

AGENDA
Regular Hybrid Meeting
Town of Granby
Inland Wetlands and Watercourses Commission
Wednesday, September 10, 2025, at 7:00 pm
Town Hall Meeting Room

Live Stream Under “Shows and Spotlight”: www.gctv16.org

Zoom: <https://us02web.zoom.us/j/89824292534?pwd=HnqcrKJMoYnDofPHapam9tIrGehkO8.1>

Call In: 929-205-6099

Meeting ID: 898 2429 2534

Passcode: 083447

1. Call to Order
2. Action on the minutes of August 13, 2025
3. Permit Requests
 - a. 215 Salmon Brook Street – Town of Granby – Permit request to install a walkway/ramp from the Salmon Brook Park House to the bandshell with an associated concrete block wall within a regulated area. (Continued from 8/13/25)
 - b. 230 Granville Road – N. LaBrecque – Permit request to conduct repairs to an existing driveway and natural stone retaining walls due to erosion within a regulated area. (To be Received)
4. Agent Report and Correspondence
 - a. 10R Eric Drive – R. Broderick – Permit request to modify an existing permit to construct a 10’x 45’ overhang addition of an existing 1,800 square foot Morton building within a regulated area. Authorized Agent approval 08/19/25.
 - b. Failed Motion to Approve: 8 East Granby Road – C. Peeler c/o AutoZone, Inc. – Permit application to demolish existing structures and construct a 6,796 sq. ft. commercial building and other associated site work within a regulated area.
 - c. CRCOG Fall Housing Workshops: 9/24 and 10/16
5. Commissioner Reports and Correspondence
6. Adjourn

Please note: The Town of Granby invites any resident who wishes to provide materials to this Commission to provide them to the Office of Community Development by noon on the prior Thursday of the scheduled meeting. In the event you are unable to meet that deadline but still wish to provide the Commission with materials, the Town of Granby respectfully asks that you provide sufficient copies of your materials to the Office prior to the meeting so the materials may be distributed to the Commission. Thank you in advance for your cooperation.

MEETING MINUTES
Town of Granby
Inland Wetlands and Watercourses Commission
Wednesday, August 13, 2025, at 7:00 pm

PRESENT: Nicholas Dethlefsen, Sue Okie, John Laudati, Fred Jones, Aurelle Locke, and Vickie Dirienzo

ALSO PRESENT: IWWC Agent Kate Bednaz and Land Use Coordinator Renee Deltenre

1. Call to Order

Chair Laudati called the meeting to order at 7:00 p.m.

2. Action on the minutes of July 9, 2025

ON A MOTION by A. Locke seconded by V. Dirienzo, the Commission voted 6-0-0 to approve the July 9, 2025, minutes as presented.

3. Permit Requests

a. 129 Barn Door Hills Road – D. Weiss – Permit request to install a ground-mount solar array with associated electrical conduit within a regulated area.

Applicant Damon Weiss of JD Solar Solutions was present to discuss the application and address the supplemental materials that were submitted since the last meeting. The applicant is looking to install a ground mount solar array just over 1,000 square feet in size and stand 1.5' off the ground in the front and 8.5-9' off the ground in the back. The system will consist of 40 panels, utilize six helical piles (ground screws) to secure it to the ground, and approximately 590' of underground conduit within a PVC casing to the house. Per staff's recommendation, the application has been amended to outline stabilization and restoration of the site, erosion and sediment control measures, ground cover maintenance, and a temporary soil stockpile location.

ON A MOTION by V. Dirienzo seconded by S. Okie, the Commission voted to 6-0-0 to approve the application and draft approval letter as presented.

b. 175 Salmon Brook Street – A. Schultz c/o the Friends of Granby Wildflower Meadow – Permit request to construct an access drive and parking lot within a regulated area.

Applicant Aubrey Schulz of the Friends of Granby Wildflower Meadow was present to discuss the application. The property is owned by the Town of Granby and there is an agreement with the Friends of Granby Wildflower Meadow, which allows them to use the property to establish a wildflower meadow/pollinator pathway. Over the past several years, the group has worked on plantings in the field and on the removal of invasive species, and eventually they would like to install educational markers and mowed pathways with benches. To accommodate future use, as well as members of the group who currently maintain the field, they would like to install a parking area at the north end of the property. As the proposed activities are within the upland review area, it was recommended that the application be delegated to the agent for review and approval.

ON A MOTION by S. Okie seconded by V. Dirienzo, the Commission voted 6-0-0 to delegate the application to the IWWC Agent for review and approval.

