLS, WALLS, SLABS AND OTHER BELOW-GRADE CONSTRUCTION THAT IS WITHIN TEN (10) FEET OUTSIDE OF FOOTPRINT INDICATED FOR NEW CONSTRUCTION. ABANDON BELOW-GRADE CONSTRUCTION OUTSIDE THIS AREA.

50. REMOVE BELOW-GRADE CONSTRUCTION TO DEPTHS INDICATED ON THE PLANS.

51. EXISTING BELOW GRADE CONSTRUCTION SHOULD BE REMOVED ENTIRELY FROM BELOW PROPOSED FOUNDATIONS AND THEIR ZONES OF INFLUENCE (IF DETERMINED BY LINES EXTENDING AT LEAST ONE (1) FOOT LATERALLY BEYOND FOOTING EDGES FOR EACH VERTICAL FOOT OF DEPTH) AND EXCAVATED TO AT LEAST TWO {2) FEET BELOW PROPOSED CONSTRUCTION SUBGRADE LEVELS ELSEWHERE.

52. FOUNDATION AND SLABS MAY REMAIN IN PLACE BELOW THESE DEPTHS BELOW GROUND SUPPORTED SLABS, PAVEMENTS AND LANDSCAPED AREAS, PROVIDED THEY ARE APPROVED BY THE GEOTECHNICAL ENGINEER AND DO NOT INTERFERE WITH FUTURE CONSTRUCTION (INCLUDING UTILITIES); HOWEVER, IF EXISTING SLAB OR STRUCTURE TO REMAIN SHOULD BE THOROUGHLY BROKEN TO ALLOW VERTICAL DRAINAGE OF INFILTRATING WATER.

53. EXISTING UTILITIES: ABANDON EXISTING UTILITIES AND BELOW-(3RADE UTILITY STRUCTURES. CUT UTILITIES FLUSH WITH GRADE.

54. EXISTING UTILITIES: DEMOLISH EXISTING UTILITIES AND BELOW-GRADE UTILITY STRUCTURES THAT ARE WITHIN TEN (10) FEET OUTSIDE OF FOOTPRINT INDICATED FOR NEW CONSTRUCTION. ABANDON UTILITIES OUTSIDE THIS AREA.

55. FILL ABANDONED UTILITY STRUCTURES AND PIPING WITH EITHER LEAN CONCRETE OR SATISFACTORY SOIL MATERIALS APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.

56. EXISTING UTILITIES: DEMOLISH AND REMOVE EXISTING UTILITIES AND BELOW-GRADE UTILITY STRUCTURES.

57. SITE DRAINAGE: SITE SOILS MAY SOFTEN WHEN EXPOSED TO WATER, EVERY EFFORT MUST BE MADE TO MAINTAIN DRAINAGE OF SURFACE WATER RUNOFF AWAY FROM CONSTRUCTION AREAS AND OPEN EXCAVATIONS BY GRADING AND LIMITING THE EXPOSURE OF EXCAVATIONS AND PREPARED SUBGRADES TO RAINFALL.

58. BELOW-GRADE AREAS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM BUILDING DEMOLITION OPERATIONS WITH SATISFACTORY SOIL MATERIALS APPROVED BY THE OWNER AND/OR GEOTECHNICAL ENGINEER.

59. SITE GRADING: UNIFORMLY ROUGH GRADE AREA OF DEMOLISHED CONSTRUCTION TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.

60. SEPARATE RECYCLABLE DEMOLISHED MATERIALS FROM OTHER DEMOLISHED MATERIALS TO THE MAXIMUM EXTENT POSSIBLE. SEPARATE RECYCLABLE MATERIALS BY TYPE.

61. PROVIDE CONTAINERS OR OTHER STORAGE METHOD APPROVED BY ARCHITECT FOR CONTROLLING RECYCLABLE MATERIALS UNTIL THEY ARE REMOVED FROM PROJECT SITE.

62. STOCKPILE PROCESSED MATERIALS ON-SITE WITHOUT INTERMIXING WITH OTHER MATERIALS. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.

63. STOCKPILE MATERIALS IN DESIGNATED AREAS SHOWN ON THE PLANS OR AS APPROVED IN THE FIELD BY THE OWNER OR CONSTRUCTION MANAGER.

64. IF RECYCLABLE MATERIAL CANNOT BE USED ON-SITE, THE CONTRACTOR SHALL TRANSPORT THE RECYCLABLE MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH THE SWP.

65. DEMOLITION MATERIAL. FREE OF ENVIRONMENTAL CONCERNS, AND APPROVED BY NYSDEC, MAY BE USED AS FILL MATERIAL. PROVIDED THE MATERIAL IS PROPERLY SEGREGATED AND PROCESSED AS FOLLOWS AND APPROVED FOR REUSE ON THE SITE BY THE GEOTECHNICAL ENGINEER:

66. CONCRETE MASONRY MATERIALS SHOULD BE CRUSHED TO A WELL GRADED BLEND WITH A MAXIMUM SIZE OF THREE (3) INCHES IN DIAMETER, PER EARTHWORK SPECIFICATIONS.

67. MILLED OR RECYCLED ASPHALT PAVEMENT (RAP) MAY BE REUSED AS GRANULAR BASE MATERIAL FOR PAVEMENTS PROVIDED THAT THE RAP PARTICLE SIZE MEETS THE CONNECTICUT STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR GRANULAR BASE AND NO MORE THAN FIFTY (50) PERCENT OF THE PAVEMENT GRANULAR BASE CONTAINS RAP.

68. OTHER ASPHALTIC MATERIALS AND DELETERIOUS BUILDING MATERIALS SUCH AS WOOD, INSULATION, METAL, SHINGLES, ETC. SHOULD NOT BE USED AS GENERAL STRUCTURAL FILL MATERIAL.

69. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL.

70. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.

71. BURNING: ON SITE BURNING OF RUBBISH AND OTHER DEMOLITION DEBRIS WILL NOT BE PERMITTED.

72. DISPOSAL: TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND PROVIDE FOR THE LEGAL OFF SITE DISPOSAL OF THE MATERIAL IN ACCORDANCE WITH THE SMP.

73. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY BUILDING DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE BUILDING DEMOLITION OPERATIONS BEGAN.

74. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE OWNER WITH A SURVEY PREPARED BY A NYS LICENSED LAND SURVEYOR SHOWING THE LOCATION AND THE ELEVATIONS TO WHICH THE DEMARCATION BARRIER IS INSTALLED.

75. THE CONTRACTOR IS TO NOTE THAT THE WORK OF THIS CONTRACT WILL INCLUDE WORK BY OTHERS AND THE CONTRACTOR SHALL COORDINATE HIS WORK AND MAKE EVERY REASONABLE EFFORT TO PERMIT THE EXECUTION OF SUCH WORK BY OTHERS WITHOUT DELAY.

76. IF TEMPORARY UTILITY SERVICES ARE REQUIRED THE CONTRACTOR SHALL SEE TO IT THAT THEY ARE PROVIDED AT NO ADDITIONAL COST TO THE OWNER AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN SUCH TEMPORARY FACILITIES FOR THE DURATION OF THEIR WORK.

77. ALL WORK OF THIS CONTRACT SHALL CONFORM TO THESE CONTRACT DRAWINGS AND SPECIFICATIONS AS WELL AS TO THE APPLICABLE REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY BUILDING, PUBLIC WORKS, AND FIRE DEPARTMENTS, AS WELL AS THE COGNIZANT PUBLIC UTILITY COMPANIES.

78. ALL WORK SHALL COMPLY WITH THE BUILDING CODE OF CONNECTICUT AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL RULES, LAWS, AND REGULATIONS.

79. ALL PROJECT RELATED LINES AND GRADES ARE TO BE ESTABLISHED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF CONNECTICUT.

80. SIZES OF EXISTING UTILITY LINES ARE TO BE VERIFIED IN THE FIELD BY CAREFUL TEST EXCAVATIONS BY THE CONTRACTOR PRIOR TO STARTING THE WORK ANY SUBSTANTIVE VARIATIONS FROM THE SURVEY DATA PROVIDED ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER SO THAT APPROPRIATE DESIGN MODIFICATIONS MAY BE MADE.

81. THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING DRAINAGE OR UTILITY SYSTEMS WITHIN OR ADJACENT TO THE WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL IMMEDIATELY BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE AND TO THE SATISFACTION OF THE OWNER OR UTILITY COMPANY INVOLVED.

82. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES REQUIRED BY THE CONTRACT WORK AND SHALL OBTAIN AU. REQUIRED BONDS, PERMITS, ETC. REQUIRED FOR THE EXECUTION OF THE WORK AND CONFORM THE WORK WITH ALL APPLICABLE CODES, RULES AND REGULATIONS OF THE GOVERNING AGENCIES. THE CONTRACTOR IN ACCORDANCE WITH CONNECTICUT STATE LAW SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO COMMENCING ANY EXCAVATION WORK AND SHALL NOTIFY THE "CALL BEFORE YOU DIG" HOTLINE @ 1-800-962-7962 PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES.

83. SAFE AND ADEQUATE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW SHALL BE MAINTAINED AT ALL TIMES TO THE ADJACENT BUILDINGS WHILE THE WORK IS PROGRESSING. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL OF THE OWNER A CONSTRUCTION SEQUENCE SCHEDULE AND PLAN FOR PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.

84. ALL UNPAVED AREAS WITHIN THE WORK AREAS AND ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE STABILIZED IN ACCORDANCE WITH THE NYSDEC APPROVED STORMWATER POLLUTION PREVENTION PLAN. UNLESS OTHERWISE DIRECTED BY THE OWNER, TURFED AREAS, DISTURBED BY REGRADING AND OTHER WORK OF CONTRACTOR, SHALL BE BROUGHT TO THE PROPER SUBGRADE ELEVATION, TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES SHALL BE PLACED AND, LIMING, FERTILIZING AND SEEDING ACCOMPLISHED, AS SPECIFIED. THE CONTRACTOR SHALL WATER AND MAINTAIN THE SEEDED AREAS UNTIL THEY HAVE BECOME WELL ESTABLISHED.

85. EXISTING PAVEMENT WHICH IS TO REMAIN AND WHICH IS REMOVED OR DAMAGED DURING THE CONSTRUCTION WORK OF THIS CONTRACT IS TO BE RESTORED TO ITS ORIGINAL CONDITION.

86. UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL MATCH THE MATERIALS, TYPES, THICKNESS AND QUALITY OF EXISTING BITUMINOUS CONCRETE PAVEMENTS, WALKWAYS AND CURBS WITHIN THE PUBLIC RIGHT-OF-WAY WHICH ARE TO BE REPLACED.

87. ASA REFERENCE STANDARD ALL WORK CONTAINED HEREIN SHALL BE GOVERNED BY THE REQUIREMENTS SET FORTH IN THE "STANDARD SPECIFICATIONS. CONSTRUCTION AND MATERIALS" AS PUBLISHED BY THE CTDOT, DESIGN AND CONSTRUCTION DIVISION, DATED JANUARY 2, 2002, INCLUDING ALL LATEST AMENDMENTS THERETO

88. AT NO TIME, SHALL ANY EXCAVATED AREAS BE LEFT UNATTENDED UNLESS APPROPRIATE MARKING AND BARRICADING IS EMPLOYED.

89. WITH REGARD TO EXISTING UTILITIES TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL EXISTING UTILITY VALVES, MANHOLE FRAMES, COVERS, RIMS, INVERTS AND HYDRANTS TO MEET NEW FINISH GRADE OR AS OTHERWISE REQUIRED TO FUNCTION PROPERLY.

90. CONTRACTOR SHALL REVIEW PLANS FROM SITE PREPARATION AND SITE PACKAGE CONTRACT AND FAMILIARIZE THEMSELVES WITH PREVIOUS SCOPE OF WORK.

91. CONTRACTOR SHALL LIMIT ACTIVITIES IN AREAS OF DEVELOPMENT THAT ARE OCCUPIED.

PAVING, GRADING AND DRAINAGE NOTES

1. CONTRACTOR SHALL MAINTAIN GRADES AT ENTRANCES TO PHASE 2 CONSTRUCTION.

2. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR CONNECTICUT DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.

3. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND REPAIRED TO EXISTING CONDITION OR BETTER.

4. TRAFFIC CONTROL ON ALL CTDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

5. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL AN ADEQUATE STABILIZATION OCCURS.

6. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE COVERED WITH TOPSOIL AND SEED AS INDICATED ON THE LANDSCAPE PLAN.

7. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.

8. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.

9. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.

10. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.

11. DEWATERING DISCHARGE WILL NOT BE PERMITTED TO DISCHARGE ONTO OPEN GROUND. IT SHALL BE TREATED AND DISCHARGED INTO THE COUNTY SEWER. PERMIT TO BE COORDINATED BY THE OWNER.

12. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.

13. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION.

14. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE STABILIZED BY MEANS AND METHODS APPROVED BY THE AUTHORITY HAVING JURISDICTION. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE COVERED WITH ROCK OR MULCHED AS SHOWN ON THE LANDSCAPING PLAN.

15. ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

17. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE GOVERNING CODE.

18. EXPOSED SLOPES SHOULD BE STABILIZED WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.

19. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE REQUIRED PERMITS COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY GOVERNING JURISDICTIONS.

20. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.

21. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

BUILDING AND SAFETY DIVISION NOTES

1. FILL TO BE COMPACTED TO NOT LESS THAN 90% OF MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D1557.

2. FIELD DENSITY WILL BE DETERMINED BY THE SAND-CONE METHOD A.S.T.M. 1556-07 AND/OR NUCLEAR DENSITY GAUGE METHOD A.S.T.M. 2922/3017. IN FINE GRAINED, COHESIVE SOILS, FIELD DENSITY MAY BE DETERMINED BY THE DRIVE-CYLINDER METHOD D2937 A.S.T.M. PROVIDED NOT LESS THAN 20% OF THE REQUIRED DENSITY TESTS, UNIFORMLY DISTRIBUTED, ARE BY THE SAND-CONE METHOD. THE METHOD OF DETERMINING FIELD DENSITY SHALL BE SHOWN IN THE COMPACTION REPORT. OTHER METHODS MAY BE USED IF RECOMMENDED BY THE SOILS ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL.

3. NOT LESS THAN ONE FIELD DENSITY TEST WILL BE MADE FOR EACH TWO-FOOT VERTICAL LIFT OF FILL NOR LESS THAN ONE SUCH TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.

4. NO FILL TO BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS AND INSTALLATION OF SUBDRAINS (IF ANY) HAS BEEN INSPECTED AND APPROVED BY THE SOILS ENGINEER.

5. NO ROCK OR SIMILAR MATERIAL GREATER THAN 8" IN DIAMETER WILL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOILS ENGINEER IN ADVANCE AND APPROVED BY THE BUILDING OFFICIAL.

6. FINISH GRADING WILL BE COMPLETED AND APPROVED BEFORE OCCUPANCY OF BUILDINGS.

7. SEE GRADING PLANS FOR EARTHWORK VOLUMES.

8. FILL SLOPES SHALL NOT BE STEEPER THAN 2.1.

9. DENSITY TESTS WILL BE MADE AT POINTS APPROXIMATELY ONE FOOT BELOW THE FILL SLOPE SURFACE. ONE TEST WILL BE MADE FOR EACH 1,000 SQ. FT. OF SLOPE SURFACE, BUT NOT LESS THAN ONE TEST FOR EACH 10 FT. VERTICAL OF SLOPE HEIGHT UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.

10. ALL PADS AT ROUGH GRADING WILL HAVE A MINIMUM SLOPE OF 1 % TOWARDS THE STREET OR DESIGNED DRAINAGE OUTLET.

11. APPROVAL OF THIS PLAN BY THE LOCAL AGENCY DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OF THE LOCATION OR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY PIPE OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES WITHIN THE LIMITS OF THIS PROJECT.

12. FILLS SHALL BE BENCHED IN ACCORDANCE WITH APPROVED GEOTECHNICAL REPORT

13. ALL TRENCH BACKFILLS SHALL BE TESTED AND CERTIFIED BY THE SITE SOILS ENGINEER PER THE GRADING CODE.

14. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND NECESSARY TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.

15. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER WILL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.

16. THE SOILS ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO PROVIDE CONSULTATION CONCERNING COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THEIR PURVIEW.

17. THE DESIGN CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING AND CONSTRUCTION FOR CONSULTATION CONCERNING COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THIS PURVIEW.

18. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE CHECKED BY A QUALIFIED PERSON ON A SCHEDULE THAT MEETS OR EXCEEDS THE GOVERNING REQUIREMENTS, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.

2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.

3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.

4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.

5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.

7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER.

WATER AND SEWER UTILITY NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, CLEANOUTS, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET. THE CONTRACTOR SHALL ALSO SCOPE THE SEWER LINES ON SITE AND RECORD A DVD.

3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.

4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.

5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.

7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

8. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

RECORD DRAWINGS

1. WHERE LOCAL JURISDICTIONS REQUIRE RECORD DRAWINGS, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING, BOTH PREPARED BY A CONNECTICUT REGISTERED SURVEYOR. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE DESIGN PLANS OF THE SAME NAME.

PROJECT CLOSEOUT

1. CONTRACTOR SHALL PROVIDE THE NECESSARY ITEMS INCLUDING ANY TESTING, REPORTS, OR CERTIFICATION DOCUMENTS REQUIRED BY THE GOVERNING JURISDICTIONS TO PROPERLY CLOSEOUT THE PROJECT BEFORE IT CAN BE DEEMED COMPLETE.

DOCUMENT USE

1. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN & ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN & ASSOCIATES, INC.

2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, CTDOT STANDARD SHEETS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

NO.	REVISIONS	DATE	BY
1	IWWC COMMENTS REVISION	07/01/25	KH
2	IWWC COMMENTS REVISION	08/05/25	KH

FOR PERMIT REVIEW

Kimley»Horn

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
1 NORTH LEXINGTON AVENUE, SUITE 505
WHITE PLAINS, NY 10601
PHONE: 914-368-9200
WWW.KIMLEY-HORN.COM

AutoZone

STATE OF CONNECTICUT
DEAN APOSTOLERIS
37922
LICENSED
PROFESSIONAL ENGINEER
08/05/2025

KHA PROJECT 112703002
DATE 05/13/2025
SCALE: AS SHOWN
DESIGNED BY: TS
DRAWN BY: AMA
CHECKED BY: TS

GENERAL NOTES

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035
TOWN OF GRANBY CONNECTICUT

SHEET NUMBER
C-0.1

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Saved Tuesday, August 5, 2025 8:07:00 AM TRENT.SUDDETH Plotted Tuesday, August 5, 2025 8:07:42 AM Suddeth, Trent

TITLE INFORMATION

FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NUMBER: NCS-1228156-MICH
COMMITMENT DATE: JULY 30, 2024 AT 8:30 A.M.

LEGAL DESCRIPTION

The Land is described as follows:

Real property in the City of Granby, County of Hartford, State of Connecticut, described as follows:

A certain piece or parcel of land, containing 1.6 acres more or less, with the buildings thereon standing, situated in the Town of Granby, County of Hartford and State of Connecticut and located on the Northeasterly side of East Granby Road, being No. 8 East Granby Road, and being more particularly described as follows:

NOTHEREASTERLY, by land now or formerly of Storrs T. Brigham, 176.08 feet;

SOUTHEASTERLY by land now or formerly of Robert W. Lawson, et al 322.90 feet;

SOUTHWESTERLY by East Granby Road, 206.15 feet;

WESTERLY by Hungary Road, 34.0 feet; and

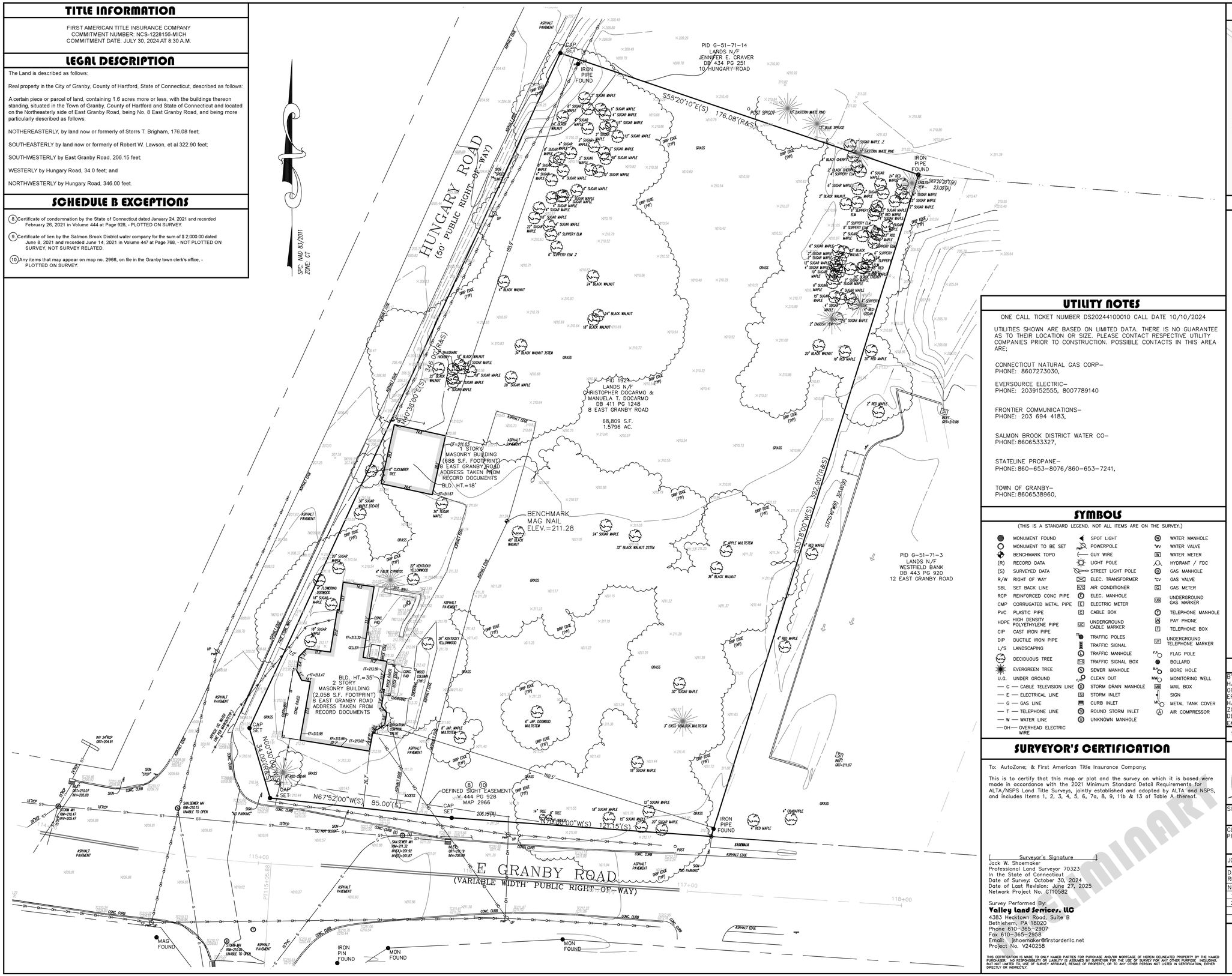
NORTHWESTERLY by Hungary Road, 346.00 feet.