- c. **17 Harness Way – J. Scanlan – Permit request to construct an 880 sq. ft. multi-purpose sports court within a regulated area.**

The applicant proposes to construct an 880 square foot asphalt multi-purpose court to the rear of the house for personal use. As shown on the application materials, a proposed fence is shown to separate the court from the nearest property line to the west. The proposed location is currently maintained lawn, and all topsoil will be taken off-site. As noted by staff, the application shall be updated to indicate erosion and sedimentation control measures. As the proposed activity is within the upland review area, it was recommended that the application be delegated to the agent for review and approval.

ON A MOTION by S. Okie seconded by F. Jones, the Commission voted 6-0-0 to delegate the application to the IWWC Agent for review and approval.

- d. **15 Indian Hill Drive – Vernon Poolman – Permit request to construct a 648 sq. ft. inground swimming pool and associated site improvements within a regulated area.**

The applicant proposes to construct an inground swimming pool measuring 18' by 36' (648 square foot total) to the rear of the house within the upland review area. The proposed location is currently maintained lawn where an above-ground pool once existed. It should be noted that the online wetland mapping is more extensive than what is shown on the plot plan, which was delineated by a soil scientist at the time the lot was approved. Staff indicated that the applicant would remove invasives as necessary and recommended that the application be delegated to the agent for review and approval.

ON A MOTION by F. Jones seconded by V. Dirienzo, the Commission voted 6-0-0 to delegate the application to the IWWC Agent for review and approval.

- e. **215 Salmon Brook Street – Town of Granby – Permit request to install a walkway/ramp from the Salmon Brook Park House to the bandshell with an associated concrete block wall within a regulated area.**

The Town of Granby proposes to construct a walking path and ramp from the Salmon Brook Park House to the bandshell, which is located within a regulated area. This project would enable easier access to the bandshell, as currently there is no sidewalk extending to the bandshell. Furthermore, the bandshell is not at grade so to access it, there is a high step up. The Commission received the application and continued it to the next regular meeting.

4. Request for Review

- a. **253 Loomis Street – D. Emery – RFR to conduct repairs to an existing footbridge over Dismal Brook within a regulated area.**

Applicant Dave Emery of the Granby Land Trust was present to discuss the application. He is seeking permission to repair an existing footbridge over Dismal Brook that was damaged by the construction of a beaver dam, as well as heavy erosion. The existing sonotubes located at the abutments will be repaired by hand and a mini excavator will be

utilized from the bridge. Under the regulations, this may be considered an as-of-right activity; however, since the proposed work is directly within the watercourse, the Chair or Vice Chair may sign the application.

ON A MOTION by S. Okie seconded by V. Dirienzo, the Commission voted 6-0-0 to approve the application as an as-of-right activity to be signed by the Commission Chair.

J. Laudati recused himself from all proceedings regarding this application; however, received permission from the Commission and applicant to continue to run the meeting.

5. Public Hearings

- a. **8 East Granby Road – C. Peeler c/o AutoZone, Inc. – Permit application to demolish existing structures and construct a 6,796 sq. ft. commercial building and other associated site work within a regulated area.**

Applicant representative Trent Suddeth of Kimley Horn was present to discuss the application and answer any questions the Commission had. Since the last meeting, supplemental material has been provided and plans have been revised to address comments from the Town Engineer and Wetlands Agent. AutoZone's proposed 6,796 square foot commercial retail building will sell automotive parts and products and offer electric diagnostics only. No repair services will occur. There will be 8 to 12 employees throughout the various shifts and AutoZone's regional maintenance team will conduct a site visit every two months.

Staff will be trained in spill prevention and cleanup; however, remediation companies will be retained immediately if beyond staff's training. T. Suddeth discussed the proposed erosion and sediment control measures, as well as the stormwater management plan, which was designed based on a 100-year storm event. The parking lot will consist of 41 spaces with an underground detention basin and bio-retention basin that flows to the north. All treatment will occur on-site. Wetlands Agent Kate Bednaz stated that all her comments and the Town Engineer's comments have been addressed. It is her professional opinion that the proposed design for the project will have no impact on the wetlands or watercourse in the surrounding area.

Public Comment

Reinhard Maier, 138 Day Street, discussed the documentation he provided in advance of the meeting, which outlined concerns regarding off-site discharge, a spill management program, Federal and State regulations, and case law.

Robert Flanigan, 24 Woodcliff Drive, discussed the documentation he provided in advance of the meeting, as well as concerns regarding maintenance of the detention basins, spill prevention and cleanup, lack of an environmental impact study, and battery storage.

Maureen Eberly, 37 Silkey Road, provided documentation during the public hearing and expressed concerns regarding potential environmental impacts.