SCHEDULE B EXCEPTIONS

(8) Certificate of condemnation by the State of Connecticut dated January 24, 2021 and recorded February 26, 2021 in Volume 444 at Page 928, - PLOTTED ON SURVEY.

(9) Certificate of lien by the Salmon Brook District water company for the sum of $ 2,000.00 dated June 8, 2021 and recorded June 14, 2021 in Volume 447 at Page 768, - NOT PLOTTED ON SURVEY, NOT SURVEY RELATED.

(10) Any items that may appear on map no. 2966, on file in the Granby town clerk's office, - PLOTTED ON SURVEY.



UTILITY NOTES

ONE CALL TICKET NUMBER DS20244100010 CALL DATE 10/10/2024

UTILITIES SHOWN ARE BASED ON LIMITED DATA. THERE IS NO GUARANTEE AS TO THEIR LOCATION OR SIZE. PLEASE CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. POSSIBLE CONTACTS IN THIS AREA ARE;

CONNECTICUT NATURAL GAS CORP–
PHONE: 8607273030,

EVERSOURCE ELECTRIC–
PHONE: 2039152555, 8007789140

FRONTIER COMMUNICATIONS–
PHONE: 203 694 4183,

SALMON BROOK DISTRICT WATER CO–
PHONE: 8606533327,

STATELINE PROPANE–
PHONE: 860–653–8076/860–653–7241,

TOWN OF GRANBY–
PHONE: 8606538960,

SYMBOLS

(THIS IS A STANDARD LEGEND. NOT ALL ITEMS ARE ON THE SURVEY.)

- MONUMENT FOUND
- MONUMENT TO BE SET
- BENCHMARK TOPO
- (R) RECORD DATA
- (S) SURVEYED DATA
- R/W RIGHT OF WAY
- SBL SET BACK LINE
- RCP REINFORCED CONC PIPE
- CMP CORRUGATED METAL PIPE
- PVC PLASTIC PIPE
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- CIP CAST IRON PIPE
- DIP DUCTILE IRON PIPE
- L/S LANDSCAPING
- DECIDUOUS TREE
- EVERGREEN TREE
- U.G. UNDER GROUND
- C CABLE TELEVISION LINE
- E ELECTRICAL LINE
- G GAS LINE
- T TELEPHONE LINE
- W WATER LINE
- OH OVERHEAD ELECTRIC WIRE
- SPOT LIGHT
- POWERPOLE
- GUY WIRE
- LIGHT POLE
- STREET LIGHT POLE
- ELEC. TRANSFORMER
- AIR CONDITIONER
- ELEC. MANHOLE
- ELECTRIC METER
- CABLE BOX
- UNDERGROUND CABLE MARKER
- TRAFFIC POLES
- TRAFFIC SIGNAL
- TRAFFIC MANHOLE
- TRAFFIC SIGNAL BOX
- SEWER MANHOLE
- CLEAN OUT
- STORM DRAIN MANHOLE
- STORM INLET
- CURB INLET
- ROUND STORM INLET
- UNKNOWN MANHOLE
- WATER MANHOLE
- WV WATER VALVE
- WATER METER
- HYDRANT / FDC
- GAS MANHOLE
- GV GAS VALVE
- GAS METER
- UGM UNDERGROUND GAS MARKER
- TELEPHONE MANHOLE
- PAY PHONE
- TELEPHONE BOX
- UTM UNDERGROUND TELEPHONE MARKER
- FP FLAG POLE
- BOLLARD
- BH BORE HOLE
- MW MONITORING WELL
- MB MAIL BOX
- SIGN
- MC METAL TANK COVER
- AIR COMPRESSOR

SURVEYOR'S CERTIFICATION

To: AutoZone; & First American Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 7a, 8, 9, 11b & 13 of Table A thereof.

[Surveyor's Signature]
Jack W. Shoemaker
Professional Land Surveyor 70323
In the State of Connecticut
Date of Survey: October 30, 2024
Date of Last Revision: June 27, 2025
Network Project No. CT10582

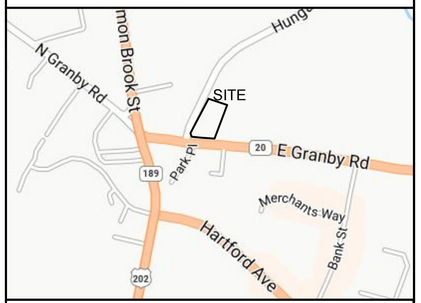
Survey Performed By:
Valley Land Services, LLC
4383 Hecktown Road, Suite B
Bethlehem, PA 18020
Phone 610–365–2907
Fax 610–365–2958
Email: jshoemaker@firstorderllc.net
Project No. V240258

THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE, INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

PRELIMINARY

VICINITY MAP

NOT TO SCALE



SITE DATA

1. PROPERTY IS KNOWN AS MAP G–51 BLOCK 71 LOT 2 IN THE TOWN OF GRANBY, HARTFORD COUNTY, CONNECTICUT.

2. LOT AREA = 68,809 S.F. OR 1.5796 AC.

3. NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

4. VERTICAL DATUM = NAVD 88 .
BENCHMARK – MAG NAIL, ELEV. = 211.28

5. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK–OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS–BUILT PLANS AND UTILITY MARK–OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.

6. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.

7. TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC. DATE OF FIELD SURVEY = OCTOBER 22, 2024.

8. THIS PLAN IS VALID ONLY WHEN SIGNED IN COLORED INK AND EMBOSSED WITH AN ORIGINAL SEAL AND WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARD OF ACCURACY OF THE STATE IN WHICH THE PROJECT IS LOCATED.

9. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

10. COPYRIGHT ©2024, VALLEY LAND SERVICES, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS PLAN WITHOUT AN ORIGINAL SEAL ARE NOT VALID.

11. PARKING PROVIDED –
–REGULAR = 0 SPACES
–HANDICAP = 0 SPACES
TOTAL SPACES PROVIDED = 0

12. THIS SURVEY CONFORMS TO A CLASS A–2 SURVEY AND HAS BEEN PREPARED IN ACCORDANCE WITH THE "RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON OCTOBER 26, 2018.

13. THE TYPE OF SURVEY PERFORMED IS A PROPERTY SURVEY.

14. BOUNDARY DETERMINATION IS BASED UPON A DEPENDENT RESURVEY AND THIS SURVEY IS SUBJECT TO SUCH FACTS AS AN INDEPENDENT RESURVEY MAY DISCLOSE.

FLOOD NOTE

BY GRAPHICAL REPRESENTATION ONLY THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X(UNSHADED) AS SHOWN ON FLOOD INSURANCE RATE MAP 09003C0183F, COMMUNITY PANEL No. 090125 0183 F WHICH HAS AN EFFECTIVE DATE OF SEPTEMBER 26, 2008 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. FIELD SURVEYING WAS NOT PERFORMED TO DETERMINE THIS ZONE. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR AN AMENDMENT FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.(NAVD88)

TYPE OF SURVEY: ALTA/NSPS LAND TITLE SURVEY

VALLEY LAND SERVICES, LLC
4383 HECKTOWN ROAD
BETHLEHEM, PA 18020
Phone (610) 365–2907 Fax (610) 365–2958
NJ Certificate of Authorization: 24GA28339300

SITE ADDRESS: 8 E. GRANBY ROAD
CITY OF GRANBY
HARTFORD COUNTY, CONNECTICUT

CLIENT: AUTOZONE
PROJECT NO. CT10582

JOB NO: V240258	DRAWN BY: IND	APPROVED BY: AJS

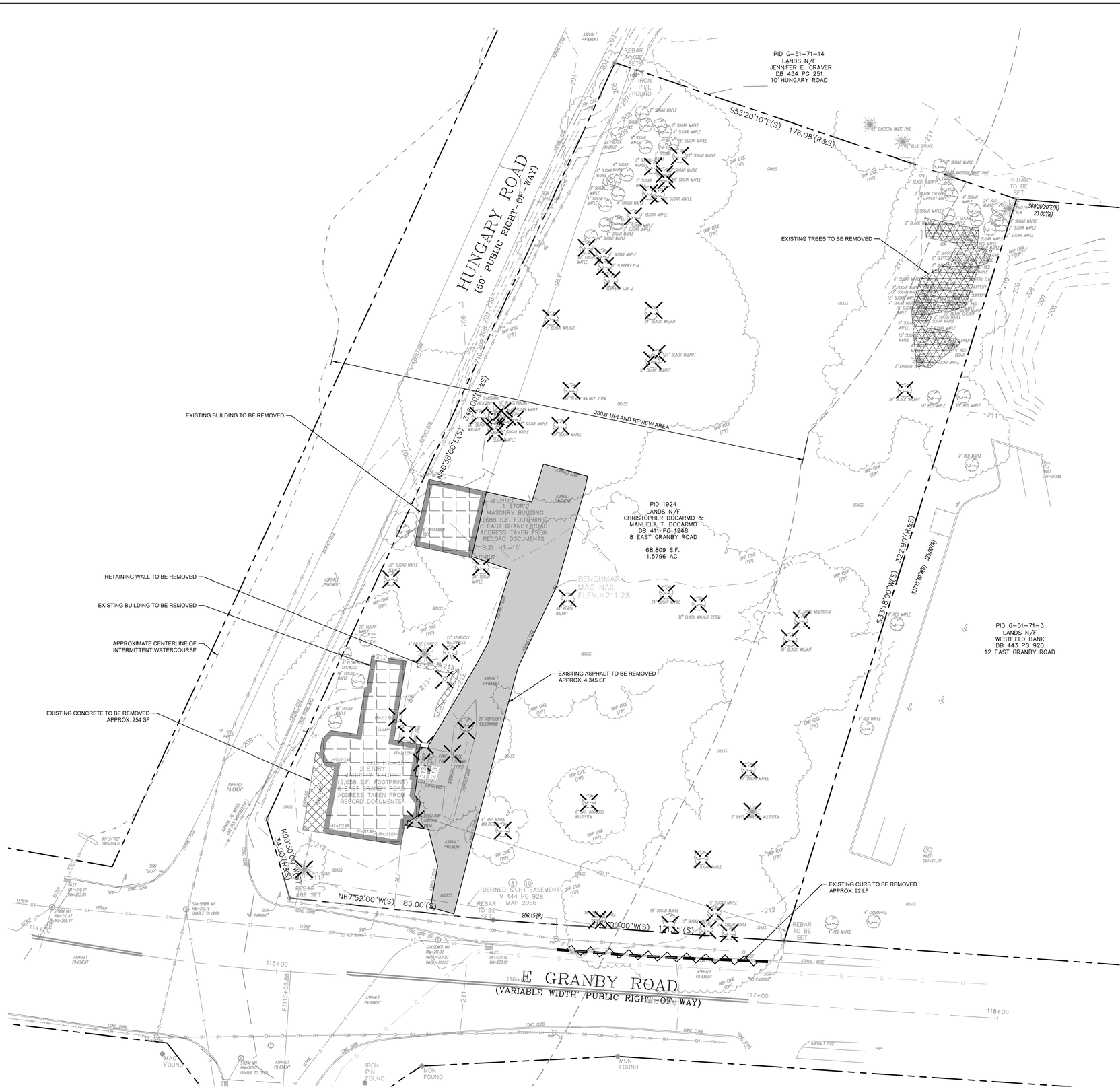
DATE: OCTOBER 30, 2024
REVISIONS:

No.	DATE	DESCRIPTION
1	04-25-25	UPDATED WITH PROPERTY CORNERS SET
2	06-27-25	UPDATED TREE SIZES AND DRIP LINES

0' 20' 40' 60'
SCALE: 1" = 20'

SHEET 1 OF 1

1



EXISTING CONDITIONS PLAN LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING CURB
- EXISTING EDGE OF WOODS
- EXISTING OVERHEAD ELECTRICAL
- EXISTING ELECTRICAL LINE
- EXISTING SANITARY LINE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING UNDERGROUND STORM PIPE
- EXISTING INTERMITTENT WATERCOURSE CENTERLINE
- EXISTING POWER POLE
- PROPERTY LINE
- EASEMENT LINE
- CURB REMOVAL
- SAWCUT LINE
- UTILITY REMOVAL
- BUILDING REMOVAL
- CONCRETE REMOVAL
- PAVEMENT REMOVAL (DEPTH UNKNOWN)
- VEGETATION REMOVAL
- ITEMS TO BE REMOVED/RELOCATED

EXISTING CONDITIONS NOTES

1. PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "ALTA/NSPS LAND TITLE SURVEY," PREPARED BY VALLEY LAND SERVICES, LLC, DATED OCTOBER 30, 2024.
2. REFERENCE GEOTECHNICAL REPORT ENTITLED "GEOTECHNICAL ENGINEERING REPORT PROPOSED AUTOZONE STORE #10582 8 EAST GRANBY ROAD, GRANBY, CONNECTICUT," PREPARED BY RANSOM CONSULTING, LLC, DATED NOVEMBER 8, 2024, OR LATEST VERSION.
3. ALL UTILITY INFORMATION SHOWN ON THE PLAN IS NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES WILL BE SHOWN ON THE SURVEY. EXACT LOCATIONS TO BE VERIFIED BY THE CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
4. ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS SHOWN ON THE ABOVE MENTIONED SURVEY.
5. THE APPROXIMATE CENTERLINE OF THE INTERMITTENT WATERCOURSE IS SHOWN BASED ON AS-BUILT DRAWINGS PROVIDED BY THE TOWN OF GRANBY TITLED "IMPROVEMENT LOCATION SURVEY 4 EAST GRANBY ROAD" DATED SEPTEMBER 20, 2016 BY ALFORD ASSOCIATES, INC. AND AERIAL IMAGERY PROVIDED BY NEARMAPS, INC.

DEMOLITION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
5. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING TOWN OF GRANBY APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
6. QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
7. REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
8. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
9. EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
10. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
11. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
12. EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
13. UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CONTACT DIG SAFELY CONNECTICUT AT 811 OR 1-800-922-4455 TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
14. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE SUITABLE CTDOT, TOWN OF GRANBY, OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

NO.	REVISIONS	DATE	BY
2	IWWC COMMENTS REVISION	08/05/25	KH
1	IWWC COMMENTS REVISION	07/01/25	KH

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AutoZone

STATE OF CONNECTICUT
DEAN APOSTOLOS
37922
LICENSED
PROFESSIONAL ENGINEER
08/05/2025

KHA PROJECT	112703002
DATE	05/13/2025
SCALE:	AS SHOWN
DESIGNED BY:	TS
DRAWN BY:	AMA
CHECKED BY:	TS

EXISTING CONDITIONS AND DEMO PLAN

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035

TOWN OF GRANBY CONNECTICUT

SHEET NUMBER
C-1.0

Saved Tuesday, July 1, 2025 1:27:45 PM TRENT SUDDETH Plotted Tuesday, August 5, 2025 8:08:00 AM Sudseth, Trent
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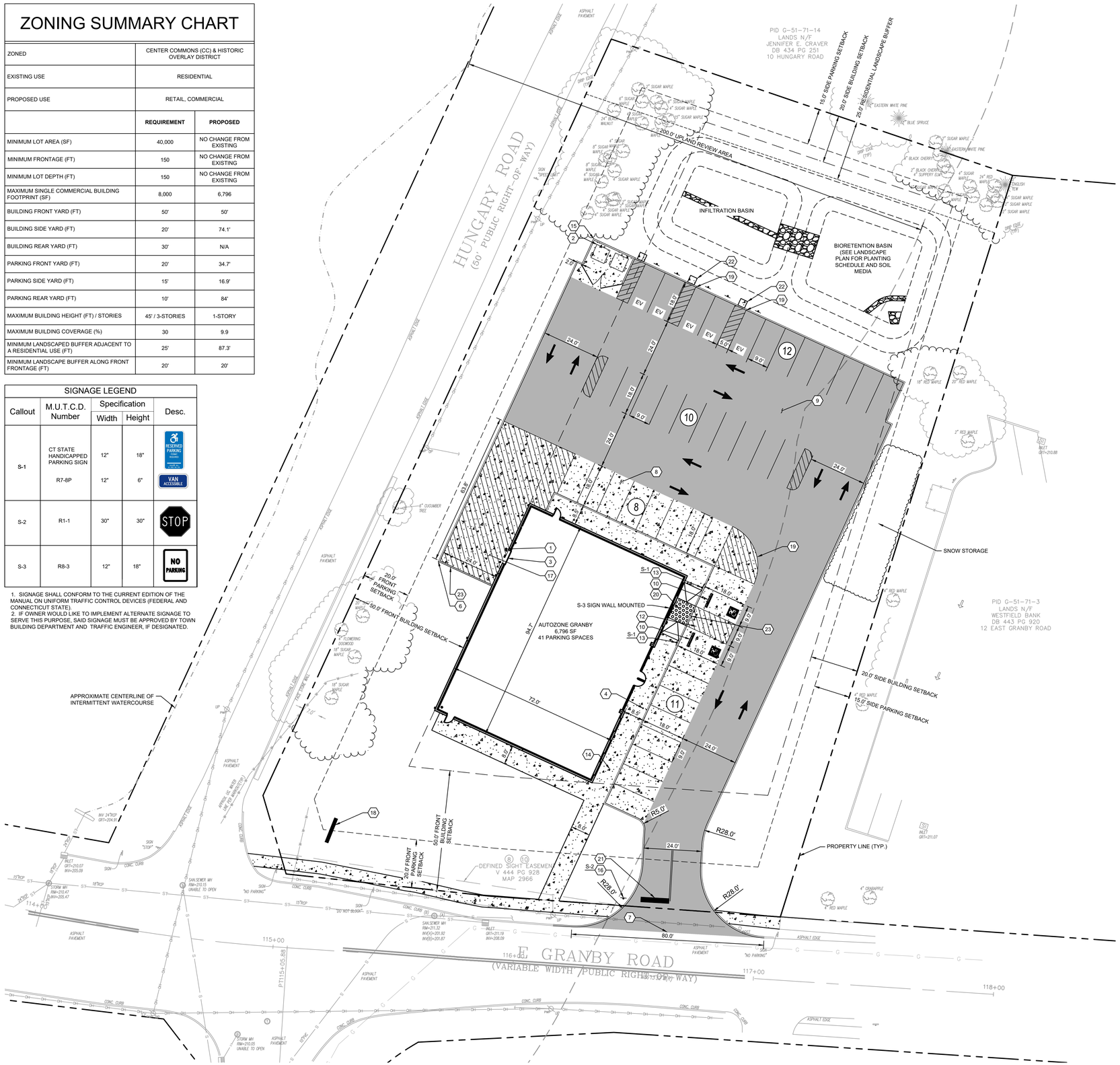
ZONING SUMMARY CHART

ZONED	CENTER COMMONS (CC) & HISTORIC OVERLAY DISTRICT	
EXISTING USE	RESIDENTIAL	
PROPOSED USE	RETAIL, COMMERCIAL	
	REQUIREMENT	**PROPOSED**
MINIMUM LOT AREA (SF)	40,000	NO CHANGE FROM EXISTING
MINIMUM FRONTAGE (FT)	150	NO CHANGE FROM EXISTING
MINIMUM LOT DEPTH (FT)	150	NO CHANGE FROM EXISTING
MAXIMUM SINGLE COMMERCIAL BUILDING FOOTPRINT (SF)	8,000	6,796
BUILDING FRONT YARD (FT)	50'	50'
BUILDING SIDE YARD (FT)	20'	74.1'
BUILDING REAR YARD (FT)	30'	N/A
PARKING FRONT YARD (FT)	20'	34.7'
PARKING SIDE YARD (FT)	15'	16.9'
PARKING REAR YARD (FT)	10'	84'
MAXIMUM BUILDING HEIGHT (FT) / STORIES	45' / 3-STORIES	1-STORY
MAXIMUM BUILDING COVERAGE (%)	30	9.9
MINIMUM LANDSCAPED BUFFER ADJACENT TO A RESIDENTIAL USE (FT)	25'	87.3'
MINIMUM LANDSCAPE BUFFER ALONG FRONT FRONTAGE (FT)	20'	20'

SIGNAGE LEGEND

Callout	M.U.T.C.D. Number	Specification Width	Specification Height	Desc.
S-1	CT STATE HANDICAPPED PARKING SIGN R7-8P	12" 12"	18" 6"	RESERVED PARKING PENALTY $250 FOR VIOLATION / VAN ACCESSIBLE
S-2	R1-1	30"	30"	STOP
S-3	R8-3	12"	18"	NO PARKING

1. SIGNAGE SHALL CONFORM TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (FEDERAL AND CONNECTICUT STATE).
2. IF OWNER WOULD LIKE TO IMPLEMENT ALTERNATE SIGNAGE TO SERVE THIS PURPOSE, SAID SIGNAGE MUST BE APPROVED BY TOWN BUILDING DEPARTMENT AND TRAFFIC ENGINEER, IF DESIGNATED.