John Morrone, 15 Maple Hill Drive, stated concerns regarding AutoZone's spill management program, staff qualifications, adverse impacts, and his opposition to the application.

Toni Flanigan, 24 Woodcliff Drive (via zoom), had environmental concerns regarding the products that would be sold and how they are stored, as well as run-off from the site onto Hungary Road.

ON A MOTION by A. Locke seconded by V. Dirienzo, the Commission voted 5-0-1 to close the public hearing at 8:31 p.m.

ON A MOTION by A. Locke seconded by V. Dirienzo, the Commission voted 2-3-1 to approve the application and draft approval letter as presented. N. Dethlefsen, F. Jones, and S. Okie opposed. J. Laudati abstained.

6. Agent Report and Correspondence

K. Bednaz has been in contact with Burkentine Representative Thomas Kalista regarding the construction debris and trash located on and off-site at Station 280. According to Mr. Kalista, a clean-up crew will be sent to the site and all construction shall be completed within a month.

7. Commissioner Reports and Correspondence

None

8. Adjourn

ON A MOTION by F. Jones seconded by N. Dethlefsen, the Commission voted 6-0-0 to adjourn the meeting at 8:45 p.m.

Respectfully submitted,

Renee Deltenre
Land Use Coordinator

TOWN OF GRANBY

MEMORANDUM

TO: Inland Wetlands and Watercourses Commission

FROM: Abby Kenyon, Director of Community Development

DATE: September 3, 2025

RE: Overview and Status of IWWC Applications

The following provides an overview and status of applications pending before the IWWC.

Permit Requests

215 Salmon Brook Street – Town of Granby – Permit request to install an ADA compliant walkway/ramp from the Salmon Brook Park House to the bandshell with an associated concrete block wall within a regulated area. (Received 8/13/2025)

The Town of Granby proposes to construct a walking path and ramp from the Salmon Brook Park House to the bandshell. This project would enable easier access to the bandshell, as currently there is no sidewalk extending to the bandshell. Furthermore, the bandshell is not at grade so to access it, there is a high step up.

The proposed work is within a regulated area. The Commission may act on this application at the September 10, 2025 meeting. A draft approval letter is included in the meeting packet for consideration.

230 Granville Road – N. LaBrecque - Permit request to conduct repairs to an existing driveway and natural stone retaining walls due to erosion within a regulated area. (To be received 9/10/2025)

The applicant proposes to repair an existing driveway. This will include changes to grading and the construction of a retaining wall. This work is primarily needed to address runoff and drainage issues on the property. The proposed work is within a regulated area as shown on the online wetlands map, therefore a permit is required.

The applicant will be at the meeting to explain the proposed work and answer any questions the Commission may have. The Commission can further consider and take action on this application at their meeting on October 8, 2025.

Agent Report and Correspondence

10R Eric Drive – R. Broderick – Permit request to modify an existing permit to construct a 10'x 45' overhang addition of an existing 1,800 square foot Morton building within a regulated area. Authorized Agent approval 08/19/25.

The applicant previously received approval to construct an 1,800 square foot detached garage on his property. An application was recently submitted to add a lean-to to this garage that would extend 10 feet from the building and run 45 feet in length. This construction is within the upland review area. The Agent reviewed the application and signed off on it on August 19, 2025. No Commission action is needed on this.

TOWN OF GRANBY
Incorporated 1786
15 North Granby Road
Granby, Connecticut 06035-2102

September 10, 2025

Town of Granby
15 North Granby Road
Granby, CT 06035

RE: 215 Salmon Brook Street – Town of Granby – Permit request to install a walkway/ramp from the Salmon Brook Park House to the bandshell with an associated concrete block wall within a regulated area.

Dear Town of Granby:

Please be advised that on September 10, 2025, the Inland Wetlands and Watercourses Commission (IWWC) approved the subject application as referenced above with the following conditions:

The following are the conditions of this approval.

1. The Office of Community Development shall be notified at least 48 hours prior to the start of any construction activities.
2. Town staff shall inspect installed erosion controls prior to the start of any work that results in earth disturbance activities, this includes, but is not limited to, grubbing and stump removal.
3. All work shall be in conformance with this approval and application materials as submitted for this Permit Approval. Any modifications to the approved plans must be reviewed and approved by the Granby Inland Wetlands and Watercourses Commission or their designated Agent.
4. No materials may be deposited outside of the work area, on the project site without written approval from the IWWC or their designated Agent.
5. Erosion controls shall be maintained until the site has achieved permanent stabilization. Permanent stabilization is defined as 70% permanent vegetation covering over 90% of the area. A stockpile of erosion controls shall remain on site to be installed, as necessary. The IWWC shall be notified in writing at least 48 hours in advance of erosion controls being removed.
6. Excavated soils shall not be brought off-property without the notification and approval of the Office of Community Development. The applicant shall supply the destination in writing for any excavated soil to be removed from the property.
7. This permit is valid for a period of 5-years from the date of issuance.
8. Upon completion of construction and site stabilization, the IWWC shall be notified in writing that work is complete, and a final inspection may be completed at that time.