KEYNOTES

1. PIPE GUARD - SEE DETAIL 16 / C-7.0
2. DUMPSTER LAYOUT - SEE DETAILS 8,9,10, & 11/ C-7.0
3. SERVICE DOOR PLAN - SEE DETAIL 15/ C-7.0
4. BOLLARD PLAN - SEE DETAIL 14/ C-7.0
5. EXISTING CONCRETE LIGHT POLE BASE TO REMAIN - SEE LIGHTING PLAN FOR FIXTURE DETAILS
6. SLOPE END OF CURB 4:1
7. NEW CURB CUT AND APPROACH.
8. CONCRETE PAVING - SEE DTL. 4 / C-7.0. EXPANSION AND CONTROL JOINTS - SEE DTLS. 23 & 24/ C-7.0. MAXIMUM SPACING FOR CONTROL JOINTS IS 15' O.C. EACH WAY.
9. ASPHALT PAVING - SEE DTL. 2&3/ C-7.0.
10. 6'-0" LONG CONCRETE WHEEL STOP PINNED TO PAVEMENT (TYPICAL). LOCATE 3'-6" FROM FACE OF CURB OR SIDEWALK SEE DETAIL 17 / C-7.0
11. 4" WIDE PARKING STRIPE PAINTED WHITE (TYP.)
12. 4" WIDE DIAGONAL STRIPES PAINTED BLUE AT 2 FT. O.C.
13. HANDICAP PARKING SIGN - SEE DETAIL 20 SHEET C-7.0 & SHEET C-7.1 FOR DETAILS. G.C. TO PROVIDE TWO VAN ACCESSIBLE SIGNS.
14. CONCRETE SIDEWALK - SEE DETAIL 28 C-7.0 FOR SIDEWALKS AROUND BUILDING
15. MASONRY WALL - SEE DETAIL 18/ C-7.0 FOR MATERIAL AND OVERALL HEIGHT AND FOUNDATION REQUIREMENTS.
16. STREET SIGN
17. LOADING AREA: SLOPE AT MAX. 2-1/2% AWAY FROM BUILDING.
18. AUTOZONE SIGN - SEE ARCHITECTURAL PLANS FOR DETAILS
19. 4" WIDE DIAGONAL STRIPE PAINTED WHITE AT 2' O.C.
20. ACCESSIBLE RAMP - SEE DETAIL 19 /C-7.0 - MAX. SLOPE 1:12 (8.33%) , MAX. CROSS SLOPE 1:50 (2.00%) TRUNCATED DOME TO BE A CONTRASTING COLOR.
21. STOP BAR AND 13 LF OF 4" DOUBLE YELLOW SOLID LINE
22. EV CHARGING FOUNDATIONS
23. FLUSH CURB (SEE SHEET C-6.1 FOR DETAIL)

SITE PLAN LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- PARKING SETBACK
- LANDSCAPE BUFFER
- CONCRETE PAVEMENT SEE DETAILS FOR PAVEMENT SECTION
- ASPHALT PAVEMENT (ON-SITE) SEE DETAILS FOR PAVEMENT SECTION
- STANDARD CONCRETE CURB
- CONCRETE FLUSH CURB
- PROPOSED TREE LINE
- LIGHT FIXTURES
- SIGN
- WHEEL STOP BARRIER
- PARKING COUNT

MINIMUM PARKING REQUIREMENTS

TOTAL GROSS SQUARE FLOOR AREA	6,796 SF	X	6 SPACES FOR EACH 1,000 SF OF BUILDING AREA	=	41 SPACES
			TOTAL PARKING PROVIDED	=	41 SPACES

MINIMUM EV PARKING REQUIREMENTS

TOTAL REQUIRED PARKING SPACES	41 SPACES	X	1 EV SPACE FOR 10% OF THE REQUIRED PARKING SPACES	=	5 SPACES
			TOTAL EV PARKING PROVIDED	=	5 SPACES

MINIMUM LOADING REQUIREMENTS

TOTAL LOADING SPACES REQUIRED	=	TBD - PENDING COMMISSION REQUIREMENT
TOTAL LOADING SPACES PROVIDED	=	1 SPACE

OVERALL PARKING SUMMARY

DESCRIPTION	SIZE REQUIRED	SIZE PROPOSED	SPACES REQUIRED	SPACES PROPOSED
STANDARD SPACES	9' x 18'	9' x 18'	34	34
VAN ACCESSIBLE SPACES	9' x 18'	9' x 18'	2	2
EV PARKING SPACES	9' x 18'	9' x 18'	5	5
TOTAL SPACES			41	41

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

NO.	REVISIONS	DATE	BY
2	IWWC COMMENTS REVISION	08/05/25	KH
1	IWWC COMMENTS REVISION	07/01/25	KH

FOR PERMIT REVIEW

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AutoZone

STATE OF CONNECTICUT
DEAN APOSTOLIDES
37922
LICENSED PROFESSIONAL ENGINEER
08/05/2025

KHA PROJECT: 112703002
DATE: 05/13/2025
SCALE: AS SHOWN
DESIGNED BY: TS
DRAWN BY: AMA
CHECKED BY: TS

SITE PLAN

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035
TOWN OF GRANBY CONNECTICUT

SHEET NUMBER
C-2.0

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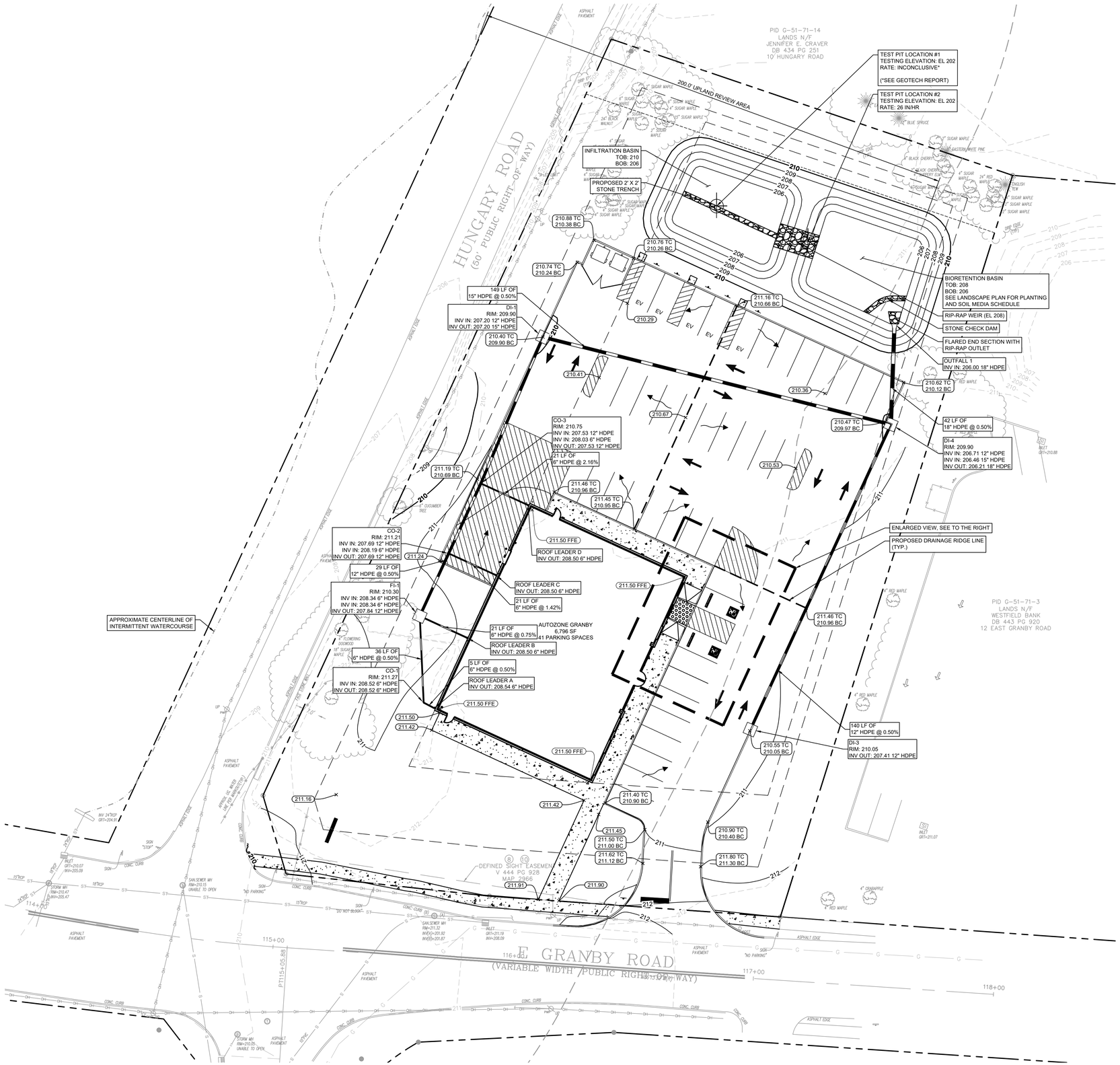

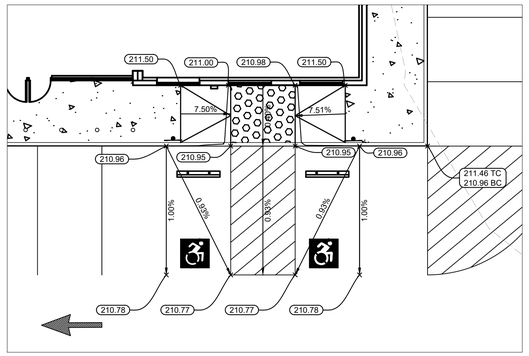

ENLARGED VIEW
SCALE 1" = 10'

GRADING AND DRAINAGE PLAN LEGEND

- EXISTING STORM DRAINAGE INLET
- EXISTING STORM DRAINAGE PIPE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED CONTOUR
- PROPOSED DRAINAGE RIDGE LINE
- PROPOSED DRAINAGE FLOW
- PROPOSED SLOPE
- PROPOSED ELEVATION
- PROPOSED STORM DRAIN STRUCTURES
- PROPOSED STORM DRAINAGE PIPE

CUT/FILL CALCULATIONS

CUT: 1,241 CY
FILL: 209 CY
NET: 1,032 CY (CUT)

GRADING & DRAINAGE NOTES

1. BIORETENTION BASIN & INFILTRATION BASIN CONSTRUCTION
   - 1.1. THE ENTIRE CONTRIBUTING DRAINAGE AREA SHOULD BE COMPLETELY STABILIZED PRIOR TO DIRECTING ANY FLOW TO THE SYSTEM. ADEQUATE VEGETATIVE COVER MUST BE ESTABLISHED OVER ANY PERVIOUS AREA ADJACENT OR CONTRIBUTING TO THE SYSTEM BEFORE RUNOFF CAN BE ACCEPTED.
   - 1.2. BIORETENTION BASIN & INFILTRATION BASINS SHOULD NOT BE USED AS TEMPORARY SEDIMENT TRAPS FOR CONSTRUCTION EROSION AND SEDIMENT CONTROL.
   - 1.3. DURING CLEARING AND GRADING OF THE SITE, MEASURES SHOULD BE TAKEN TO AVOID SOIL COMPACTION AT THE LOCATION OF THE PROPOSED SYSTEMS.
   - 1.4. THE SYSTEMS SHOULD BE FENCED OFF DURING THE CONSTRUCTION PERIOD TO PREVENT DISTURBANCE OF THE SOILS.
   - 1.5. THE BIORETENTION BASIN & INFILTRATION BASIN SHOULD BE EXCAVATED TO THE DIMENSIONS, SIDE SLOPES, AND ELEVATIONS SHOWN ON THE PLANS. THE METHOD OF EXCAVATION SHOULD AVOID COMPACTION OF THE BOTTOM OF THE SYSTEM. A HYDRAULIC EXCAVATOR OR BACKHOE LOADER, OPERATING OUTSIDE THE LIMITS OF THE INFILTRATION BASIN, SHOULD BE USED TO EXCAVATE THE SYSTEM. EXCAVATION EQUIPMENT SHOULD NOT BE ALLOWED WITHIN THE LIMITS OF THE SYSTEM.
   - 1.6. INSTALL VEGETATION ON THE SIDE SLOPES AND SURFACE OF THE BIORETENTION BASIN & INFILTRATION BASIN IN ACCORDANCE WITH THE PLANTING PLAN AND PLANT SCHEDULE ON THE PLANS. WATER VEGETATION THOROUGHLY IMMEDIATELY AFTER PLANTING AND AS NECESSARY UNTIL FULLY ESTABLISHED.

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

NO.	REVISIONS	DATE	BY
2	IWWC COMMENTS REVISION	08/05/25	KH
1	IWWC COMMENTS REVISION	07/01/25	KH

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AutoZone

STATE OF CONNECTICUT
DEAN APOSTOLIDES
37922
LICENSED PROFESSIONAL ENGINEER
08/05/2025

KHA PROJECT:	112703002
DATE:	06/13/2025
SCALE:	AS SHOWN
DESIGNED BY:	TS
DRAWN BY:	AMA
CHECKED BY:	TS

GRADING AND DRAINAGE PLAN

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035

TOWN OF GRANBY CONNECTICUT

SHEET NUMBER
C-3.0

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Saved Wednesday, July 30, 2025 2:59:52 PM TRENT.SUDDETH Plotted Tuesday, August 5, 2025 8:08:22 AM Suddeth, Trent

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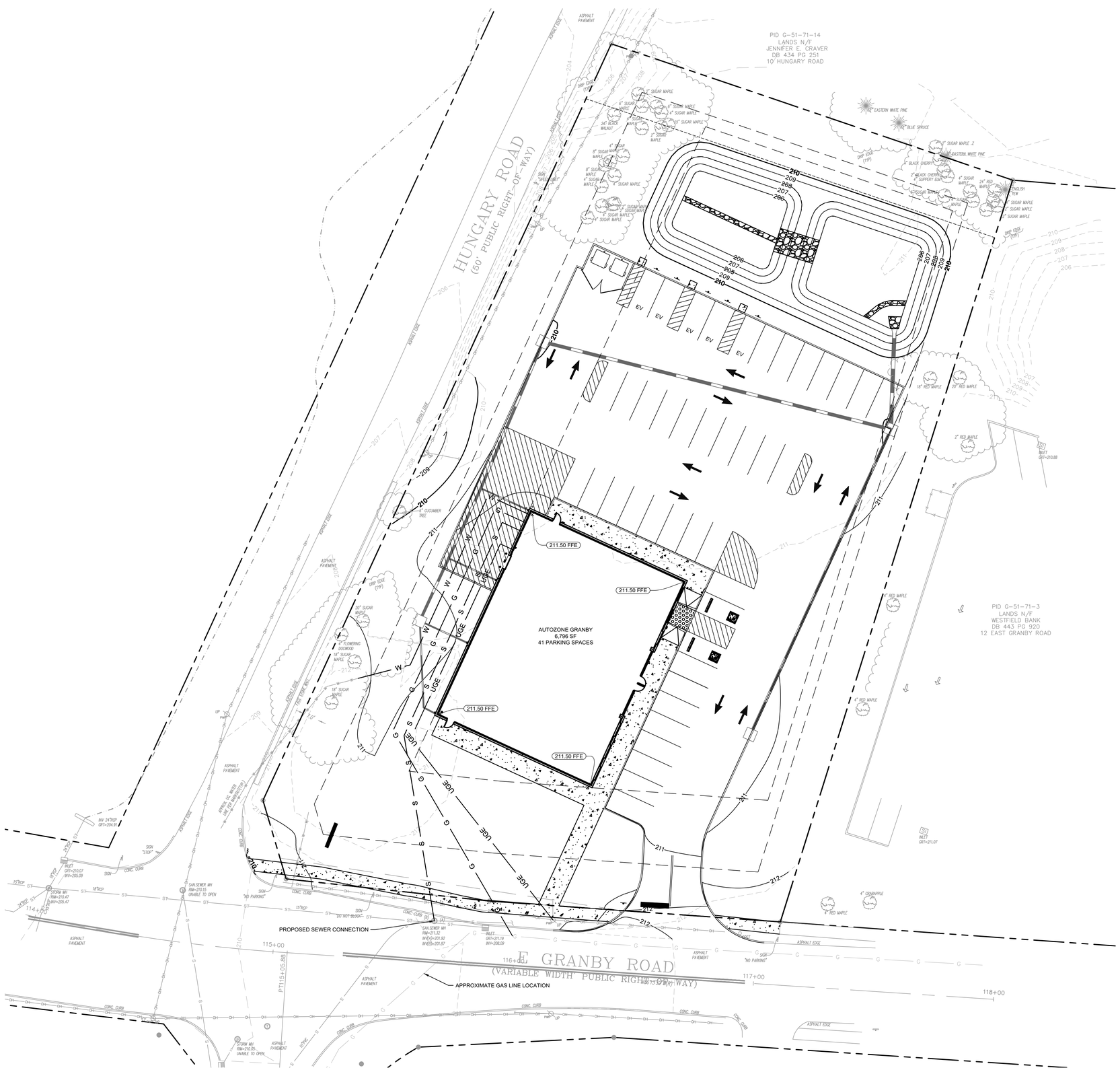

UTILITY PLAN LEGEND

OH OH OH OH OH	EXISTING OVERHEAD ELECTRICAL
E E E E E	EXISTING ELECTRICAL LINE
S S	EXISTING SANITARY LINE
G G G G G	EXISTING GAS LINE
W W W W W	EXISTING WATER LINE
	EXISTING STORM DRAINAGE INLET
ST ST	EXISTING STORM DRAINAGE PIPE
W	PROPOSED WATER LINE
S S	PROPOSED SANITARY LINE
UGE	PROPOSED UNDERGROUND ELECTRIC LINE
G	PROPOSED GAS LINE
	PROPOSED STORM DRAINAGE STRUCTURES
	PROPOSED STORM DRAINAGE PIPE

UTILITY NOTES

1. PROPOSED UTILITY CONNECTIONS TO BE COORDINATED WITH THE TOWN OF GRANBY, SALMON BROOK WATER DISTRICT, AND EVERSOURCE ENERGY.
2. UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE CIVIL ENGINEER AT THE TIME OF THE SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE APPLICANT, OWNER, OR THE CIVIL ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY.
3. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTION TO EXISTING UTILITIES, AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.

NORTH

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1	IWWC COMMENTS REVISION	07/01/25	KH

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AutoZone

STATE OF CONNECTICUT
SEAN APOSTOLOS
37922
LICENSED
PROFESSIONAL ENGINEER
08/05/2025

KHA PROJECT	112703002
DATE	05/13/2025
SCALE:	AS SHOWN
DESIGNED BY:	TS
DRAWN BY:	AMA
CHECKED BY:	TS

UTILITY PLAN

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035
TOWN OF GRANBY CONNECTICUT

SHEET NUMBER
C-4.0

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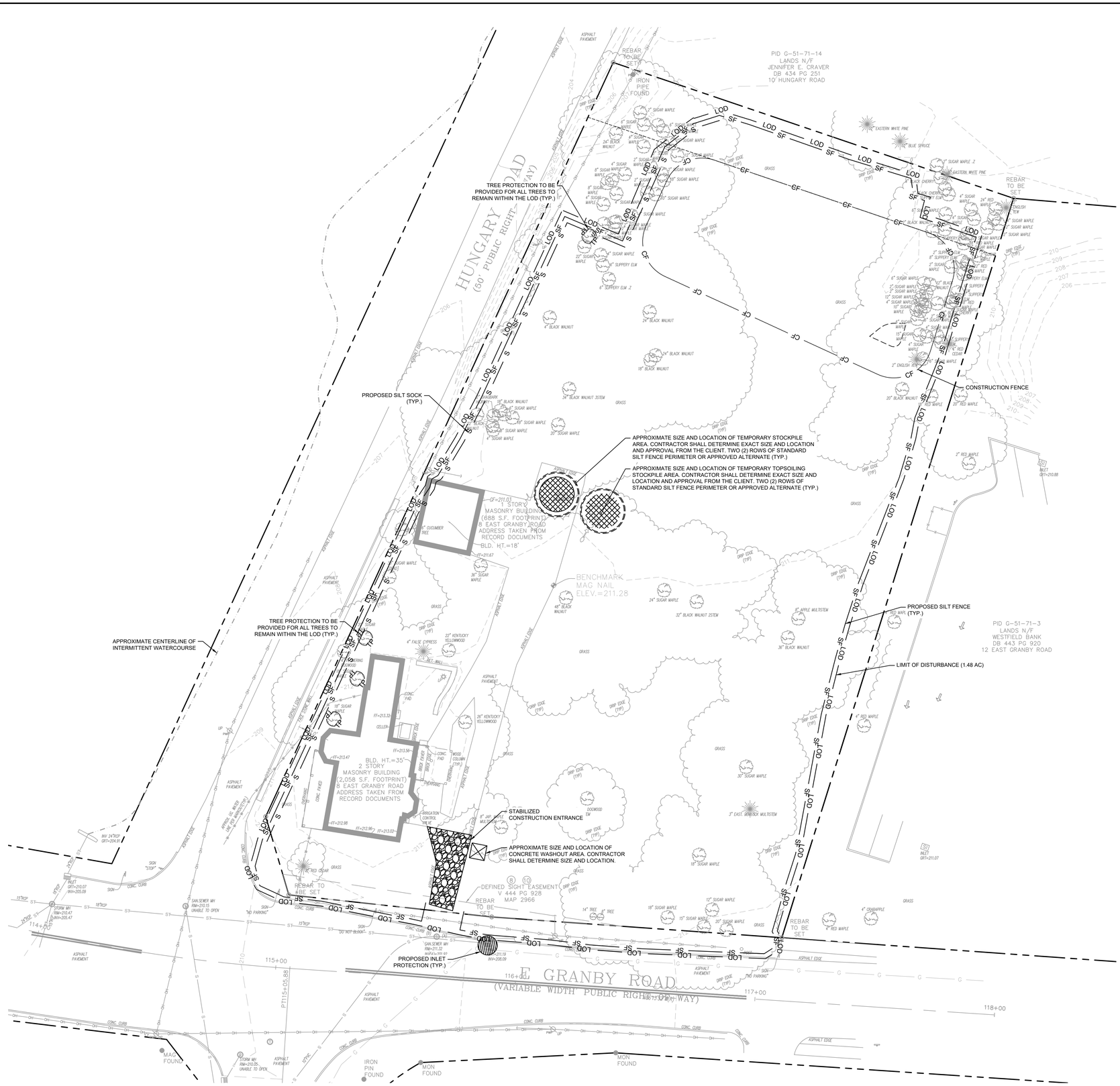

EROSION AND SEDIMENT CONTROL PLAN LEGEND

LOD	LIMIT OF DISTURBANCE (1.48 AC)
SF	PROPOSED SILT FENCE
S S	PROPOSED SILT SOCK
TP TP	PROPOSED TREE PROTECTION
CF	PROPOSED CONSTRUCTION FENCE
	PROPOSED CONSTRUCTION ENTRANCE
	PROPOSED SOIL STOCKPILE
	PROPOSED PERMANENT SEEDING
	PROPOSED INLET PROTECTION

EROSION AND SEDIMENT SCHEDULE AND SEQUENCING

I. ROUGH GRADING	*CONSTRUCTION ENTRANCE/EXIT, SILT FENCE PROTECTION, AND CONCRETE WASHOUT SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED. TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED UPON COMPLETION OF ROUGH GRADING AND AS NECESSARY THROUGHOUT CONSTRUCTION.*
II. UTILITY INSTALLATION	*ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. STORM STRUCTURE INLET PROTECTION SHALL BE INSTALLED AS STORM DRAINAGE SYSTEM IS CONSTRUCTED.*
III. BUILDING CONSTRUCTION	*ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING BUILDING CONSTRUCTION AND THROUGHOUT THE REMAINDER OF THE PROJECT.*
IV. PAVING	*ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.*
V. FINAL GRADING/SOIL STABILIZATION/ LANDSCAPING	*ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE LOCAL MUNICIPALITY.*

THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

NO.	REVISIONS	DATE	BY
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EROSION AND SEDIMENT CONTROL - PHASE 1

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035
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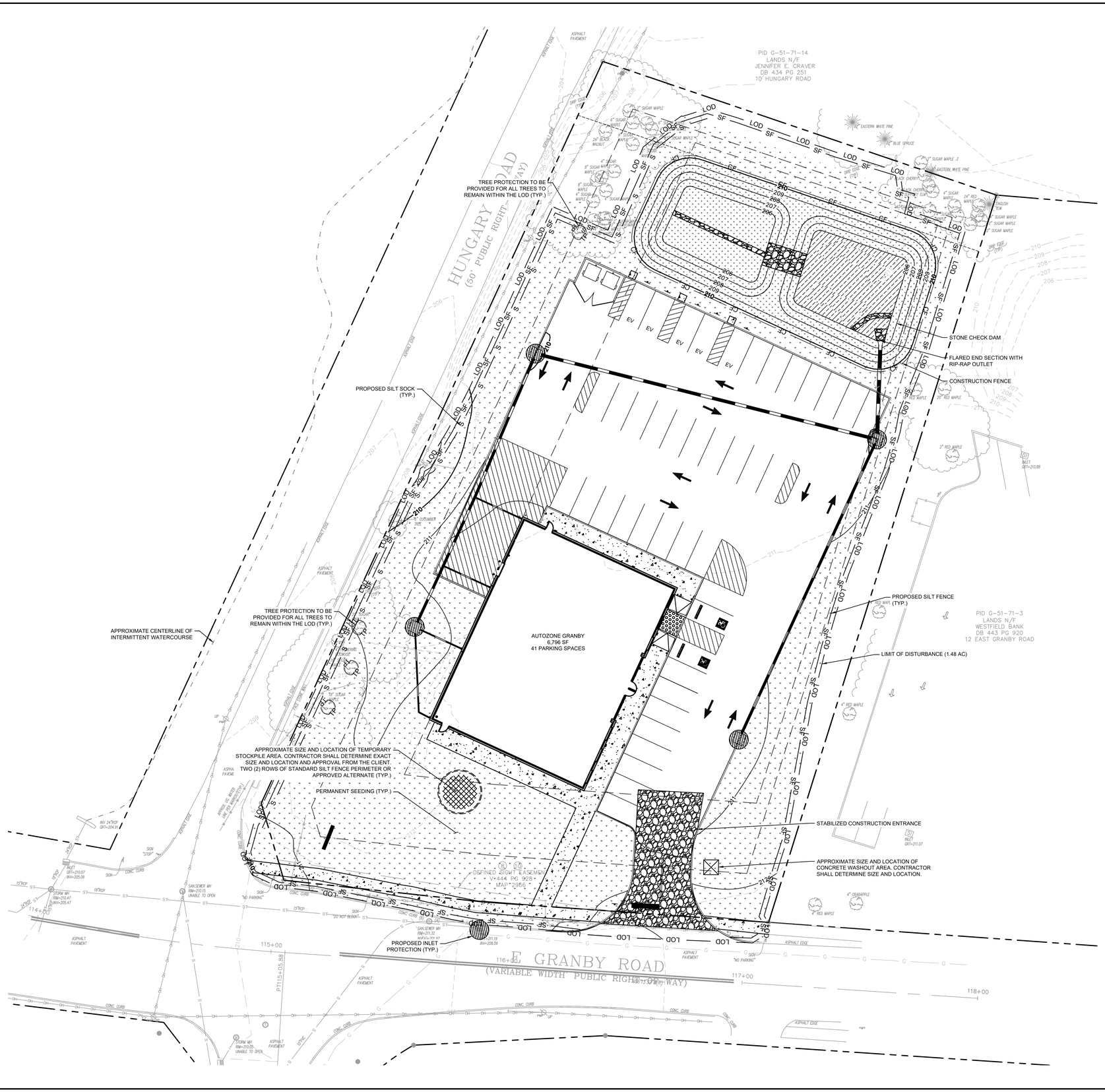

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	PROPOSED PERMANENT SEEDING
	PROPOSED INLET PROTECTION
	PROPOSED CONCRETE WASHOUT AREA

EROSION AND SEDIMENT SCHEDULE AND SEQUENCING

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EROSION AND SEDIMENT CONTROL - PHASE 2

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035
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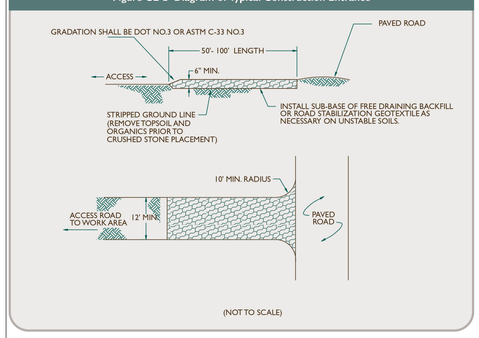
Figure CE-2 Diagram of Typical Construction Entrance



CONSTRUCTION ENTRANCE

N.T.S. SOURCE: CTDEEP

INLET PROTECTION

DEFINITION

A SEDIMENT FILTER OR AN EXCAVATED IMPOUNDING AREA AROUND A STORM DRAIN, DROP INLET, OR CURB INLET.

PURPOSE

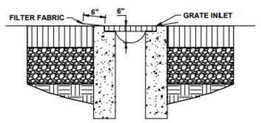
USED TO PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEMS DURING CONSTRUCTION..

INSTALLATION

FILTER FABRIC SHOULD BE ENOUGH TO REACH FROM SIDE TO SIDE OF THE INLET. ALLOW FABRIC TO BE SAG NO MORE THAN 6" FROM THE TOP OF THE GRATE. FILTER FABRIC SHOULD HAVE AT LEAST A 6"OVERHANG ALONG THE OUTSIDE OF THE GRATE.

MAINTENANCE

REMOVE AND REPLACE FILTER FABRIC WHEN SEDIMENT HAS COVERED A MAJORITY OF FILTER FABRIC IN THE INLET. CAUTION SHOULD BE USED IN ORDER TO MAKE SURE FABRIC DOES NOT DROP IN THE INLET BELOW WHEN REPLACING.

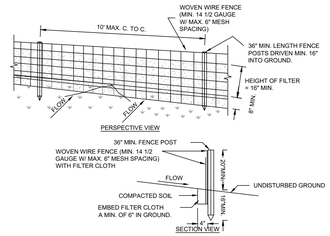


INLET PROTECTION

SCALE: N.T.S.

INLET PROTECTION

N.T.S. SOURCE: KIMLEY-HORN

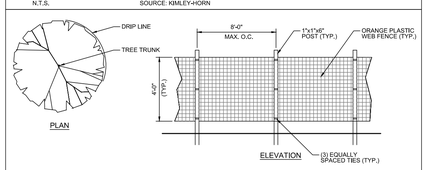


CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE

N.T.S. SOURCE: KIMLEY-HORN

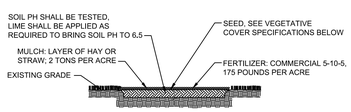


TREE PROTECTION NOTES:

1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY EROSION CONTROL FENCE AND HAY BALE BARRIER. ERECT BARRIER AT EDGE OF THE EARTHWORK CUT LINE PRIOR TO TREE CLEARING. LAY OUT THIS LINE BY FIELD SURVEY.
2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
3. DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.
4. INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES.

TREE PROTECTION FENCE

N.T.S. SOURCE: KIMLEY-HORN



NOTES:

1. REFER TO LANDSCAPE PLAN NOTES FOR TEMPORARY AND PERMANENT SEEDING SPECIFICATIONS.

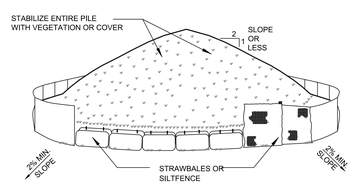
2. SEED BETWEEN SEPTEMBER 1ST AND NOVEMBER 15TH OR MARCH 1ST AND MAY 15TH. SEEDING MAY OCCUR BETWEEN MAY 15TH AND AUGUST 15TH IF ADEQUATE IRRIGATION IS PROVIDED.
5. REFER TO LANDSCAPE PLAN NOTES FOR TOPSOIL SPECIFICATION.

TOPSOIL, SEED, & MULCHING

N.T.S. SOURCE: KIMLEY-HORN

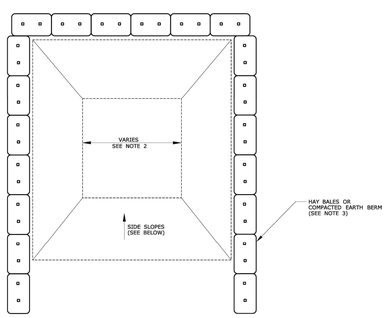
INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES. THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SILT FENCE DETAIL ON THIS SHEET
5. TEMPORARILY STABILIZE AS NOTED IN SPECIFICATIONS

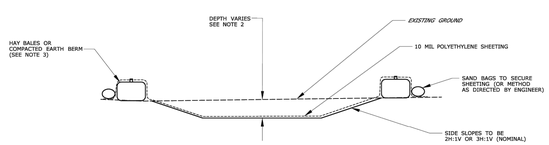


SOIL STOCKPILE AREA

N.T.S. SOURCE: KIMLEY-HORN



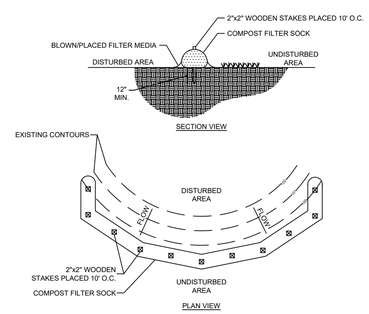
PLAN



CONCRETE WASHOUT AREA
NOT TO SCALE
(SEE NOTE 2)

CONCRETE WASHOUT AREA

N.T.S. SOURCE: KIMLEY-HORN



1. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON TABLE 1. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.

2. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

3. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

4. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

5. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

6. UPON STABILIZATION OF THE AREA TRIBUTART TO THE SOCKS, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

COMPOST FILTER SOCK

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EROSION AND SEDIMENT CONTROL DETAILS

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EROSION AND SEDIMENT CONTROL NOTES

1. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE PROVIDED ON THIS SHEET. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
2. ALL STORMWATER MANAGEMENT STRUCTURES (E.G., SWALES, CULVERTS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. SEDIMENT AND TRASH SHALL BE REMOVED, AS NECESSARY.
3. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE CONNECTICUT STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
4. ANY PILE OF POTENTIALLY EROSIVE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
5. PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAIL SHEET.
6. AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND IS LOCATED IN THE CTDEEP WATERSHED , THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED.
7. ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
8. THE PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
9. THE TOWN MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE TOWN SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS. THE NOTICE OF INTENT (NOI) MAY NEED TO BE UPDATED AS A RESULT OF THE CHANGES.
10. THE CONTRACTOR/OWNER SHALL MAINTAIN A RECORD OF ALL EROSION AND SEDIMENT CONTROL INSPECTION REPORTS AT THE SITE IN A LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY. THE OWNER/CONTRACTOR SHALL, ON A MONTHLY BASIS, POST AT THE SITE A SUMMARY OF THE SITE INSPECTION ACTIVITIES IN A PUBLICLY ACCESSIBLE LOCATION.
11. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH CONNECTICUT STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AKA SUMP PIT) TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
12. UPON COMPLETION OF CONSTRUCTION, THE PARCEL OWNER(S) SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. THE STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED QUARTERLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT. THE OWNER(S) SHALL MAINTAIN A RECORD OF INSPECTION AND MAINTENANCE REPORTS AT THE SITE. REFER TO THE SWPPP FOR INSPECTION REQUIREMENTS AND FUTURE MAINTENANCE.
13. WITHIN 10 DAYS AFTER INSTALLATION OF ALL EROSION CONTROL PLAN MEASURES, THE APPLICANT SHALL SUBMIT TO THE ZONING ENFORCEMENT OFFICER INSPECTOR A LETTER FROM THE QUALIFIED PROFESSIONAL WHO DESIGNED THE PLAN FOR THE APPLICANT/LANDOWNER STATING THAT ALL EROSION CONTROL MEASURES HAVE BEEN CONSTRUCTED AND INSTALLED IN COMPLIANCE WITH THE APPROVED PLAN(S).
14. CONTRACTOR TO REMOVE ALL SEDIMENT AND EXCAVATE TO SUBGRADE ELEVATION ONLY AFTER SITE IS STABILIZED. DO NOT MECHANICALLY COMPACT THE SUBGRADE. INSTALL PLANTINGS AT THE END OF CONSTRUCTION. PROTECT AREA WITH PERIMETER CONTROL (SILT FENCE) UNTIL VEGETATION IS STABILIZED.

EROSION AND SEDIMENT CONTROL SEQUENCING NOTES

1. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE SITE/CIVIL DESIGN ENGINEER, AUTOZONE PROJECT CONTACT, OWNER/OPERATOR, OR OWNER'S REPRESENTATIVE, TOWN STAFF, CONTRACTOR AND SUBCONTRACTORS INVOLVED IN SITE DISTURBANCE.
- LOCATE ALL EXISTING UTILITIES WITHIN PROJECT AREA (CT-811).
- THE OWNER OPERATOR SHALL AUTHORIZE THE QUALIFIED PROFESSIONAL TO PERFORM WEEKLY INSPECTIONS FOR EROSION AND SEDIMENT CONTROL ONCE CONSTRUCTION BEGINS.

2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- CLEAR ONLY THE AREAS NECESSARY TO INSTALL EROSION CONTROL MEASURES. GRUB ONLY AS NECESSARY TO INSTALL SILT FENCING, SILT SOCK AND OTHER E&SC MEASURES AS DESIGNATED WITHIN THIS PLAN. ANY ADJUSTMENT TO THE EROSION CONTROL MEASURES AS SHOWN TO ACCOMMODATE EXISTING UNFORESEEN FIELD CONDITIONS, MUST BE APPROVED BY THE ENGINEER OF RECORD. SILT FENCE SHALL BE INSTALLED PARALLEL TO THE CONTOUR, UNLESS SPECIFIED OTHERWISE ON THE PLAN.
- COMPOST FILTER SOCK MAY BE USED ALONG LONG SLOPES AND LAID PARALLEL TO THE CONTOUR IN ACCORDANCE WITH CONNECTICUT STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. FILTER SOCKS MAY BE SUBSTITUTED FOR SLOPE BREAKS, CHECK DAMS, AND INLET PROTECTION. THE COMPOST SOCK MUST BE INSTALLED PER MANUFACTURER SPECIFICATIONS. THEY MUST BE SIZED TO PREVENT OVERTOPPING.
- INSTALL BASINS AND BARRIERS PRIOR TO CONSTRUCTION ACTIVITIES. ALL MEASURES TO BE INSTALLED CONSISTENT WITH THIS PLAN SET AND THE CONNECTICUT STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. PRIOR TO INSTALLING A MEASURE, EVALUATE THE SURROUNDING AREA IN THE FIELD TO CONFIRM THAT THE SPECIFIED MEASURE AND BE CONSTRUCTED/INSTALLED AS TO FUNCTION PROPERLY. INSTALL ADDITIONAL TRAPS AND BARRIERS AS NEEDED DURING GRADING TO MAINTAIN SUFFICIENT SEDIMENT PROTECTION.
- ALL STOCKPILES, FUEL TANKS, AND CONCRETE WASHOUT AREAS SHOULD BE NO LESS THAT 50 FEET AWAY FROM ALL INLETS AND WATER.
- INSTALL STABILIZE AND LINE CLEAN WATER DIVERSION DITCH AND SILT FENCE AND SEDIMENT TRAPPING DEVICES AFTER PRINCIPAL SEDIMENT TRAPS AND BEFORE LAND GRADING. INSTALL ADDITIONAL RUNOFF-CONTROL MEASURES DURING GRADING TO PROVIDE/MAINTAIN SUFFICIENT SEDIMENT PROTECTION.
- APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK IS DELAYED OR COMPLETE.

3. CALL THE QUALIFIED PROFESSIONAL FOR AN ONSITE INSPECTION PRIOR TO CLEARING AND GRUBBING.

4. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE.
- BEGIN MAJOR CLEARING AND GRADING, IF NECESSARY, AFTER PRINCIPAL SEDIMENT AND KEY RUNOFF-CONTROL MEASURES ARE INSTALLED. CLEAR BORROW AND DISPOSAL AREAS ONLY AS NEEDED. INSTALL ADDITIONAL CONTROL MEASURES AS GRADING PROGRESSES.
- INSTALL NECESSARY EROSION AND SEDIMENTATION CONTROL PRACTICES AS WORK TAKES PLACE INCLUDING ADDITIONAL SILT FENCE AND SEDIMENT TRAPPING DEVICES.

5. INSTALL STORM DRAINAGE PIPES, AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS, SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION.

6. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES.
- ESTABLISH GROUND COVER ON EXPOSED SLOPES WITHIN 7 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING, PERMANENT GROUND COVER FOR ALL DISTURBED AREAS LIMITED TO 14 DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- COMPLETE ALL SITE IMPROVEMENTS
- PLANT/STABILIZE REMAINDER OF SITE.

7. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL QUALIFIED PROFESSIONAL FOR AN INSPECTION.

8. PRIOR TO REMOVAL OF SILT FENCE, REMOVE TEMPORARY DIVERSIONS, SEDIMENT BASINS, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATERS, LEVEL SPREADERS, SHOULD NOW BE INSTALLED.
- THE QUALIFIED PROFESSIONAL MUST GRANT PERMISSION TO CONVERT THE SEDIMENT BASIN OVER TO STORMWATER USE PRIOR TO COMPLETING ANY RELATED WORK.

9. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE QUALIFIED PROFESSIONAL. FILE A NOTICE OF TERMINATION (NOT).

INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES

PERMANENT AND TEMPORARY VEGETATION:

INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY MAJOR STORM EVENT. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE:

INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS AND AFTER EVERY MAJOR STORM EVENT. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. REGRADE PAD AS NEEDED FOR RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE AS DIRECTED BY PROJECT ENGINEER.

SILT FENCE & SILT SOCK:

INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY MAJOR STORM EVENT. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE OR SOCK. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

SOIL STOCKPILE:

INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY MAJOR STORM EVENT. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

DUST CONTROL:

SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

STRAW BALE:

INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY MAJOR STORM EVENT. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO HALF THE HEIGHT OF THE STRAW BALE.

EROSION AND SEDIMENT CONTROL MEASURES

THE PURPOSES OF PROVIDING EROSION AND SEDIMENT CONTROL IS TO MINIMIZE TEMPORARY IMPACTS TO DOWNGRADIENT OPEN WATER DURING ANY CONSTRUCTION ACTIVITIES BY CONTROLLING RUNOFF AND RETAINING SEDIMENT AS MUCH AS POSSIBLE WITHIN THE SITE. REFER TO SITE PLAN FOR PROPOSED EROSION CONTROL PRACTICES AND DETAILS. THE EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH REQUIREMENTS FROM THE LATEST CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.

EROSION AND SEDIMENT CONTROL PRACTICES INCLUDES, BUT NOT LIMITING TO, PROVIDING THE FOLLOWING ACTIVITIES BY THE OWNER/OPERATOR:

A) SILT FENCE

A TEMPORARY BARRIER OF GEOTEXTILE FABRIC INSTALLED ON THE CONTOURS ACROSS A SLOPE USED TO INTERCEPT SEDIMENT LADEN RUNOFF FROM DRAINAGE AREA OF DISTURBED SOIL BY TEMPORARY PONDING THE SEDIMENT LADEN RUNOFF ALLOWING SETTLING TO OCCUR.

B) STRAW BALE

A TEMPORARY BARRIER OF STRAW USED TO INTERCEPT SEDIMENT LADEN RUNOFF FROM DRAINAGE AREA OF DISTURBED SOIL TO REDUCE RUNOFF VELOCITY AND EFFECT DEPOSITION OF THE TRANSPORTED SEDIMENT LOAD.

C) INLET PROTECTION

A TEMPORARY BARRIER WITH LOW PERMEABILITY, INSTALLED AROUND INLETS IN THE FORM OF FENCE, BERM, OR EXCAVATION AROUND AN OPENING, DETAINING WATER AND THEREBY REDUCING THE SEDIMENT CONTENT OF SEDIMENT LADEN WATER BY SETTLING THUS PREVENTING HEAVILY SEDIMENT LADEN WATER FROM ENTERING A STORM DRAINAGE SYSTEM.

D) DUST CONTROL

WATER SHALL BE STRAYED FROM WATER TRUCK DURING CONSTRUCTION ACTIVITY TO PREVENT DUST FROM FORMING AND MINIMIZE SEDIMENT TRANSPORT THAT MAY CAUSE OFF-SITE DAMAGE, HEALTH HAZARDS OR TRAFFIC SAFETY PROBLEM.

E) PAVEMENT SWEEPING

PAVEMENT SWEEPING WILL REMOVE SEDIMENTS FROM THE PAVED SURFACES DIRECTLY THUS PREVENTING SEDIMENT FROM STORMWATER RUNOFF.