If you have any questions, please call me at your earliest convenience.

Sincerely,

John Laudati
Granby IWWC Chairman



TOWN OF GRANBY
Office of Community Development, Inland Wetlands and Watercourses Commission
Telephone: (860) 844-5318, www.granby-ct.gov

RECEIVED
 AUG 06 2025
 Granby Building
 Department

Application for Inland Wetlands & Watercourses Activity

Application For: ☒ Permit ☐ Extension ☐ Modification (Existing Permit/Application #): _____
☐ Wetlands Map Amend. ☐ Request for Review ☐ Other: _____

Property Location and Nearest Intersection: 215 Salmon Brook Street
 Size of Parcel: 116± ac Zone: R30 Map/Lot: 4-42/24/87 Current Use: Town Park

Applicant's Name: Town of Granby
 Complete Address: 15 N Granby Rd
 Daytime Phone: 860-844-5318 Evening Phone: _____ Fax: _____
 Email: _____

Owner's Name: Town of Granby
If the owner is a corporation, or other non-individual entity, include the primary contact information
 Complete Address: Same
 Phone Daytime Phone: _____ Evening Phone: _____ Fax: _____

Applicant's Representative: Atty. Kenyon - Director of Community Development
 Complete Address: 15 N Granby Rd Granby CT
 Daytime Phone: 860-844-5319 Evening Phone: _____ Fax: _____

*****PLEASE ATTACH ADDITIONAL SHEET IF NECESSARY*****

Project Name and Brief Description (i.e. residential, agricultural, commercial, number of lots, etc.): _____
Bandshell sidewalk - see attached

Is any portion of the property located within 500 feet of an adjoining municipality? No
 Wetlands Located on Property (in square feet (sq. ft.)): 21643.00 Wetlands to be impacted (sq. ft.): 0
 Watercourses Located on Property? Y Name or Type of Watercourse: West Branch Salmon Brook
 Are Proposed Activities Located within the 100-Year Floodplain? No Floodway? No
 Are there slopes with grades in excess of 15% located on the property? Yes
 Do Proposed Activities Require Review by the PZC? No

*****SEE APPLICATION CHECKLIST ON BACK for MINIMUM APPLICATION REQUIREMENTS*****

The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Granby, Inland Wetlands & Watercourses Commission, and its agent (s) to inspect the subject land, at reasonable times, during the pendency of an application and for the life of the permit.

Applicant's Signature: _____ Date: _____
 Owner's Signature: [Signature] Date: 8/6/25

FOR OFFICE USE	
Application #: <u>n/a</u>	Date Submitted: <u>8/6/25</u>
Fee amt./Check or Cash: <u>n/a</u>	Date of Receipt: <u>8/13/25</u>
Agent Ruling: _____	Date Approved/Denied: _____

See Reverse Side for Conditions of Approval or Reason for Denial

Project Narrative

The proposed project consists of the installation of a walkway/ramp extending from the Salmon Brook Park House north to the bandshell.

The Town of Granby received a donation from the Valley Brook Community Church to install a ramp to provide easier access to the bandshell. After analyzing and exploring several options, it was determined that a walk that extends from the northeast corner of the building, running to the southwest corner of the bandshell, and then turning and running parallel to the bandshell (ramping up slightly) to provide access at the southeast corner of the bandshell, is the preferred location and layout. Refer to the aerial below:



The area of the proposed walk would be excavated (approximately 475 square feet) and a compacted aggregate base (8-10") added. Pavers would then be laid on this base to form a 5-foot wide walk. Once the pavers are set, polymeric sand would be swept into all paver joints and edging installed to ensure stability. As the walk approaches the front of the bandshell and ramps up, a new concrete block wall, approximately 16 feet in length would be installed. A railing would be installed on top of the completed block wall. Once all work is complete, the disturbed area would be topsoiled and seeded.

As shown on the attached plan, during construction, silt fence would be installed around the disturbed area until it is reestablished and stabilized.

There are alluvial soils therefore the project is in a regulated area and permitting is required.