F) CATCH BASIN CLEANING

SEDIMENTS THAT ARE NOT REMOVED BY PAVEMENT SWEEPING OR INLET PROTECTION PRACTICES WILL BE DRAINED BY STORMWATER RUNOFF INTO THE SITE'S CATCH BASIN SYSTEM. CATCH BASIN SHALL BE CLEANED ON A REGULAR BASIS TO MAKE SURE THE CATCH BASIN SYSTEM FUNCTION AS INTENDED.

G) STABILIZED CONSTRUCTION ENTRANCE

A STABILIZED PAD OF AGGREGATE UNDERLAIN WITH GEOTEXTILE LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, OR PARKING AREA. THE PURPOSE OF STABILIZED CONSTRUCTION ENTRANCE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF WAY OR STREETS.

H) MULCHING

APPLYING COARSE PLANT RESIDUE OR CHIPS, OR OTHER SUITABLE MATERIALS, TO COVER THE SOIL SURFACE TO PROVIDE INITIAL EROSION CONTROL WHILE A SEEDING OR SHRUB PLANTING IS ESTABLISHING. MULCH WILL CONSERVE MOISTURE AND MODIFY THE SURFACE SOIL TEMPERATURE AND REDUCE FLUCTUATION OF BOTH. MULCH WILL PREVENT SOIL SURFACE CRUSTING AND AID IN WEED CONTROL.

I) CONCRETE TRUCK WASHOUT

A TEMPORARY EXCAVATED OR ABOVE GROUND LINED CONSTRUCTED PIT WHERE CONCRETE TRUCK MIXERS AND EQUIPMENT CAN BE WASHED AFTER THEIR LOADS HAVE BEEN DISCHARGED, TO PREVENT HIGHLY ALKALINE RUNOFF FROM ENTERING THE STORM DRAINAGE SYSTEMS OR LEACHING INTO SOIL.

J) LAND GRADING

RESHAPING OF THE EXISTING LAND SURFACE BY GRADING IN ACCORDANCE WITH AN ENGINEERING TOPOGRAPHIC PLAN AND SPECIFICATION TO PROVIDE FOR EROSION CONTROL AND VEGETATIVE ESTABLISHMENT ON DISTURBED, RESHAPED AREAS.

K) SEEDING

PROVIDING TEMPORARY EROSION CONTROL PROTECTION TO DISTURBED AREAS AND/OR LOCALIZED CRITICAL AREAS FOR AN INTERIM PERIOD BY COVERING ALL BARE GROUND THAT EXISTS BECAUSE OF CONSTRUCTION ACTIVITIES OR NATURAL EVENT. CRITICAL AREAS MAY INCLUDE BUT NOT LIMITED TO STEEP EXCAVATED CUT OR FILL SLOPES AND ANY DISTURBED, DENUDED NATURAL SLOPES SUBJECT TO EROSION.

L) TREE PROTECTION

FENCING SHOULD BE PROVIDED AROUND ALL TREES TO BE PROTECTED PER THE APPROVE PLANS AND DETAILS. CONTRACTOR TO ENSURE ALL TREES TO BE PROTECTED DURING CONSTRUCTION.

M) TOPSOILING

CONTRACTOR TO STRIP EXISTING TOPSOIL ONSITE TO UTILIZE FOR FINAL STABILIZATION, SEEDING, AND PLANTING. CONTRACTOR TO STOCKPILE TOPSOIL IN SEPARATE AREA FROM GENERAL SOIL.

STABILIZATION PRACTICES SHALL BE IMPLEMENTED AFTER COMPLETION, AS FINAL GRADES ARE REACHED, WITHIN SEVEN (7) DAYS. THE CONTRACTOR MAY ELECT TO UTILIZE OTHER CONTROLS IN CONFORMANCE WITH THE 2002 E&S GUIDELINES, AS APPROVED BY THE QUALIFIED INSPECTOR. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE THE NECESSARY DETAILS FOR ANY EROSION CONTROLS NOT SPECIFICALLY CALLED FOR ON THE PROJECT PLANS.

DURING CONSTRUCTION, ALL AREAS DISTURBED BY THE CONSTRUCTION ACTIVITY THAT HAVE NOT BEEN STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM THAT GENERATES A DISCHARGE. FOR STORMS THAT END ON A WEEKEND, HOLIDAY, OR OTHER TIME IN WHICH NORMAL WORKING HOURS WILL NOT COMMENCE WITHIN 24 HOURS, AN INSPECTION IS REQUIRED WITHIN 24 HOURS FOLLOWING ANY STORM IN WHICH 0.1 INCHES OR GREATER OF RAIN OCCURS. FOR LESSER STORMS, INSPECTION SHALL OCCUR IMMEDIATELY UPON THE START OF SUBSEQUENT NORMAL WORKING HOURS.

PROJECT NARRATIVE

1.1. PURPOSE AND DESCRIPTION OF PROJECT
THE PROJECT PROPOSES THE REDEVELOPMENT OF A 1.58-ACRE PARCEL CURRENTLY USED FOR RESIDENTIAL PURPOSES. THE EXISTING BUILDINGS WILL BE DEMOLISHED AND REPLACED WITH A 6,796 SF COMMERCIAL RETAIL STORE (AUTOZONE), WITH ASSOCIATED SITE IMPROVEMENTS INCLUDING PAVED PARKING AREAS, CURBS, SIGNAGE, LIGHTING, UTILITIES, AND STORMWATER MANAGEMENT INFRASTRUCTURE. THE DESIGN EMPHASIZES PRESERVING SITE HYDROLOGY AND INCLUDES AN INFILTRATION BASIN TO MANAGE RUNOFF AND IMPROVE WATER QUALITY. THERE ARE NO WETLANDS OR WATERCOURSES ON-SITE, THOUGH A NEARBY INTERMITTENT WATERCOURSE OFF HUNGARY ROAD IS WITHIN THE 200' UPLAND REVIEW AREA OF THE PROPERTY.

1.2. TOTAL AND DISTURBED AREA ESTIMATES
TOTAL PROJECT SITE AREA: 1.58 ACRES
TOTAL AREA TO BE DISTURBED: 1.48 ACRES
TOTAL DRAINAGE AREA STUDIED: 1.85 ACRES

1.3. SITE-SPECIFIC EROSION OR SEDIMENT CONTROL CONCERNS
PROXIMITY TO AN INTERMITTENT WATERCOURSE ~40 FEET FROM THE SITE
INCREASE IN IMPERVIOUS AREA FROM 0.17 ACRES TO 0.80 ACRES
NEED TO PROTECT SENSITIVE DOWNSTREAM AREAS VIA E&S MEASURES SUCH AS SILT FENCING, STABILIZED ENTRANCES, INLET PROTECTION, AND CONTROLLED SEQUENCING OF CONSTRUCTION

1.4. PHASES OF DEVELOPMENT
THE PROJECT PHASING IS DENOTED ON SHEETS C-5.0 AND C-5.1.

1.5. PLANNED START AND COMPLETION DATES
CONSTRUCTION DURATION: APPROX. 12 MONTHS
START DATE: TBD UPON PERMIT ISSUANCE (EXPECTED WINTER 2026)
COMPLETION DATE: 12 MONTHS POST-START (OR AS ADJUSTED DURING CONSTRUCTION)

1.6. REFERENCE TO DESIGN CRITERIA, CONSTRUCTION DETAILS, AND MAINTENANCE
1.6.1. DESIGN CRITERIA, CONSTRUCTION DETAILS, AND MAINTENANCE PROGRAMS FOR E&S MEASURES
DESIGN CRITERIA: E&S MEASURES TO BE INSTALLED ONSITE PER SHEETS C-5.0 & C-5.1
CONSTRUCTION DETAILS: SHEET C-5.2
MAINTENANCE PROGRAM: DETAILED ON THIS SHEET

1.6.2. SEQUENCE OF MAJOR OPERATIONS
PRECONSTRUCTION MEETING
E&S CONTROLS INSTALLED
CLEARING AND GRUBBING
TEMPORARY STABILIZATION
GRADING AND EXCAVATION
UTILITY INSTALLATION
BUILDING CONSTRUCTION
PERMANENT STABILIZATION
REMOVAL OF TEMPORARY E&S MEASURES

1.6.3. ESTIMATED TIME FOR MAJOR OPERATIONS
PRECONSTRUCTION AND E&S INSTALLATION: ~1-2 WEEKS
CLEARING, GRUBBING, AND EXCAVATION: ~2-3 WEEKS
UTILITY AND SITE WORK: ~2-3 MONTHS
BUILDING CONSTRUCTION: ~6-8 MONTHS
FINAL STABILIZATION AND LANDSCAPING: ~2-3 WEEKS
TOTAL DURATION: ~12 MONTHS

1.7. OTHER LOCAL, STATE, AND FEDERAL PERMITS REQUIRED
TOWN OF GRANBY INLAND WETLANDS & WATERCOURSE COMMISSION APPROVAL
TOWN OF GRANBY PLANNING & ZONING COMMISSION - SPECIAL USE PERMIT AND SITE PLAN APPROVAL
CTDEEP - GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER AND DEWATERING WASTEWATERS FROM CONSTRUCTION ACTIVITIES
CTDOT- ENCROACHMENT PERMIT

OPERATIONS AND MAINTENANCE SCHEDULE POST CONSTRUCTION

GENERAL ROUTINE MAINTENANCE

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	SWEEP PARKING LOT AND OTHER PAVED AREAS	SPRING, AFTER SIGNIFICANT WINTER STORM WHERE SALT OR SAND HAS BEEN APPLIED, AS NECESSARY
2	MAINTAIN LANDSCAPING PROPERLY BY MOWING AND PRUNING	AS NECESSARY
3	REPLACE ANY DYING OR DISEASED PLANT SPECIES	AS NECESSARY
4	PICK UP TRASH AND LITTER ON-SITE BEFORE STORMWATER RUNOFF CAN TRANSPORT DEBRIS TO THE BMPs	ONGOING
5	WALK ENTIRE SITE TO INSPECT FOR EROSION, DRAINAGE PROBLEMS, AND DAMAGE TO THE STORMWATER MANAGEMENT PRACTICES.	BIANNUAL
6	INSPECT PAVEMENT FOR ANY SIGNS OF SETTLEMENT OR ABNORMAL CRACKING	BIANNUAL
7	REMOVE SNOW FROM SITE AS IT ACCUMULATES	AFTER SIGNIFICANT WINTER STORMS

ROUTINE MAINTENANCE ACTIVITIES FOR DRAINAGE PIPE NETWORKS

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	VACUUM ACCUMULATED SEDIMENT FROM PIPES ONCE DEPTH IS GREATER THAN 3-INCHES AND DISPOSE OF IN AN APPROVED OFF-SITE LOCATION	AS NECESSARY

ROUTINE MAINTENANCE ACTIVITIES FOR BIORETENTION BASIN & INFILTRATION BASIN

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	INSPECT FORE SEDIMENT ACCUMULATION, EROSION, AND VEGETATION HEALTH. INSPECT INLET STRUCTURES FOR BLOCKAGES OR DAMAGE.	SEMI-ANNUALLY, AFTER SIGNIFICANT STORM EVENTS
2	REMOVE ACCUMULATED SEDIMENT WHEN DEPTH EXCEEDS 25% OF THE DESIGN VOLUME. REPAIR ERODED AREAS AND RE-ESTABLISH VEGETATION AS NEEDED.	AS NECESSARY

NO.	REVISIONS	DATE	BY
2	IWWC COMMENTS REVISION	08/05/25	KH
1	IWWC COMMENTS REVISION	07/01/25	KH

FOR PERMIT REVIEW

Kimley»Horn
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AutoZone

STATE OF CONNECTICUT · BRIAN APOSTOLOPOULOS · 37922 · LICENSED PROFESSIONAL ENGINEER
08/05/2025

KHA PROJECT 112703002	
DATE 05/13/2025	
SCALE:	AS SHOWN
DESIGNED BY:	TS
DRAWN BY:	AMA
CHECKED BY:	TS

EROSION AND SEDIMENT CONTROL DETAILS

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035
TOWN OF GRANBY CONNECTICUT

SHEET NUMBER
C-5.3

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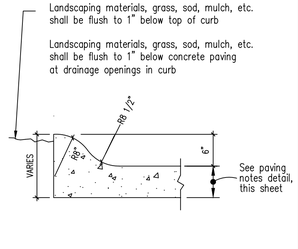
Saved Wednesday, July 30, 2025 2:58:34 PM TRENT SUDDETH Plotted Tuesday, August 5, 2025 8:08:59 AM Suddeth, Trent



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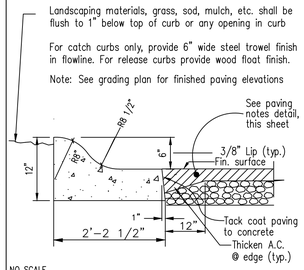
1 TYPICAL ROLL-OVER CURB



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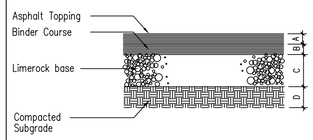
2 ROLL-OVER CURB at ASPHALT PAVING

DIMENSION & TYPE

Paving Area	A	B	C	D
Drive Aisle	2"	2.5"	8"	6"
Parking	2"	2"	6"	6"



NOTE: CONTRACTOR TO REFERENCE GEOTECHNICAL REPORT FOR DIMENSIONS

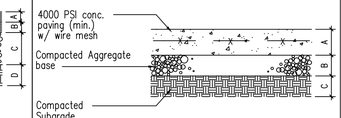
NO SCALE

3 ASPHALT PAVING SECTION

DIMENSION & TYPE

Concrete Section	A	B	C
Parking	6"	6"	see note
Loading/Dumpster	8"	6"	see note
Approaches	8"	6"	see note

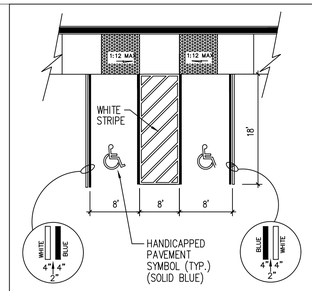
NOTE: Compacted subgrade should be as specified in soils report.



NOTE: CONTRACTOR TO REFERENCE GEOTECHNICAL REPORT FOR DIMENSIONS

NO SCALE

4 CONCRETE PAVING SECTION



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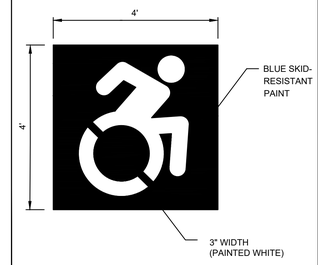
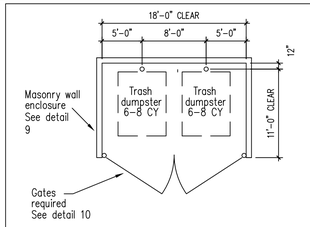
6 HANDICAP PARKING DETAIL



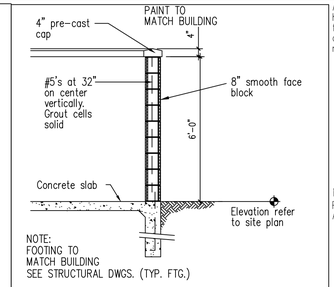
7 ADA PAVEMENT MARKING



NOTE: Bollards behind the dumpsters shall be 6'-0" tall above the pavement surface and extend 3'-0" into the ground.

NO SCALE SEC-C17M

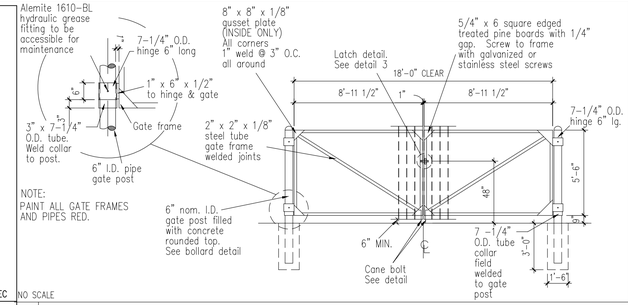
8 DUMPSTER LAYOUT



NOTE: FOOTING TO MATCH BUILDING SEE STRUCTURAL DWGS. (TYP. FTG.)

NO SCALE MDUMPSEC

9 DUMPSTER SECTION

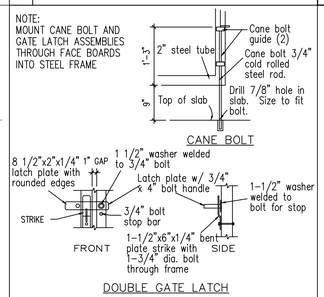


NOTE: PAINT ALL GATE FRAMES AND PIPES RED.

NO SCALE

10 GATE DETAIL FOR DUMPSTER ENCLOSURE

NOTE: MOUNT CANE BOLT AND GATE LATCH ASSEMBLIES THROUGH FACE BOARDS INTO STEEL FRAME



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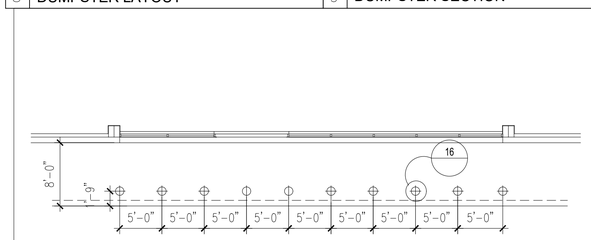
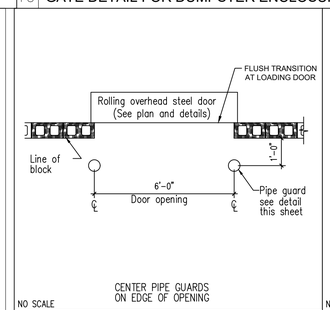
11 GATE LATCH / BOLT DETAILS



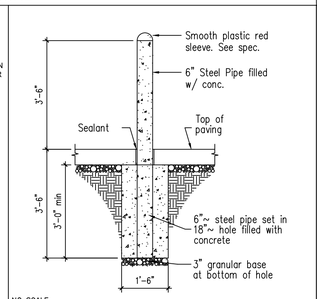
NO SCALE

14 BOLLARD LAYOUT PLAN



NO SCALE

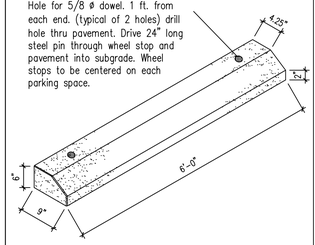
15 PIPE GUARD @ SERVICE DOOR



NO SCALE

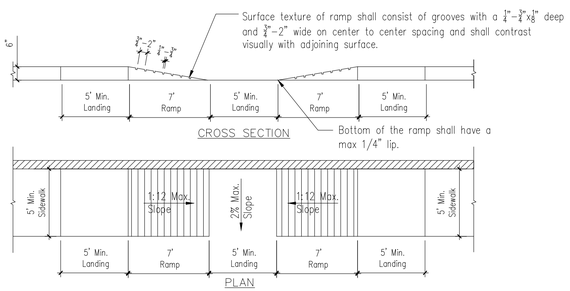
16 TYPICAL PIPE GUARD SECTION

Hole for 5/8 ø dowel. 1 ft. from each end. (typical of 2 holes) drill hole thru pavement. Drive 24" long steel pin through wheel stop and pavement into subgrade. Wheel stops to be centered on each parking space.

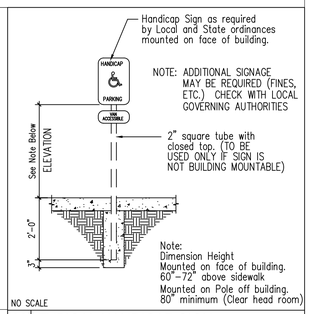


NO SCALE

17 WHEEL STOP DETAIL

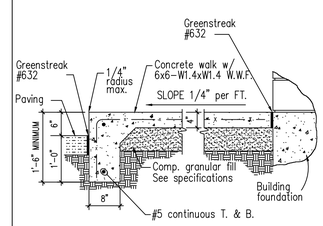


19 HANDICAP PARKING RAMP



NO SCALE

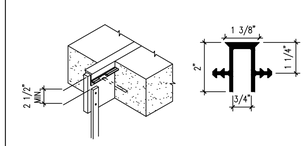
20 TYPICAL HANDICAP SIGN



3/4" = 1'-0"

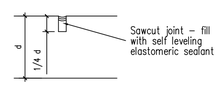
22 TYPICAL WALK SECTION

Greenstreak Paving Cap Seal Profile #610 – See specifications for additional information.



NO SCALE

23 TYPICAL EXPANSION JOINT



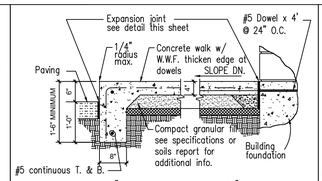
NOTE: SEE SITE PLAN FOR SPACING REQUIREMENTS

NO SCALE

24 TYPICAL CONTROL JOINT

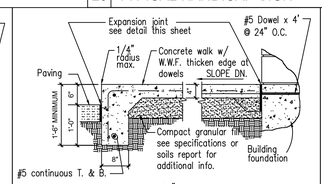
For all details on this sheet which call for a minimum depth of concrete, that depth shall be adjusted to the deeper of that called for in the detail or the frost depth shown in the Geotechnical Report.

25 FROST DEPTH NOTES



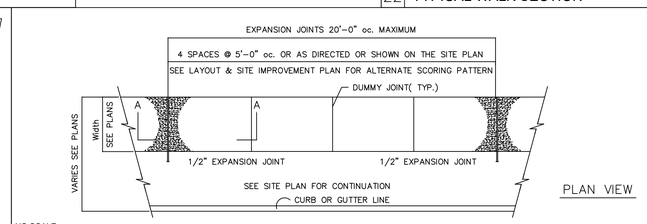
Where frost depth is 18" or greater but less than 24" extend walk turn down to frost depth and fill area under walk extending 24" beyond edge of door opening with 4" compacted granular fill over 2" of polystyrene rigid insulation.

26 WALK AT DOORS FROST DEPTH 18" TO 24"



Where frost depth is greater than 24" extend walk turn down to frost depth and fill area under walk extending 24" beyond edge of door opening with compacted granular fill to one half the frost depth.

27 WALK AT DOORS FROST DEPTH 24"+



NO SCALE

28 CONCRETE SIDEWALK

SOURCE: AUTOZONE

NO.	REVISIONS	DATE	BY
2	IWWC COMMENTS REVISION	08/05/25	KH
1	IWWC COMMENTS REVISION	07/01/25	KH

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AutoZone

STATE OF CONNECTICUT · BRIAN APOSTOLOSKI · 37922 · LICENSED PROFESSIONAL ENGINEER · 08/05/2025

KHA PROJECT 112703002
DATE 05/13/2025
SCALE: AS SHOWN
DESIGNED BY: TS
DRAWN BY: AMA
CHECKED BY: TS

AUTOZONE STANDARD CONSTRUCTION DETAILS

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035
TOWN OF GRANBY CONNECTICUT

SHEET NUMBER
C-6.0

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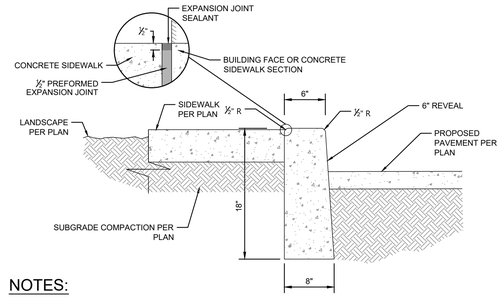
Saved Tuesday, July 1, 2025 1:27:52 PM TRENT SILIDDETH Plotted Tuesday, August 5, 2025 8:09:08 AM Suldeth, Trent



NOTES:

1. CONCRETE SHALL BE 4500 PSI.
2. CONSTRUCTION JOINTS SHALL BE SPACED AT 10' O.C.
3. EXPANSION JOINTS CONSISTING OF 1" DEEP SCORES SHALL BE PLACED AT 20' O.C.

CONCRETE CURB (CAST IN PLACE)

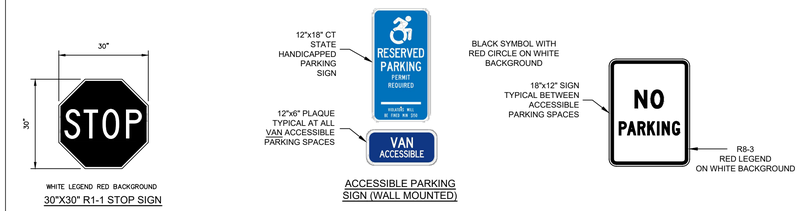
N.T.S. SOURCE: KIMLEY-HORN

STOP BAR MARKING

TRAFFIC LANE DIRECTIONAL ARROW

PAVEMENT MARKINGS

N.T.S. SOURCE: KHA

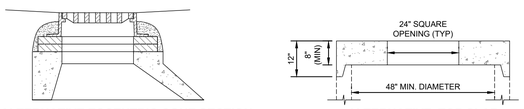


30"X30" R1-1 STOP SIGN

ACCESSIBLE PARKING SIGN (WALL MOUNTED)

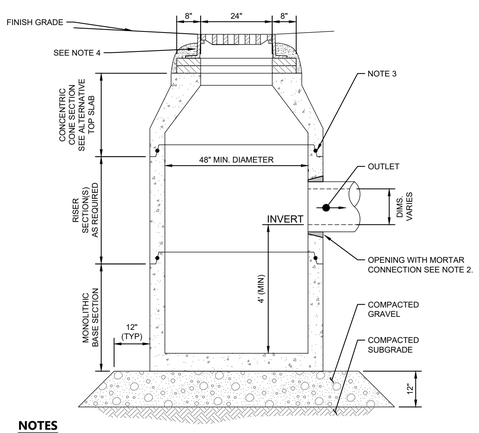
SITE SIGNAGE

N.T.S. SOURCE: KIMLEY-HORN



ALTERNATIVE ECCENTRIC CONE SECTION

ALTERNATIVE TOP SLAB

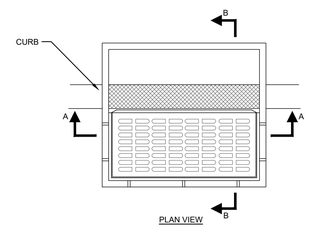


NOTES

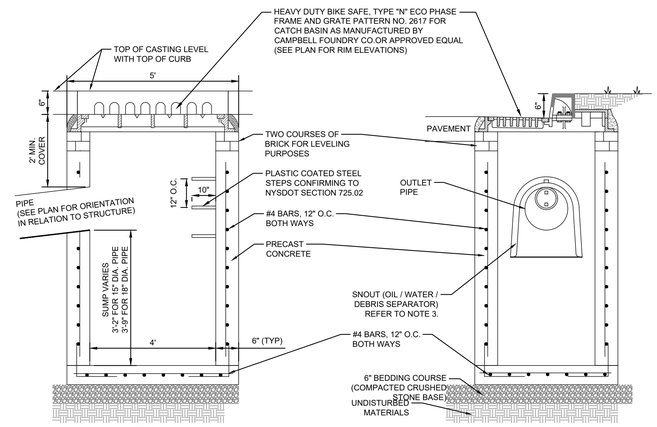
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
4. CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

FIELD INLET (FI)

N.T.S. SOURCE: KIMLEY-HORN



PLAN VIEW



SECTION A

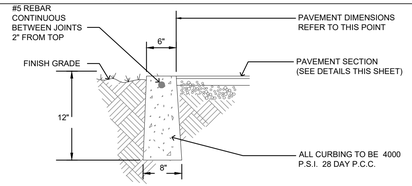
SECTION B

NOTES:

1. ALL STRUCTURES AND CASTINGS TO SUPPORT H-20 LOADING.
2. CONTRACTOR SHALL SUBMIT SITE-SPECIFIC FABRICATION SHOP DRAWINGS FOR APPROVAL.
3. FURNISH AND INSTALL SNOUT OIL WATER DEBRIS SEPARATOR IN ALL TYPE 1 CATCH BASINS. THESE ARE LOCATED WITHIN R.O.W. AREAS AND IN THE LAST PRIVATE CATCH BASIN, INLET, OR DRAIN PRIOR THE MUNICIPAL STORM DRAIN COLLECTION SYSTEM. 9SEE PLANS FOR LOCATIONS.)
4. EXTERIOR SURFACE TO BE MORTAR PARGED FOR BLOCK CONSTRUCTION. 1/4" SCRATCH COAT, AND 1/4" FINISH COAT.
5. HEAVY DUTY BICYCLE TYPE GRATE - CAMPBELL FOUNDRY No. 2617 OR APPROVED EQUAL W/ TYPE 'N-ECO' CURB PIECE. CURB PIECE SHALL INDICATE, "DRAINS TO WATERWAYS."
6. FRAME AND COVER SHALL BE SET IN FULL MORTAR BED.
7. MORTAR ALL PIPE CONNECTIONS.
8. CONTRACTOR SHALL SUBMIT SITE-SPECIFIC FABRICATION SHOP DRAWINGS FOR APPROVAL.
9. AS MANUFACTURED BY OLD CASTLE OR APPROVED EQUAL.

CATCH BASIN CURB TYPE (CB), TYPE 1

N.T.S. SOURCE: KIMLEY-HORN

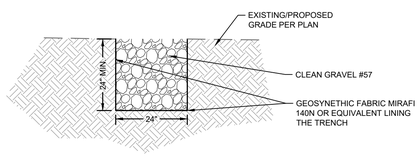


NOTES:

1. ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH 3/4" CLEAN CRUSHED STONE. ALL SUBGRADES SHALL BE APPROVED BY THE TOWN ENGINEER PRIOR TO POURING.
2. EXPANSION JOINTS SHALL BE PROVIDED AT EQUAL DISTANCES OF NOT MORE THAN 20' AT ALL STORM SEWER INLETS. JOINTS SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER, 1/2" THICK. THE JOINT SHALL BE RECESSED 1/4" FROM THE TOP AND THE FRONT OF THE CONCRETE CURB.
3. PAVEMENT REPAIR TO BE PROVIDED AS NEEDED FOR CURB REPLACEMENT.
4. THE TOP OF CURB (AT THE OUTSIDE OR NON-EXPOSED FACE) SHALL NOT VARY MORE THAN 0.01 FT. FROM A 10 FT. STRAIGHT EDGE PLACED LONGITUDINALLY ALONG THE CURB OR AT THE FLOW LINE OF THE GUTTER.
5. THE FACE OF CURB SHALL NOT VARY MORE THAN 0.03 FT. FROM A 10 FT. STRAIGHT EDGE PLACED LONGITUDINALLY ALONG THE FLOW LINE.
6. THE ELEVATION OF THE TOP OF CURB OR FLOW LINE OF GUTTER SHALL NOT VARY MORE THAN 0.02 FT. FROM THE TRUE ELEVATION LAID OUT IN THE FIELD BY THE ENGINEER.

FLUSH CONCRETE CURB

N.T.S. SOURCE: KIMLEY-HORN



NOTES:

1. STONE TRENCH TO BE INSTALLED IN INFILTRATION BASIN TO PROMOTE INFILTRATION DURING FROZEN PERIODS.

STONE TRENCH DETAIL

SCALE: NTS

NO.	REVISIONS	DATE	BY
2	IWWC COMMENTS REVISION	08/05/25	KH
1	IWWC COMMENTS REVISION	07/01/25	KH

FOR PERMIT REVIEW

Kimley»Horn

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AutoZone

STATE OF CONNECTICUT — DEAN APOSTOLOS — 37922 — LICENSED PROFESSIONAL ENGINEER
08/05/2025

KHA PROJECT: 112703002
DATE: 05/13/2025
SCALE: AS SHOWN
DESIGNED BY: TS
DRAWN BY: AMA
CHECKED BY: TS

CONSTRUCTION DETAILS

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035
TOWN OF GRANBY CONNECTICUT

SHEET NUMBER
C-6.1

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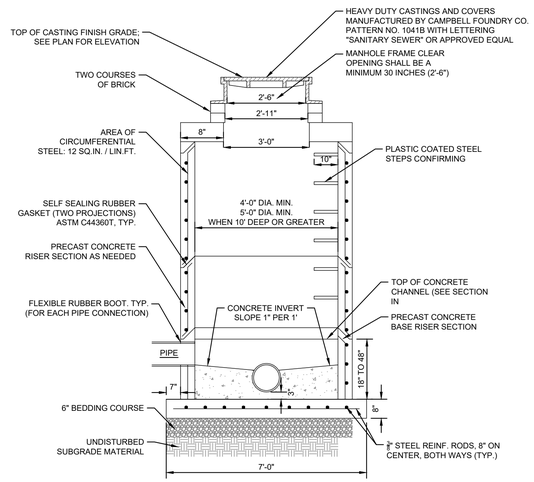
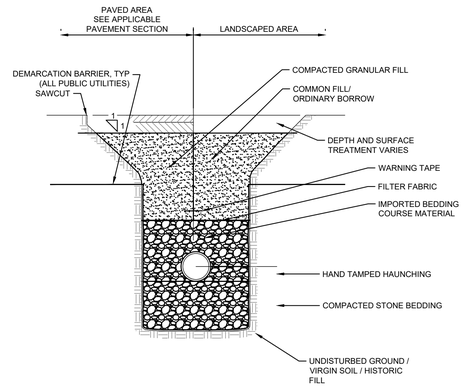


NOTES:

1. ALL STRUCTURES AND CASTINGS TO SUPPORT H-20 LOADING.
2. CONTRACTOR SHALL SUBMIT SITE-SPECIFIC FABRICATION SHOP DRAWINGS FOR APPROVAL.
3. AS MANUFACTURED BY OLD CASTLE OR APPROVED EQUAL

SANITARY SEWER MANHOLE

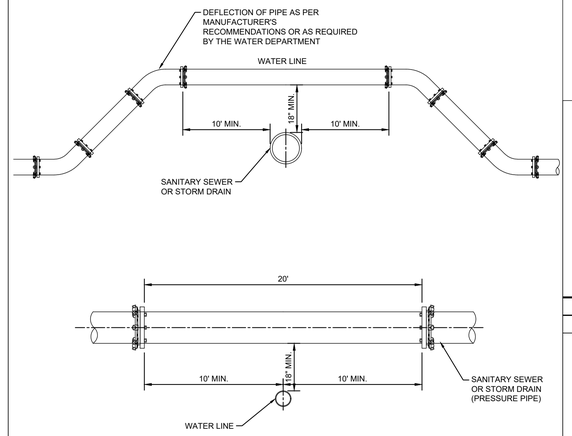
N.T.S. SOURCE: KIMLEY-HORN



FOR 48" HDPE PIPE AND SMALLER MINIMAL GRAVEL DEPTH FROM THE TOP OF THE PIPE TO BOTTOM OF BITUMINOUS IS 12 INCHES.

UTLITY TRENCH DETAIL (STORM / SANITARY / WATER)

N.T.S. SOURCE: KIMLEY-HORN

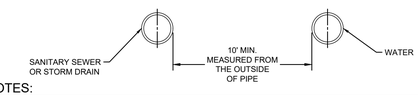


NOTES:

1. FOR ANY CONDITIONS OTHER THAN SHOWN AT RIGHT, THE FOLLOWING REQUIREMENTS SHALL BE MET. THE JOINTS OF THE SANITARY SEWER OR STORM DRAIN SHALL BE A MINIMUM OF 10 FEET FROM THE POINT OF CROSSING. THE SANITARY SEWER SHALL BE CLASS 150 PRESSURE PIPE AND THE STORM DRAIN SHALL BE LOCK JOINT PRESSURE PIPE. WHERE THE ABOVE CONDITIONS CANNOT BE MET, THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH WILL BE NOTIFIED AND THEIR APPROVAL REQUIRED.
2. WHERE THE WATER LINE CROSSES BENEATH THE SANITARY SEWER OR STORM DRAIN, THE JOINTS OF THE PIPE SHALL BE A MINIMUM OF 10 FEET FROM THE POINT OF CROSSING. SANITARY SEWER PIPE SHALL BE CLASS 150 PRESSURE PIPE AND THE STORM DRAIN SHALL BE LOCK JOINT PRESSURE PIPE.
3. REQUIREMENTS AS STATED IN THE ABOVE CONDITIONS WILL ALSO APPLY WHEN HORIZONTAL SEPARATION BETWEEN THE SANITARY SEWER AND WATER IS LESS THAN 10 FEET AND VERTICAL SEPARATION IS LESS THAN 18 INCHES. WHERE THE ABOVE CONDITIONS CANNOT BE MET, THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH WILL BE NOTIFIED AND THEIR APPROVAL REQUIRED.
4. WHERE SEPARATION IS LESS THAN 18 INCHES VERTICALLY OR 10 FEET HORIZONTALLY, CONCRETE ENCASE A MINIMUM OF 10 FEET IN EACH DIRECTION

CROSSING OF WATER LINE AND STORM / SANITARY SEWER

N.T.S. SOURCE: KIMLEY-HORN



NOTES:

1. REQUIREMENTS AS STATED IN THE ABOVE CONDITIONS WILL ALSO APPLY WHEN HORIZONTAL SEPARATION BETWEEN THE SANITARY SEWER AND WATER IS LESS THAN 10 FEET AND VERTICAL SEPARATION IS LESS THAN 18 INCHES. WHERE THE ABOVE CONDITIONS CANNOT BE MET, THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH WILL BE NOTIFIED AND THEIR APPROVAL REQUIRED.
2. WHERE SEPARATION IS LESS THAN 18 INCHES VERTICALLY OR 10 FEET HORIZONTALLY, CONCRETE ENCASE A MINIMUM OF 10 FEET IN EACH DIRECTION.

MIN. HORIZONTAL SEPARATION BETWEEN WATER AND STORM/SANITARY PIPES

N.T.S. SOURCE: KIMLEY-HORN

FILL NOTES

1. TYPICAL CLEAN FILL SIEVE ANALYSIS REQUIREMENTS FOR ALL UTILITY AND PIPING BACKFILL REQUIREMENTS.
2. ENGINEERED FILL MATERIAL SHALL BE WELL-TO-MODERATELY WELL-GRADED GRANULAR SOILS AS EXCAVATED, IMPORTED, SCREENED, OR BLENDED, OR PROCESSED ROCK FROM ON-SITE SOURCES MEETING THE FOLLOWING REQUIREMENTS:

TRENCH BACKFILL REQUIREMENTS	
SIEVE OPENING	TOTAL PERCENT PASSING BY WEIGHT
4 INCH	100
3/4 INCH	70-100
NO. 4	40-100
NO. 10	20-100
NO. 40	5-40
NO. 100	0-30
NO. 200	0-12

TRENCH FILL MATERIAL SPECIFICATIONS

N.T.S. SOURCE: KIMLEY-HORN

SANITARY SEWER MAIN NOTES

1. ALL SANITARY SEWER MAIN PIPING SHALL BE 6" PVC AS SHOWN ON THE PLANS.
2. ALL INDIVIDUAL SEWER SERVICES SHALL BE 6" PVC PIPE UP TO 5 FEET OF THE BUILDING FOUNDATION. WITHIN 5 FEET OF THE BUILDING FOUNDATION THE SEWER SERVICE PIPE SHALL BE PER LOCAL BUILDING CODES. CLEANOUTS WILL BE REQUIRED AT ALL CHANGES IN DIRECTION AND EVERY 50 FEET.
3. SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" CAST ON THE COVERS.
4. THE PRECAST STRUCTURE SHALL COMPLY WITH ASTM SPECIFICATION C-478. ALL NECESSARY PATCHING SHALL BE ACCOMPLISHED WITH NON-SHRINK CEMENT GROUT EQUAL TO "SIKA-SET" AS MANUFACTURED BY SIKA CHEMICAL COMPANY.
5. THE PROPOSED SEWER MAINS WILL BE INSTALLED AT MINIMUM 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM ALL WATER MAINS.
6. ALL SEWER MANHOLES ARE TO BE CONSTRUCTED WITH COMPRESSION TYPE RESILIENT SEAL ASSEMBLY.
7. GASKETS OR COLLARS FOR SANITARY SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE WATER TIGHT AND COMPATIBLE WITH THE TYPE OF PIPING BEING USED.
8. THE LENGTH OF SANITARY SEWER PIPES ENTERING OR LEAVING ANY MANHOLE SHALL BE GREATER THAN 2 FEET AND LESS THAN 6 FEET.
9. EXFILTRATION/INFILTRATION TESTS: LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY. WATER TESTS SHALL BE PERFORMED UNDER A MINIMUM POSITIVE HEAD OF TWO (2) FEET [FIVE (5) FEET FOR WCDEF SEWERS]. LOW PRESSURE AIR TESTING IS PERMITTED FOR PIPE LINES AND SHOULD CONFORM TO ASTM C-828. VACUUM TESTING IS PERMITTED FOR MANHOLES, BUT IS NOT PERMISSIBLE FOR PIPELINES.
10. UPON COMPLETION AND PRIOR TO USE, TWO SETS OF AS-BUILT PLANS MUST BE SUBMITTED TO THE CWPCA TOGETHER WITH A CT LICENSED PROFESSIONAL ENGINEER'S CERTIFICATION OF CONSTRUCTION AND ACCEPTABLE RESULTS OF AIR OR WATER TESTING OF THE SEWER PIPES AND MANHOLES. THE SURVEY SHALL BE SIGNED BY A LICENSED CT SURVEYOR.
11. A MINIMUM OF 48 HOUR ADVANCED NOTIFICATION TO THE CWPCA (860-432-3430) IS REQUIRED FOR ANY LEAKAGE TESTING OF THE SEWER MAIN AND MANHOLES.
12. IN DEEPER UTILITY EXCAVATIONS NEAR THE ANTICIPATED GROUNDWATER TABLE ADDITIONAL CORROSION PROTECTION OF DUCTILE IRON PIPE WILL BE REQUIRED. THIS PROTECTION SHOULD CONSIST OF A POLYETHYLENE WRAP AROUND THE DUCTILE IRON PIPE. GROUNDWATER IS EXPECTED TO BE ENCOUNTERED AT OR BELOW APPROXIMATE EL. 6.0 BASED ON FIELD TESTING. THE GEOTECHNICAL ENGINEER WILL MAKE A FIELD DETERMINATION AS TO IF CORROSION PROTECTION IS WARRANTED BASED ON ACTUAL FIELD CONDITIONS ENCOUNTERED DURING CONSTRUCTION.

ADDITIONAL NOTES:

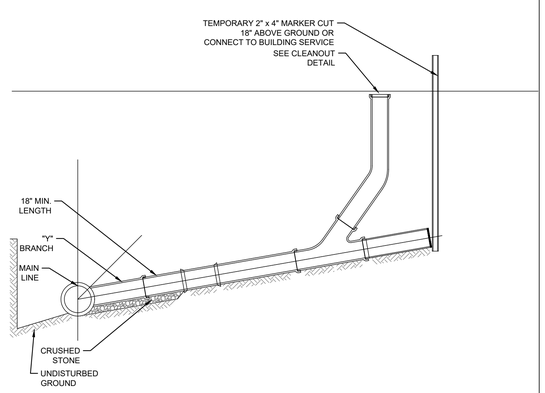
1. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 4 DAYS NOTICE TO THE LICENSED PROFESSIONAL ENGINEER PRIOR TO ANY TESTING SO THAT THE LICENSED PROFESSIONAL ENGINEER CAN PROVIDE THE REQUIRED MINIMUM 48 HOUR NOTICE TO THE CWPCA PRIOR TO ANY TESTING.
2. SANITARY SEWER PIPES SHALL BE AIR TESTED IN ACCORDANCE WITH ASTM C 828.
3. SANITARY SEWER MANHOLES SHALL BE AIR TESTED IN ACCORDANCE WITH ASTM C 1244.
4. THE MINIMUM SEWER INSTALLATION DEPTH SHALL BE AT LEAST 4 FEET BELOW THE FINISHED GROUND SURFACE (MEASURED FROM THE TOP OF THE PIPE). THE MINIMUM SEPARATION BETWEEN WATER MAIN AND SANITARY SEWER/STORM DRAIN PIPING SHALL BE 18 INCHES VERTICALLY AND 10 FEET HORIZONTALLY. SEPARATION IS ALSO APPLICABLE BETWEEN WATER MAINS AND SANITARY SEWER MANHOLES, STORM DRAIN MANHOLES AND CATCH BASINS.