SECTION A-A

ELEVATION

NOTES:

1. WALL TO BE A VERSA-LOK STANDARD UNIT UNREINFORCED WALL WITH A CAP UNIT, OR EQUAL.
2. DO NOT MIX UNITS FROM DIFFERENT VENDORS ON SAME WALL.
3. BLOCKS TO BE PINNED TOGETHER.
4. PIN NEW BLOCK WALL TO EXISTING CONCRETE SLAB.
5. TOP CAP UNIT TO BE GLUED TO BLOCKS WITH ADHESIVE MEETING MANUFACTURERS RECOMMENDATIONS
6. UNLESS OTHERWISE SPECIFIED, ALL RAMP POSTS, HANDRAILS, AND RETURNS SHALL BE SCHEDULE 40 GALVANIZED STEEL.

METAL GUIDE RAIL FOR CONC. WALK WITH WALL DETAIL

(NOT TO SCALE)

PLAN

SECTION A-A

SECTION B-E

CONCRETE WALK DETAIL

(NOT TO SCALE)

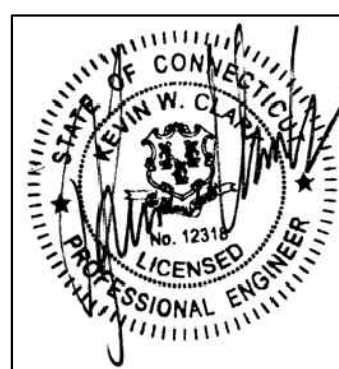
UTILITY WARNING

The locations of existing underground utilities are shown in an approximate way only and have not been independently verified by the Owner or its representative. Utilities not shown on this plan may exist. The Contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damage