SANITARY SEWER NOTES

N.T.S. SOURCE: KIMLEY-HORN

NOTES:

1. MINIMUM SLOPE OF LATERAL IS ¼" PER FOOT, EXCEPT WHERE NOTED OTHERWISE ON THE UTILITY PLAN.
2. MAXIMUM SLOPE OF LATERAL IS DETERMINED BY GRADES OF MAIN LINE AND HOUSE ELEVATION.
3. NO CHIMNEY TYPE CONSTRUCTION SHALL BE PERMITTED. LATERALS MUST REST ON UNDISTURBED GROUND.
4. CLEANOUTS TO BE INSTALLED EVERY 50 FEET OR WHERE SHOWN ON THE PLANS OR AS DIRECTED.
5. SEE CLEANOUT DETAIL FOR MORE INFORMATION.

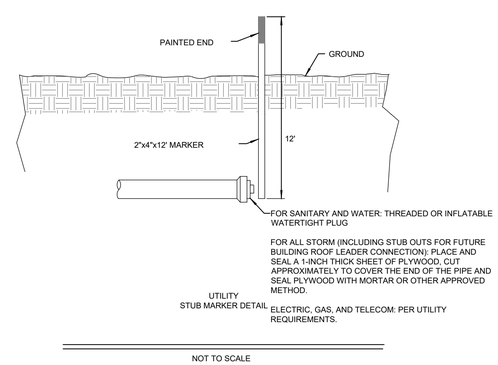


SANITARY SERVICE LINE

N.T.S. SOURCE: KIMLEY-HORN

NOTES:

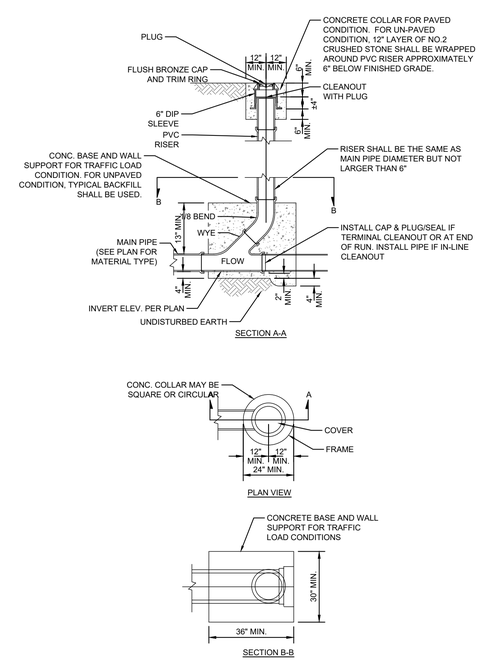
1. THE END OF ALL LATERALS SHALL BE PLUGGED WATERTIGHT AND MARKED BY A TWELVE (12) FOOT LONG 2X4 PIECE OF LUMBER. THE LENGTH SHALL BE EXACT SO THAT THE DEPTH OF THE LATERAL CAN BE DETERMINED BY THE LENGTH OF THE 2X4 PROTRUDING FROM THE SURFACE. SANITARY SERVICE SHALL HAVE GREEN PAINT, WATER BLUE PAINT, STORM RED PAINT ON THE END OF THE 2X4, AND "SAN, WATER, OR STM" STENCILED IN 2.5" LETTERS. THE 2X4 SHALL BE EVEN WITH THE INVERT AND PLUMB.
2. PIPES THAT ARE CAPPED SHALL REMAIN CAPPED UPSTREAM UNTIL FUTURE CONNECTION (TO THE BUILDING OR FUTURE PHASES) IS ESTABLISHED.



NOT TO SCALE

CAPPING OF FUTURE UTILITY AND STUB MARKER

N.T.S. SOURCE: KIMLEY-HORN



STORM AND SANITARY SEWER CLEANOUT (TYPICAL)

N.T.S. SOURCE: KIMLEY-HORN

NO.	REVISIONS	DATE	BY
2	IWWC COMMENTS REVISION	08/05/25	KH
1	IWWC COMMENTS REVISION	07/01/25	KH

FOR PERMIT REVIEW

Kimley»Horn

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AutoZone

STATE OF CONNECTICUT · BRIAN APOSTOLORO · 37922 · LICENSED PROFESSIONAL ENGINEER
08/05/2025

KHA PROJECT	112703002
DATE	05/13/2025
SCALE:	AS SHOWN
DESIGNED BY:	TS
DRAWN BY:	AMA
CHECKED BY:	TS

CONSTRUCTION DETAILS

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035

TOWN OF GRANBY CONNECTICUT

SHEET NUMBER
C-6.2

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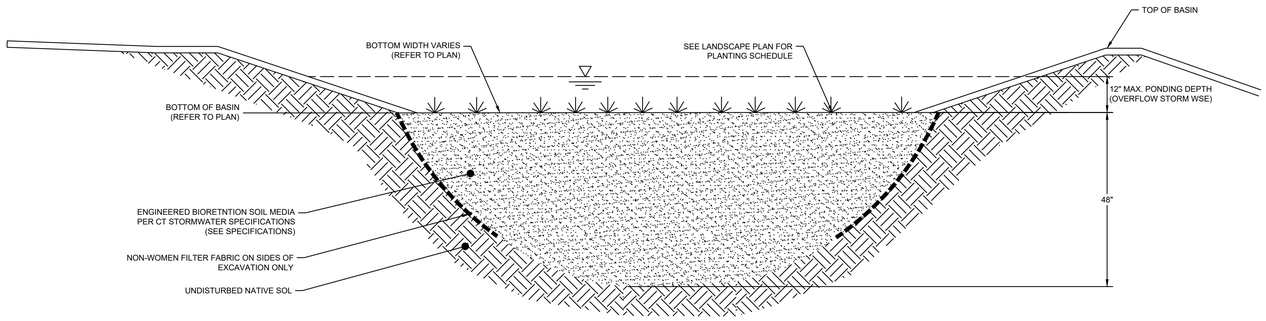
Saved Tuesday, August 5, 2025 8:08:14 AM TRENT SUDDETH Plotted Tuesday, August 5, 2025 8:09:16 AM Suddeth, Trent



BIORETENTION BASIN

N.T.S.

MRC BIORETENTION PLANTING SOIL SPECIFICATIONS

1. REFER TO THE LANDSCAPE PLANS FOR PLANTING SCHEDULE IN THE BIORETENTION BASIN
2. THE ENGINEERED BIORETENTION SOIL MEDIA SHOULD BE A HOMOGENEOUS SOIL MIX OF (BY VOLUME):

   60-85% Sand
   15-25% Topsoil
   3-8% Organic Matter

   SAND SHOULD BE WASHED CONCRETE SAND (ASTM C33 OR AASHTO M-6) OR COARSE WASHED SAND THAT MEETS THE GRADATION SCHEDULE AS SHOWN IN STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, SECTION M.01 (AGGREGATES), TABLE M.01.04-1 FOR FINE AGGREGATE GRADATIONS.

   TOPSOIL SHOULD CONTAIN 5-20% ORGANIC MATERIAL, HAVE A PH RANGE OF 5.5 TO 7.0, AND BE A SANDY LOAM, LOAMY SAND, OR LOAM PER USDA SOIL TEXTURE WITH LESS THAN 5% CLAY CONTENT. TOPSOIL THAT MEETS THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, SECTION M.13.01 (ROADSIDE DEVELOPMENT) FOR TOPSOIL MAY ALSO BE USED, EXCEPT IT SHOULD CONTAIN LESS THAN 5% CLAY CONTENT.

   ORGANIC MATTER SHOULD CONSIST OF ONE OF THE FOLLOWING MATERIALS
   - SPHAGNUM PEAT: PARTIALLY DECOMPOSED SPHAGNUM PEAT MOSS, FINELY DIVIDED OR OF GRANULAR TEXTURE WITH 100 PERCENT PASSING THROUGH A 1/2- INCH (13-MM) SIEVE, A PH OF 3.4 TO 4.8.
   - WOOD DERIVATIVES: SHREDDED WOOD, WOOD CHIPS, GROUND BARK, OR WOOD WASTE; OF UNIFORM TEXTURE AND FREE OF STONES, STICKS, SOIL, OR TOXIC MATERIALS.
   - COMPOST SHALL NOT BE USED AS ORGANIC MATTER SINCE THE USE OF COMPOST IN BIORETENTION SOIL MEDIA CAN RESULT IN NUTRIENT EXPORT FROM THE SYSTEM.
3. BIORETENTION SOIL MEDIA SHOULD MEET THE FOLLOWING PARTICLE SIZE DISTRIBUTION ACCORDING TO ASTM D422 (STANDARD TEST METHOD FOR PARTICLE-SIZE ANALYSIS OF SOILS) AS SPECIFIED BELOW:

MEDIA TYPE	SIEVE #	SIZE (INCHES)	SIZE (MM)	% PASSING
COARSE SAND	4	0.1870	4.7600	100
MEDIUM SAND	10	0.0790	2.0000	95
FINE SAND	40	0.0170	0.4200	10 - 20
SILT/CLAY	200	0.0030	0.0750	0 - 5

4. BIORETENTION SOIL MEDIA SHOULD ALSO MEET THE FOLLOWING SPECIFICATIONS:
   - PH (SOIL REACTION): 5.5 TO 7.5
   - CATION EXCHANGE CAPACITY (CEC): MINIMUM OF 10 MILLIEQUIVALENTS PER 100 GRAMS OF SOIL (MEQ/100 G) AT PH OF 7.0
   - ORGANIC MATTER (PERCENTAGE BY VOLUME): 3% TO 10%
   - TOTAL PHOSPHORUS: <100 MG/KG
5. BIORETENTION SOIL MEDIA SHOULD NOT CONTAIN ANY OF THE FOLLOWING MATERIALS: STONES, CLODS, ROOTS, CLAY LUMPS, AND POCKETS OF COARSE SAND EXCEEDING 0.187 INCHES (4.76 MM) IN ANY DIMENSION; PLANTS, SOD, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, BUILDING DEBRIS, ASPHALT, BRICKS, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, ACID, SOLID WASTE, AND ANY OTHER EXTRANEOUS MATERIALS THAT ARE HARMFUL TO PLANT GROWTH.
6. USE NON-WOVEN FILTER FABRIC THAT COMPLIES WITH STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, SECTION M.08.01.19 (DRAINAGE - GEOTEXTILES).

NO.	REVISIONS	DATE	BY
2	IWWC COMMENTS REVISION	08/05/25	KH
1	IWWC COMMENTS REVISION	07/01/25	KH

FOR PERMIT REVIEW

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AutoZone

STATE OF CONNECTICUT
DEAN APOSTOLOS
37922
LICENSED
PROFESSIONAL ENGINEER
08/05/2025

KHA PROJECT
112703002
DATE
05/13/2025
SCALE: AS SHOWN
DESIGNED BY: TS
DRAWN BY: AMA
CHECKED BY: TS

CONSTRUCTION DETAILS

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035
TOWN OF GRANBY CONNECTICUT

SHEET NUMBER
C-6.3

Saved Tuesday, August 5, 2025 8:08:14 AM TRENT SUDDETH Plotted Tuesday, August 5, 2025 8:09:17 AM Suddeth, Trent
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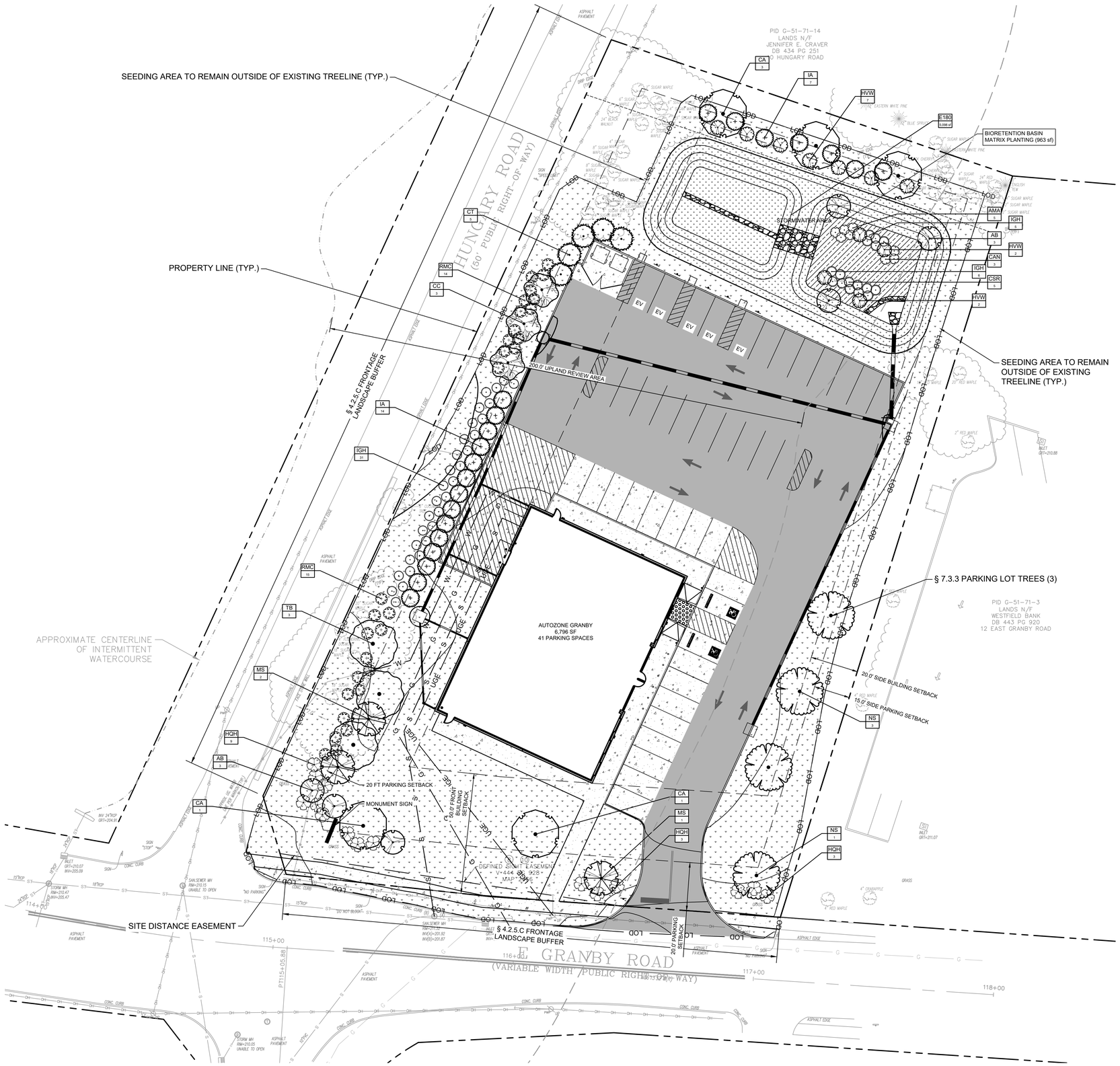

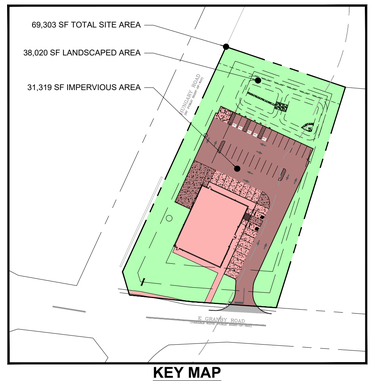

KEY MAP
1" = 100'

LANDSCAPE ZONING REQUIREMENTS			
CODE	**REQUIREMENT**	**PROPOSED**	**COMPLIES**
§ 4.2.5.B SITE LANDSCAPE AREA	MINIMUM OF 20% OF SITE AREA LANDSCAPED 69,303 SF x 20% = 13,861 SF LANDSCAPING REQUIRED	38,020 SF (55%) LANDSCAPE AREA PROVIDED	YES *SEE KEY PLAN ON SHEET C-7.1*
§ 4.2.5.C FRONTAGE LANDSCAPE BUFFER	20 FT WIDE LANDSCAPE BUFFER ALONG SITE FRONTAGE 1 TREE PER 25 LF MASSINGS OF NATIVE SHRUBS 586 LF FRONTAGE / 25 = 24 TREES 24 TREES REQUIRED	27 TREES 75 SHRUBS	YES
§ 7.3.3 PARKING LOT TREES	1 TREE PER 15 SPACES 41 SPACES / 15 = 3 TREES REQUIRED	3 TREES	YES

PLANT KEY

SEE FULL PLANT SCHEDULE ON SHEET L-1.1 - LANDSCAPE NOTES AND DETAILS

SYMBOL	CODE	BOTANICAL / COMMON NAME
DECIDUOUS TREES		
	CA	Carpinus caroliniana American Hornbeam
	NS	Nyssa sylvatica Sour Gum
	TB	Tilia americana 'Boulevard' Boulevard American Linden
EVERGREEN TREES		
	CT	Chamaecyparis thyoides Atlantic White Cypress
	IA	Ilex opaca American Holly
ORNAMENTAL TREES		
	AB	Amelanchier canadensis 'Autumn Brilliance' Canadian Serviceberry
	CC	Cercis canadensis Eastern Redbud
	MS	Magnolia virginiana Sweetbay Magnolia
DECIDUOUS SHRUBS		
	AMA	Aronia melanocarpa `Autumn Magic' Autumn Magic Black Chokeberry
	CAN	Ceanothus americanus New Jersey Tea
	CSR	Cornus sericea Red Twig Dogwood
	HVW	Hamamelis virginiana Common Witch Hazel
	HQH	Hydrangea quercifolia Oakleaf Hydrangea
EVERGREEN SHRUBS		
	IGH	Ilex glabra Inkberry Holly
	RMC	Rhododendron maximum 'Compacta' Compact Rosebay Rhododendron
SHRUB AREAS		
		BIORETENTION BASIN MATRIX PLANTING
	AGB	Andropogon gerardii Big Bluestem
	ASM	Asclepias incarnata Swamp Milkweed
	CST	Carex stricta Tussock Sedge
	JER	Juncus effusus Soft Rush
	LCF	Lobelia cardinalis Cardinal Flower
	PVS	Panicum virgatum Switch Grass
	PDW	Phlox divaricata Woodland Phlox
	VHB	Verbena hastata Blue Vervain
GROUND COVERS		
	E136	ERNST-136 ERNST SEED THREE-WAY TALL FESCUE MIX
	E180	ERNST-180 ERNST RAIN GARDEN SEED MIX

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

NO.	REVISIONS	DATE	BY
2	IWWC COMMENTS REVISION	08/06/25	KH
1	IWWC COMMENTS REVISION	07/01/25	KH

FOR PERMIT REVIEW

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AutoZone

STATE OF CONNECTICUT
FRANK J. I. MADER
LICENSED LANDSCAPE ARCHITECT
No. 1716
08/05/2025

KHA PROJECT 112703002
DATE 05/13/2025
SCALE: AS SHOWN
DESIGNED BY: TS
DRAWN BY: AMA
CHECKED BY: TS

LANDSCAPE PLAN

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035
TOWN OF GRANBY CONNECTICUT

SHEET NUMBER
L-1.0

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Saved Monday, August 4, 2025 12:00:37 PM FRANK MADER Plotted Tuesday, August 5, 2025 8:09:33 AM Sudeeth, Trent

PERFORMANCE SPECIFICATION

I. PLANTS

A. General

1. Live healthy plants free of dead branches and parts
2. Free of disease, insect, injury and damage
3. Unbroken, intact, dense and solid rootballs and containers, without cracks, flat sides or previously repaired damage.
4. Free of girdling roots or rootbound/circling container conditions
5. Plants of consistent in growth habit and healthy character
6. Free of compromising growth conditions such as weak crotch connections, crossed branches, snags and scars
7. Point of origin growing location within 100 miles of project site
8. Graded, standards, caliper, sizes and stock consistent with *ANSI Z60.1, American Standard for Nursery Stock* most current edition
9. Species identified consistent with the most current editions of: *Hortus Third: Concise Dictionary of Plants Cultivated in the United States and Canada*, and *Manual of Woody Plants: Their Identification, Ornamental Characteristics, Culture, Propagation and Uses*
10. All disturbed areas shall be grass seed unless otherwise identified on landscape plans

B. Trees:

1. Deciduous Single Trunk
a. Full, straight and upright with consistent symmetrical natural branching pattern throughout
b. Branching Height-seven (7) feet to lowest branch in two years unless otherwise required by local jurisdiction

2. Deciduous Multi-Trunk
a. Full and upright with straight consistent symmetrical natural branching pattern throughout
b. Canes evenly spaced and of similar growth habit
c. Free of suckers and extraneous branching

3. Evergreen Single-Trunk
a. Full and upright with continuous symmetrical dense natural habit
b. Clear branching height twelve (12) inches above top of rootball
c. Free of suckers and extraneous branching
d. Do not shear or otherwise prune to shape plantings

C. Evergreen and Deciduous Shrubs
1. Full, dense and naturally symmetrical.
2. Consistent with container and/or balled and burlapped size
3. Free of suckers and extraneous branching
4. Do not shear or otherwise prune or shape plantings

D. Evergreen and Deciduous Groundcover
1. Full and dense in pots or flats

E. Perennials and Seasonal Color
1. Full and dense in pots or flats

F. Turf Grass

1. Subgrade
a. Soil Mix-10% Compost, 90% topsoil by volume
b. Preparation-loosen subgrade to a minimum depth of four (4) inches. Remove all non-natural materials including litter, stones, sticks and all items greater than ¾ inch in any dimension
c. Preparation-spread soil mix at a depth of four (4) inches continuously to meet grade elevations shown on drawings. Allow for thickness of sod when applicable

2. Grass Sod
a. Install not longer than twenty-four (24) hours from harvest
b. Grass bed not less than two (2) inches in continuous thickness
c. 100% continuous live sod coverage after first growing season and at end of warranty period.
d. Of uniform non-varying density and continuous texture quality capable of growth and development immediately upon installation. Weed and noxious plant free
e. Stagger installation rows and place aligned parallel to contours
f. Fill joints solidly with planting bed preparation soil
g. Provide anchor pins at twenty-four (24) inches on center for slopes greater than 4:1

3. Grass Seed
a. Mix approved by the Landscape Architect
b. Provide first and new of year seed crops in mix free of weed seeds and deleterious matter
c. Provide seed mix not greater than 15% annual or perennial rye
d. Coverage 85% continuous coverage live stand after first growing season and at end of warranty
e. Replacement or overseeding mixes consistent with original application/installation
f. Provide erosion blankets or other slope retention methods as noted on drawings

II. Materials and Appurtenances

A. Testing
1. Materials testing information/certificates/dated labels shall be current to the project and performed/certified not greater than 120 calendar previous days from current date of submittal for review

B. Top Soil
1. Neutral Ph balance 5.5 -7.5. Friable and containing 2.0-5.0% organic matter by dry weight. Continuously free of non-soil items such as stones, debris, sticks, trash, and deleterious matter greater than ¾ inch in any direction. Clay content shall not exceed 25%.Gravel content shall not exceed 10%. Silt shall not exceed 25%

C. Use of Existing Topsoil
1. Existing topsoil on-site may be repurposed with prior Owner approval. Contractor shall provide soil testing and additive program that demonstrates consistent performance and characteristics and composition as identified herein. Owner shall approve soil testing and soil amendment/additive methods and procedures

D. Shredded Hardwood Mulch
1. 100% organic shredded first year hardwood free of deleterious matter, rock, gravel and weed seed. Neutral Ph balance 5.5-7.5

E. Compost Ph
1. Balanced 5.0-8.5 mature, stable and weed free produced by natural aerobic decomposition. Free of visible contaminants and toxic substances. Not greater than 5% sand, silt, clay or rock by dry weight. Consistent with US-EPA CFR Title 40 Part 503 Standards for Class A biosolids

G. Compost Testing
1. Prior to delivery on-site, the following items are required for approval by Owner: Feedstock percentage in final compost product; statement that the products meets federal, state and local health safety requirements
2. Provide copy of lab analysis less than 120 calendar days old verifying that the product meets described physical requirements; chemical contaminants; Ph; physical contaminants; biological contaminants (including a statement that fecal coliform and salmonella testing and results comply with requirements of the US Composting Council Seal of Testing approval programs

H. Planting Mix
1. 85% topsoil and 15% Compost

I. Fertilizer
1. Granular 10% nitrogen, 6% Phosphorous, 4% Potassium granular form with 50% Nitrogen in organic form. Product and Material Safety Data as approved by Owner

J. Herbicide
1. Product and Material Safety Data as approved by Owner

K. Water
1. Potable only unless otherwise approved by Owner

L. Hardwood Stakes
1. 2 x 2 x 48 inch square of sound hardwood, painted flat black on all sides

M. Tree Ties
1. Villa Non-Abrasive Rubber Tree Ties or approved equal

N. Filter Fabric
1. Mirafi 140-N or approved equal

O. Steel Edging
1. 1/8-inch x 4-inch in full sections. Ryerson, Timec or approved equal with integral stakes. No open corners. Corners shall be formed and trued to compliant angle or welded closed

P. River Stone
1. Locally sourced, river rounded, unfaceted river stone/cobbles.
2. Size shall not exceed 3 total inches in any dimension.
3. Color and texture approved by Owner
4. When placed in concrete or mortar setting bed, tamp to secure and brush clear joints.
5. Concrete or mortar as approved by owner.