which might be occasioned by the Contractor's failure to exactly locate and preserve any and all underground utilities. The Contractor shall use CALL BEFORE YOU DIG, 811, or contact CBVD.com prior to any construction activity.


SITE PLAN
SCALE: 1"=10'

CONC. SIDEWALK JOINT AT EXIST. BUILDING OR SIDEWALK DETAIL

(NOT TO SCALE)



NO.	DATE	DESCRIPTION
REVISIONS		

<p align="center">TOWN OF GRANBY PLAN SHOWING PROPOSED SIDEWALK SALMON BROOK PARK 215 SALMON BROOK STREET GRANBY, CONNECTICUT</p>			
<p>SCALE: 1"=10'</p>	<p>DATE: JUNE 30, 2025</p>	<p>JOB #: 2025.G05</p>	<p>SHEET: 1 OF 1</p>
<div>  <div> <p align="center">TOWN OF GRANBY ENGINEERING DEPARTMENT</p> <p align="center">GRANBY TOWN HALL 15 NORTH GRANBY ROAD GRANBY, CONNECTICUT 06035</p> <p align="center">PHONE: (860) 844-5318 FAX: (860) 844-5325</p> </div> </div>			

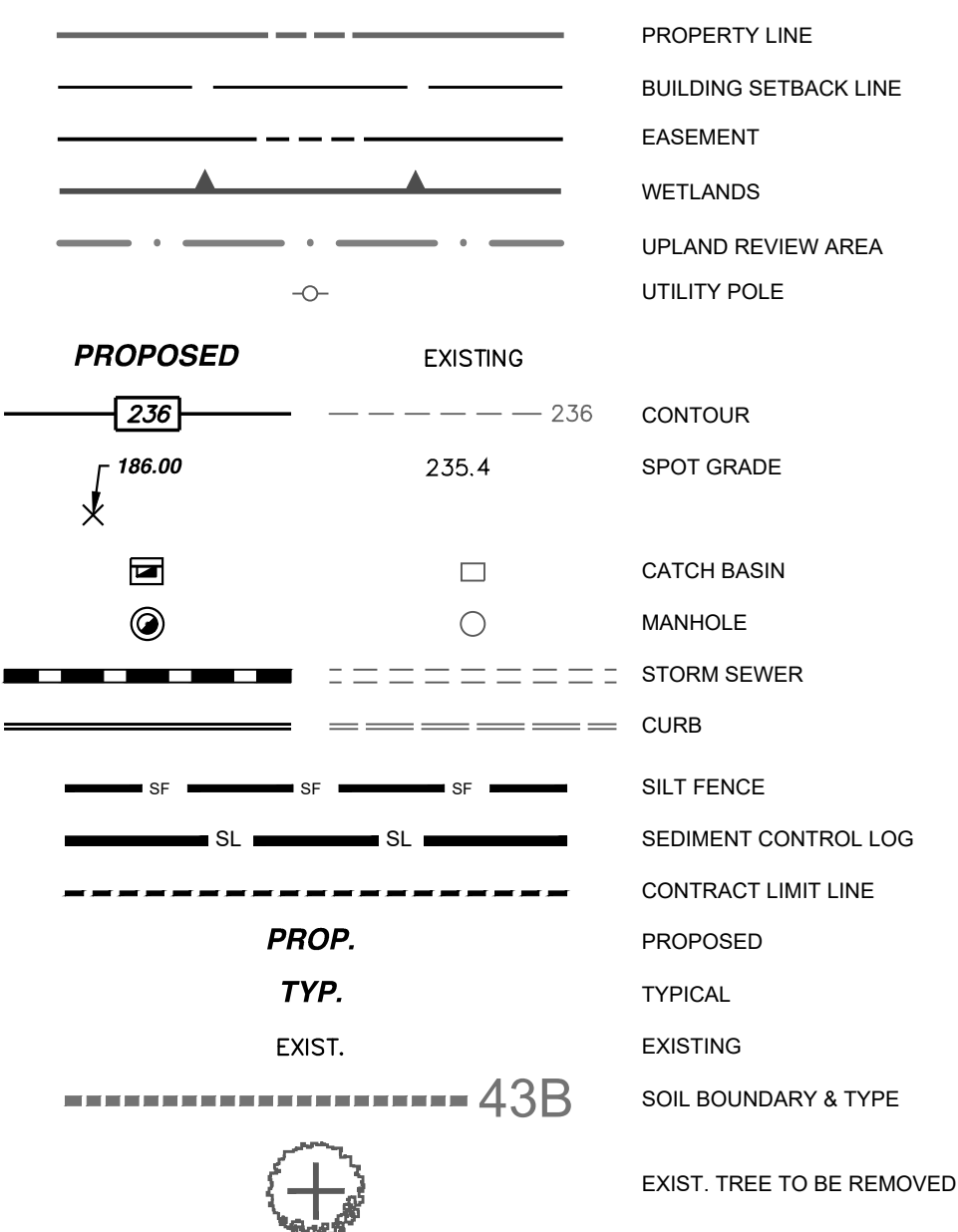
GENERAL NOTES:

1. THE CONTRACTOR SHALL USE "CALL BEFORE YOU DIG, 1-800-922-4455" PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. CONSTRUCTION METHODS AND MATERIALS, SHALL CONFORM TO THE REGULATIONS OF CTDOT FORM 819 AS AMENDED.
3. THE CONTRACTOR SHALL VERIFY ALL LINES AND GRADES PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES, ETC.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY AND SHALL COMPLY WITH ALL FEDERAL AND STATE OCCUPATIONAL SAFETY AND HEALTH AUTHORITY (O.S.H.A.) REGULATIONS.
6. THE CONTRACTOR SHALL PROVIDE, INSTALL, MAINTAIN AND REMOVE ALL SHORING, BRACING AND OTHER ITEMS NECESSARY TO PROTECT BANKS OF EXCAVATIONS AND PREVENT CAVE-INS AND DISPLACEMENT OF ADJOINING GROUND. SHORING AND BRACING SHALL BE ENTIRELY INDEPENDENT OF FOOTINGS.
7. THE CONTRACTOR SHALL KEEP TRENCHES FREE FROM STANDING WATER AT ALL TIMES UNTIL PERMANENT WORK IS IN PLACE. ALL NECESSARY WELL-POINTING AND/OR PUMPING SHALL BE PERFORMED AND MAINTAINED AT THE CONTRACTOR'S EXPENSE.
6. ALL EXPOSED CURB ENDS ARE TO BE TAPERED.
7. SAW CUT EXISTING CURBS AND PAVEMENT WHERE THEY MEET PROPOSED CURBS OR PAVEMENT.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO "2024, CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION," AS AMENDED.
2. THE SEDIMENT AND EROSION CONTROL NOTES AND DETAILS INCLUDED IN THE CONSTRUCTION DOCUMENTS MAY REFER TO INFORMATION LOCATED IN THE GUIDELINES. THE CONTRACTOR SHALL HAVE A COPY OF THE GUIDELINES AVAILABLE FOR REFERENCE DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE NEARBY STREETS OF ANY SEDIMENT OR CONSTRUCTION DEBRIS ORIGINATING FROM THIS PROJECT.
5. IF EXCESS MATERIAL FROM THE PROPOSED CONSTRUCTION IS TO BE REMOVED FROM THE SITE, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ITS DEPOSITION.
6. THE CONSTRUCTION TRENCH, IF NOTED, AND THE SEDIMENT CONTROLS LOCATED AT THE PERIMETER OF THE PROPOSED EDGE OF DISTURBANCE(S), SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY. INSTALLATION SHALL BE AS PER THE MANUFACTURERS' INSTRUCTIONS AND AS DETAILED ON THESE PLANS.
7. ALL STORM DRAINAGE INLETS ARE TO BE PROTECTED FROM SEDIMENT INTRUSION. SEDIMENT SHALL BE REMOVED FROM ALL DRAINAGE STRUCTURES, PIPE SYSTEMS, OUTLET STRUCTURES, RIP RAP, AND CHANNELS.
8. ALL STOCKPILES OF SOIL ARE TO BE ENCRUSTED WITH SILT FENCE.
9. THE CONTRACTOR SHALL EMPLOY TEMPORARY EROSION CONTROL MEASURES SUCH AS, SILT FENCE, HAY BALES, STONE BARRIERS, EROSION CONTROL MATTING, SEDIMENT TRAPS, DEWATERING BASINS, AND TEMPORARY STORMWATER DIVERSIONS, AS NECESSARY DURING CONSTRUCTION, TO PROTECT THE SITE AND ADJACENT PROPERTIES FROM EROSION.
10. ALL LOCATIONS, INCLUDING SWALES, LAWN AREAS, AND STORM SEWER DISCHARGE POINTS, THAT ARE TO RECEIVE A CONCENTRATED FLOW OF STORMWATER, ORIGINATING FROM SURFACE FLOW OR STORM SEWER SYSTEMS, SHALL BE STABILIZED AND PROTECTED FROM EROSION PRIOR TO RECEIVING THE WATER.
11. DAMAGED SECTIONS OF SILT FENCE AND/OR HAY BALES SHALL BE REPLACED BY THE CONTRACTOR. SEDIMENT DEPOSITS SHALL BE REMOVED BY THE CONTRACTOR WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. SEDIMENT SHALL BE REMOVED IN A MANNER THAT DOES NOT CAUSE ADDITIONAL EROSION OR POLLUTION.
12. AT A MINIMUM, ALL SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER. REPAIR SEDIMENT CONTROL MEASURE AS NECESSARY.
13. DISTURBED AREAS ARE TO BE STABILIZED AS SOON AS POSSIBLE AFTER DISTURBANCE. WHEN GRADING OF THE DISTURBED AREA WILL BE SUSPENDED FOR A PERIOD OF 30 OR MORE CONSECUTIVE DAYS, BUT LESS THAN 6 MONTHS, STABILIZE THE SITE WITH 2 INCHS OF TOPSOIL. BRUSH AND SLASH ARE TO BE CHIPPED AND STOCKPILED FOR FUTURE USE OR REMOVED FROM THE SITE AS A TEMPORARY SOIL PROTECTOR. FOR SURFACES THAT ARE NOT TO BE REWORKED WITHIN 6 MONTHS BUT WILL BE REWORKED WITHIN 1 YEAR, USE TEMPORARY SEEDING, MULCH FOR SEED OR WHEN SLOPES ARE LESS THAN 3:1, WOOD CHIPS, BARK CHIPS OR SHREDDED BARK. FOR SURFACES THAT ARE TO BE REWORKED AFTER 1 YEAR, USE PERMANENT SEEDING AND MULCH FOR SEED.
14. EXCAVATED STUMPS AND CUT TREES ARE TO BE CHIPPED AND STOCKPILED FOR FUTURE USE, OR REMOVED TO AN OFF-SITE DISPOSAL AREA. BRUSH AND SLASH ARE TO BE CHIPPED AND STOCKPILED FOR FUTURE USE OR REMOVED FROM THE SITE. EXCAVATED STUMPS, CUT TREES, BRUSH, AND SLASH, ARE NOT TO BE BURIED ON-SITE.