III. Execution

A. Site Conditions
1. Inspect site and notify Owner in writing of acceptance with indication that project conditions are acceptable are suitable to proceed with work. Notify Owner of any existing damage and/or other conflicting conditions.
2. Do not proceed with work until unsatisfactory conditions have been satisfactorily remedied. Notify Owner of acceptance prior to commencement of work.
3. Notify Owner in writing of any conditions that may preclude successful completion of work including items such as coordination with other trades, incomplete work, drainage, soil temperature and/or composition, access to storage/work areas, damage to conditions, etc.
4. Notify Owner in writing immediately of any items that may influence work schedule, timing of tasks, materials delivery and/or installation and warranty responsibilities.
5. Coordinate and cooperate with other trades working in and adjacent to work areas. Examine drawings of other trades which show development of the entire project and become familiar with the scope of required work by others.

B. Planting Seasons
Recommended seasons are a general guide based on historical climatic data and typical performance of plantings, and which vary dependent on project-specific environmental conditions. Due to construction schedules, recommended planting seasons may/may not coincide with request(s) for certificate of occupancy for projects. Coordination of planting installation and seasons shall be reviewed with Owner on an individual project basis.

1. Deciduous and Evergreen Trees
Do not install/plant the following trees between September 15 and March 15
1. Oaks (Quercus Sp., Such as Q. rubra, Q. alba, Q. phellos, Q. coccinnea)
2. Dogwood (Cornus Sp.)
3. Sweetgum (Liquidambar Sp.)
4. All Conifers and Evergreens except White Pine (Pinus strobus Sp.)

2. Deciduous and Evergreen Shrubs
a. Install/plant between March 15 and June 15 and/or September 15 and November 30

3. Perennials
a. Install/plant between March 15 and June 15 and/or September 15 and November 30

4. Spring Flowering Bulbs
a. Install/plant between September 15 and December 15

5. Seasonal Annuals
a. Install/plant in season per approved schedule

6. Turf Grass
a. Install/plant between March 15 and May 15 and/or September 15 and November 30
b. Do not install/plant seed or sod turf grass areas when ambient air temperature is below forty (40) degrees Fahrenheit, or forecast for a twelve (12) hour period after completion of work

7. No Plant Installation
a. Do not install plantings or turf grass between June 15 and September 15, without approval by Owner

C. Positioning & Location of Plantings
1. Position plants to show the most-prominent and well-formed face to most-public view
2. Field locate plants and location/spacing/dimension of planting beds on project site prior to beginning installation
3. Verify location of individual plants and plant beds prior to beginning installation. Do not proceed without Owner approval

D. Implementation
1. Pursue work continuously without delay or interruption until completion unless notified otherwise by Owner
2. Provide project submittals ahead of commencement of work. Landscape Architect requires a minimum of ten (10) working days from date of receipt for review of submittals and response to Owner and Contractor. Plan accordingly for procurement of materials
3. Continuously update implementation schedule and notify Owner of progress. Delays related to material availability are not cause for non-completion of scheduled delivery of work
4. Report delays due to weather or site conditions immediately upon finding. Provide recommendation for remedy of schedule delays. Do not work, place or modify frozen soil
5. Report delays due to extraordinary natural or other conditions beyond control of Contractor

E. Clean Up
1. Remove trash, debris and work materials from site prior to request for substantial completion. Thoroughly clean surfaces impacted by work including building, parking areas, roadways, sidewalks, signs, lights, site furnishings, etc.
2. Repair any damage to existing conditions that occurred during execution of work.
3. All clean-up and demobilization procedures shall be performed to satisfaction of the Owner and Landscape Architect.

GENERAL NOTES

1. Plants shall be healthy, vigorous material, free of pests and diseases and are subject to approval/rejection of the Landscape Architect prior to, during and after installation.
2. Contractor shall identify all materials at growing location prior to purchase and submit digital photographs, and source list to the Landscape Architect for approval at a minimum of six (6) calendar weeks prior to installation. Plants not approved shall be resourced and resubmitted.
3. Planting beds and individual tree plantings shall be mulched continuously as specified.
4. Prior to construction the contractor shall be responsible for locating underground utilities and execute work in a manner that avoids damage to utilities during the course of work. Contractor shall be responsible or remedy of any damage to utilities, structures, site appurtenances that occur as a result of landscape related work.
5. Contractor is responsible for verifying quantities shown on documents. Field adjustments shall be approved by Landscape Architect prior to installation. Quantities indicated on drawings are for reference. It is the Contractor's responsibility to ensure full coverage of plants at the indicated spacing.
6. Contractor is responsible for maintenance of all plantings including, but not limited to watering, mowing, edging, spraying, mulching, fertilizing, of plantings, stormwater basin seed areas, and turf grass areas for one (1) calendar year from date of certificate of occupancy. Contractor is responsible for warranty of all plant material for a period of one (1) calendar year from date of certificate of occupancy. Warranty replacement planting shall meet or exceed the original specification identified on drawings. Replacement planting shall extend the same warranty as originally installed materials. Plantings and grass areas shall be flourishing and fully thriving at end of warranty period.
7. Plants identified for replacement by Owner, Landscape Architect shall be replaced immediately by the Contractor unless otherwise agreed upon. Plantings (trees, shrubs, groundcover) subject to replacement by warranty shall exhibit characteristics of 30% dead-per individual plant, non-contributing or disease compromised. Grass areas suitable for acceptance shall demonstrate 85% sustained/consistent and continuous, densely established coverage. Contractor shall perform a site review at end of warranty period and provide the Owner with written documentation of the site, including plant health, warranty replacement items, and conditions that may be influencing plant health. Contractor shall remove from plants and site, all staking and guying material at end of warranty period.
8. Contractor shall comply with all local, state and federal requirements, codes and regulations related to the work undertaken.
9. All material including planting operation appurtenances shall be of domestic origin manufacture and sourced within 100 miles of the project site.
   a. 10. Contractor is responsible for coordination among trades operating on site. Coordination and if necessary resulting modifications to schedules are responsibility of the Contractor.

INVASIVE SPECIES REMOVAL NOTES

1. DURING TREE CLEARING, THE CONTRACTOR WILL REMOVE AND ERADICATE ANY NOXIOUS WEEDS OR INVASIVE SPECIES ON THE ENTIRE PROPERTY.

2. REFER TO THE CONNECTICUT INVASIVE PLANT SPECIES LIST FOR GUIDANCE REGARDING IDENTIFICATION OF ALL INVASIVE SPECIES OF VEGETATION AND NOXIOUS WEEDS. REFER TO CONNECTICUT INVASIVE PLANTS COUNCIL AND CONNECTICUT GENERAL STATUTES §22A-381A THROUGH §22A-381D.

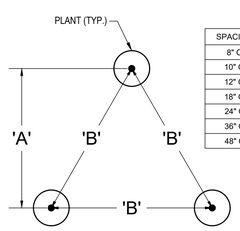
3. INVASIVE SPECIES REMOVAL SHALL OCCUR AT TIME OF TREE CLEARING. SIX (6) MONTHS AFTER INITIAL INVASIVE SPECIES CLEARING THE SITE WILL BE EVALUATED AGAIN FOR ANY NECESSARY INVASIVE CLEARING.

4. ALL INVASIVE SPECIES CLEARING SHALL INCLUDE FULL REMOVAL OF HERBACEOUS AND WOODY VEGETATION, ROOT MATERIAL, AND ANY NEW GROWTH OR SEEDLINGS. ALL REMOVAL SHALL BE CONDUCTED BY MECHANICAL OR CHEMICAL MEANS AS PERMITTED BY THE TOWN OF GRANBY OR STATE AND FEDERAL LAW.

5. ALL INVASIVE SPECIES CLEARING SHOULD BE CONDUCTED USING PROPER PERSONAL PROTECTIVE EQUIPMENT TO PROTECT AGAINST ANY POTENTIAL BODILY HARM FROM NOXIOUS WEED EXPOSURE AS REQUIRED BY STATE AND FEDERAL LAW.

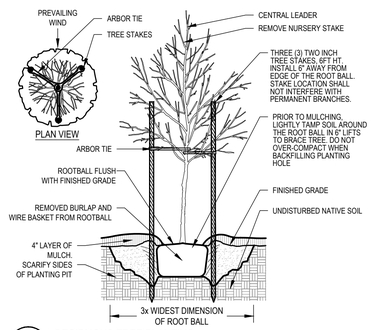
6. THE SITE SHALL REMAIN FREE OF INVASIVE VEGETATIVE SPECIES THROUGHOUT 2-FULL GROWING SEASONS TO ENSURE RE-ESTABLISHMENT FROM INVASIVE SEED STOCK OR PLANT PARTS DOES NOT OCCUR. A FINAL INSPECTION SHALL BE REQUIRED BY THE IWWC OR THEIR DESIGNEE

NOTE: BIORETENTION PLANTINGS (GRASSES AND PERENNIALS) TO BE INSTALLED WITH TRIANGULAR SPACING AND RANDOMLY DISTRIBUTED ACROSS BASIN



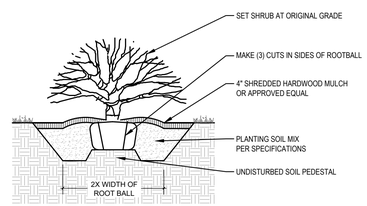
SPACING 'B'	ROW 'A'
8" O.C.	6.9" O.C.
10" O.C.	8.6" O.C.
12" O.C.	10.4" O.C.
18" O.C.	15.6" O.C.
24" O.C.	20.8" O.C.
36" O.C.	30.0" O.C.
48" O.C.	31.5" O.C.

1 GROUNDCOVER SPACING
NOT TO SCALE



3 DECIDUOUS TREE PLANTING
NOT TO SCALE

NOTE: SHRUBS INSTALLED IN CONTINUOUS SUCCESSION SHALL BE PLACED IN ONE CONTINUOUS BED



5 SHRUB PLANTING
NOT TO SCALE

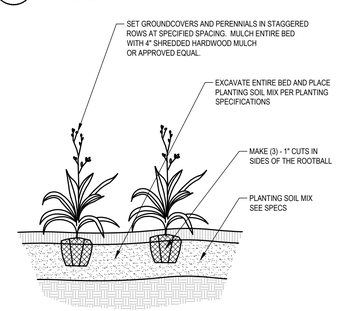
PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING	ROOT
DECIDUOUS TREES					
CA	5	Carpinus caroliniana	American Hornbeam	2" Cal. DBH	B&B
NS	4	Nyssa sylvatica	Sour Gum	2" Cal. DBH	B&B
TB	3	Tilia americana 'Boulevard'	Boulevard American Linden	2" Cal. DBH	B&B
EVERGREEN TREES					
CT	5	Chamaecyparis thyoides	Atlantic White Cypress	6` Ht.	B&B
IA	21	Ilex opaca	American Holly	6` Ht.	B&B
ORNAMENTAL TREES					
AB	6	Amelanchier canadensis 'Autumn Brilliance'	Canadian Serviceberry	2" Cal. DBH	B&B
CC	3	Cercis canadensis	Eastern Redbud	2" Cal. DBH	B&B
MS	3	Magnolia virginiana	Sweetbay Magnolia	2" Cal. DBH	B&B

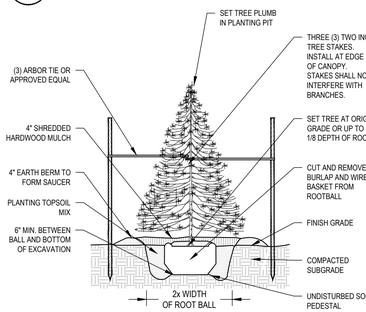
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING	CONTAINER
DECIDUOUS SHRUBS					
AMA	5	Aronia melanocarpa `Autumn Magic`	Autumn Magic Black Chokeberry	24" - 36" ht.	10 gal.
CAN	3	Ceanothus americanus	New Jersey Tea	24" - 36" ht.	3 gal.
CSR	5	Cornus sericea	Red Twig Dogwood	24" - 36" ht.	10 gal.
HVW	11	Hamamelis virginiana	Common Witch Hazel	5` Ht.	CONT.
HQH	15	Hydrangea quercifolia	Oaklleaf Hydrangea	24" - 36" ht.	10 gal.
EVERGREEN SHRUBS					
IGH	42	Ilex glabra	Inkberry Holly	24" - 36" ht.	10 gal.
RMC	29	Rhododendron maximum 'Compacta'	Compact Rosebay Rhododendron	24" - 36" ht.	10 gal.

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING	CONTAINER	SPACING
SHRUB AREAS							
		963 sf	BIORETENTION BASIN MATRIX PLANTING				
	AGB	120	Andropogon gerardii	Big Bluestem	---	1 gal.	12" O.C.
	ASM	120	Asclepias incarnata	Swamp Milkweed	---	1 gal.	12" O.C.
	CST	120	Carex stricta	Tussock Sedge	---	1 gal.	12" O.C.
	JER	120	Juncus effusus	Soft Rush	---	1 gal.	12" O.C.
	LCF	130	Lobelia cardinalis	Cardinal Flower	---	1 gal.	12" O.C.
	PVS	130	Panicum virgatum	Switch Grass	---	1 gal.	12" O.C.
	PDW	130	Phlox divaricata	Woodland Phlox	---	1 gal.	12" O.C.
	VHB	130	Verbena hastata	Blue Vervain	---	1 gal.	12" O.C.

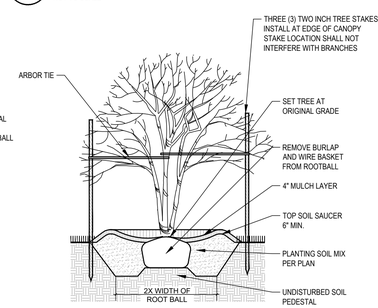
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE / TYPE	QTY / RATE
GROUND COVERS						
	E136	24,770 sf	ERNST-136	ERNST SEED THREE-WAY TALL FESCUE MIX	SEED	PER MANUFACTURER
	E180	5,098 sf	ERNST-180	ERNST RAIN GARDEN SEED MIX	SEED	PER MANUFACTURER



2 GROUNDCOVER PLANTING
NOT TO SCALE



4 EVERGREEN TREE PLANTING
NOT TO SCALE



6 MULTI TRUNK TREE PLANTING
NOT TO SCALE

ERNST SEEDS

Ernst Conservation Seeds
8884 Mercer Pike
Meadville, PA 16335
(800) 873-3321 Fax (814) 336-5191
www.ernstseed.com

Date: June 24, 2025

Rain Garden Mix - ERNMX-180

	Botanical Name	Common Name	Price/Lb
25.60 %	*Schizachyrium scoparium, Fort Indiantown Gap-PA Ecotype*	Little Bluestem, Fort Indiantown Gap-PA Ecotype	18.06
20.00 %	*Elymus virginicus, Madison-NY Ecotype*	Virginia Wildrye, Madison-NY Ecotype	11.22
9.00 %	*Carex vulpinoidea, PA Ecotype*	Fox Sedge, PA Ecotype	33.80
8.00 %	*Echinacea purpurea*	Purple Coneflower	46.80
7.80 %	*Chasmanthium latifolium, WV Ecotype*	River Oats, WV Ecotype	104.00
6.80 %	*Panicum rigidulum, PA Ecotype*	Redtop Panicgrass, PA Ecotype	78.00
3.00 %	*Coreopsis lanceolata*	Lanceleaf Coreopsis	31.20
3.00 %	*Rudbeckia hirta*	Blackeyed Susan	33.80
2.50 %	*Verbena hastata, PA Ecotype*	Blue Vervain, PA Ecotype	41.60
2.00 %	*Chamaecrista fasciculata, PA Ecotype*	Partridge Pea, PA Ecotype	13.00
2.00 %	*Panicum clandestinum, Tioga*	Deertongue, Tioga	23.87
1.50 %	*Asclepias incarnata, PA Ecotype*	Swamp Milkweed, PA Ecotype	192.40
1.50 %	*Heliopsis helianthoides, PA Ecotype*	Oxeye Sunflower, PA Ecotype	36.40
1.30 %	*Penstemon digitalis, PA Ecotype*	Tall White Beardtongue, PA Ecotype	182.00
1.20 %	*Zizia aurea, PA Ecotype*	Golden Alexanders, PA Ecotype	78.00
0.70 %	*Pycnanthemum tenuifolium*	Narrowleaf Mountainmint	260.00
0.50 %	*Aster novae-angliae*	New England Aster	390.00
0.50 %	*Baptisia australis, Southern WV Ecotype*	Blue False Indigo, Southern WV Ecotype	104.00
0.50 %	*Juncus effusus*	Soft Rush	52.00
0.50 %	*Juncus tenuis, PA Ecotype*	Path Rush, PA Ecotype	52.00
0.50 %	*Senna hebecarpa, VA & WV Ecotype*	Wild Senna, VA & WV Ecotype	31.20
0.50 %	*Vernonia noveboracensis, PA Ecotype*	New York Ironweed, PA Ecotype	286.00
0.30 %	*Monarda fistulosa, Fort Indiantown Gap-PA Ecotype*	Wild Bergamot, Fort Indiantown Gap-PA Ecotype	104.00
0.20 %	*Aster latericiflorus*	Calico Aster	364.00
0.20 %	*Solidago nemoralis, PA Ecotype*	Gray Goldenrod, PA Ecotype	312.00
0.10 %	*Aster pilosus, PA Ecotype*	Heath Aster, PA Ecotype	286.00
0.10 %	*Eupatorium perfoliatum, PA Ecotype*	Boneset, PA Ecotype	208.00
0.10 %	*Mimulus ringens, PA Ecotype*	Square Stemmed Monkeyflower, PA Ecotype	260.00
0.10 %	*Solidago juncea, PA Ecotype*	Early Goldenrod, PA Ecotype	364.00
100.00 %		**Mix Price/Lb Bulk:**	**$46.71**

Seeding Rate: 20 lb per acre with a cover crop. For sites that drain within 24 hours of a rain event use one of the following cover crops:Oats (1 Jan to 31 Jul; 30 lbs/acre), Japanese Millet (1 May to 31 Aug; 10 lbs/acre), or grain rye (1 Aug to 31 Dec; 30 lbs/acre).

Grasses & Grass-like Species - Herbaceous Perennial; Herbaceous Flowering Species - Herbaceous Perennial; Stormwater Management; Uplands & Meadows

The native perennial forbs and grasses provide food and cover for rain garden biodiversity. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Price quotes guaranteed for 30 days.
All prices are FOB Meadville, PA.
Please check our web site at www.ernstseed.com
for current pricing when placing orders.

NO.	REVISIONS	DATE	BY
2	IWWC COMMENTS REVISION	08/05/25	KH
1	IWWC COMMENTS REVISION	07/01/25	KH

FOR PERMIT REVIEW

Kimley»Horn
© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
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WHITE PLAINS, NY 10601
PHONE: 914-368-9000
WWW.KIMLEY-HORN.COM

AutoZone

STATE OF CONNECTICUT — FRANK I. I. MADER — No. 1716 — LICENSED LANDSCAPE ARCHITECT
08/05/2025

KHA PROJECT 112703002
DATE 05/13/2025
SCALE: AS SHOWN
DESIGNED BY: TS
DRAWN BY: AMA
CHECKED BY: TS

LANDSCAPE NOTES AND DETAILS

AUTOZONE GRANBY
8 E GRANBY ROAD
GRANBY, CT 06035

TOWN OF GRANBY CONNECTICUT

SHEET NUMBER
L-1.1

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Saved Monday, August 4, 2025 12:00:37 PM FRANK.MADER Plotted Tuesday, August 5, 2025 8:09:34 AM Sudbeth, Trent