LEGEND



TOWN OF GRANBY
Incorporated 1786
15 North Granby Road
Granby, Connecticut 06035-2102
860-844-5318

Certified Mail #9489 0090 0027 6649 9998 86

August 19, 2025

Mr. Robert Broderick
10R Eric Drive
Granby, CT 06035

RE: IWWC Agent Approval of a modification to an application to construct a 40' x 45' detached garage and associated improvements within a regulated area at the property known as 10R Eric Drive in Granby, CT to construct a 10' x 45' lean-to addition to the eastern side of the garage and to place a 22' x 6' woodshed to the rear of the garage.

Dear Mr. and Mrs. Broderick,

Please be advised that on August 19, 2025 the Inland Wetlands and Watercourses Agent approved the subject application in accordance with the application materials including the following.

- A. Application and Supporting Documentation; Received 10/24/24
- B. As-Built Plot Plan Showing Proposed Location; Received 10/24/24, Revised 11/14/24
- C. Application and Supporting Documentation; Received 08/08/2025


The following are the conditions of this approval.

1. The Office of Community Development shall be notified at least 48 hours prior to the start of any construction activities.
2. Town staff shall inspect installed erosion controls prior to the start of any work that results in earth disturbance activities, this includes, but is not limited to, grubbing and stump removal.
3. All work shall be in conformance with the approval and application materials as submitted for this Permit Approval. Any modifications to the approved plans must be reviewed and approved by the Granby Inland Wetlands and Watercourses Commission or their designated Agent.
4. Erosion controls shall be maintained until the site has achieved permanent stabilization. Permanent stabilization is defined as 70% permanent vegetation covering over 90% of the area. A stockpile of erosion controls shall remain on site to prepare controls as necessary. The IWWC shall be notified in writing at least 48 hours in advance of erosion controls being removed.
5. Excavated soil shall not be brought off-property without the notification and approval of the Office of Community Development. The applicant shall supply the destination in writing for any excavated soil removed from the property.
6. Any concrete washout from the project activities may not be discharged into or adjacent to regulated wetlands. All discharge shall be to an upland location.

7. This permit is valid for a period of 5 years from the date of issuance.
8. Upon completion of construction and site stabilization, the IWWC shall be notified in writing that work is complete, and a final inspection may be completed at that time.

If you have any questions, please call me at your earliest convenience.

Sincerely,

A handwritten signature in cursive script, appearing to read "Katie Bednaz", written in black ink.

Katie Bednaz
Granby IWWC Agent



TOWN OF GRANBY

Office of Community Development, Inland Wetlands and Watercourses Commission
Telephone: (860) 844-5318, www.granby-ct.gov

\$90.⁰⁰
check # 3329

Application for Inland Wetlands & Watercourses Activity

Application For: ☐ Permit ☐ Extension ☒ Modification (Existing Permit/Application #): 11/27/24 original approval from Authorized Agent
☐ Wetlands Map Amend. ☐ Request for Review ☐ Other: _____

Property Location and Nearest Intersection: 10R Eric Drive
Size of Parcel: 2.85 Zone: R30 Map/Lot: 53/14/10 Current Use: Single Family Home
acres

Applicant's Name: Robert Broderick
Complete Address: 10R Eric Drive, Granby, CT 06035
Daytime Phone: (860) 977-6939 Evening Phone: (860) 653-0870 Fax: n/a
Email: broderickb@cox.net

Owner's Name: same

If the owner is a corporation, or other non-individual entity, include the primary contact information

Complete Address: _____
Phone Daytime Phone: _____ Evening Phone: _____ Fax: _____

Applicant's Representative: n/a
Complete Address: _____
Daytime Phone: _____ Evening Phone: _____ Fax: _____

*****PLEASE ATTACH ADDITIONAL SHEET IF NECESSARY*****

Project Name and Brief Description (i.e. residential, agricultural, commercial, number of lots, etc.): construction of a 10'x45' lean-to addition on eastern side of an existing 1,800 sq ft morton building. structure will be approximately 68 ft from wetlands boundary. Original structure approved by IWWC Agent 11/27/24.

Is any portion of the property located within 500 feet of an adjoining municipality? Yes

Wetlands Located on Property (in square feet (sq. ft.)): 18,000 Wetlands to be impacted (sq. ft.): 0

Watercourses Located on Property? No Name or Type of Watercourse: n/a

Are Proposed Activities Located within the 100-Year Floodplain? No Floodway? No

Are there slopes with grades in excess of 15% located on the property? No

Do Proposed Activities Require Review by the PZC? Yes

*****SEE APPLICATION CHECKLIST ON BACK for MINIMUM APPLICATION REQUIREMENTS*****

The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Granby, Inland Wetlands & Watercourses Commission, and its agent (s) to inspect the subject land, at reasonable times, during the pendency of an application and for the life of the permit.

Applicant's Signature: Robert C Broderick Date: 8/8/25

Owner's Signature: Robert C Broderick Date: 8/8/25

FOR OFFICE USE

Application #: n/a Date Submitted: 8/8/25
Fee amt./Check or Cash: \$90 Date of Receipt: _____
Agent Ruling: _____ Date Approved/Denied: _____

See Reverse Side for Conditions of Approval or Reason for Denial



Placement of a 22'x6' woodshed at rear of building (existing).

TOWN OF GRANBY
Incorporated 1786
15 North Granby Road
Granby, Connecticut 06035-2102
860-844-5318

COPY

Certified Mail #91 7199 9991 7038 8323 3090

December 2, 2024

Mrs. Kathryn Broderick
Mr. Robert Broderick
10R Eric Drive
Granby, CT 06035

RE: IWWC Agent Approval of an application to construct a 40' x 45' detached garage and associated improvements within a regulated area at the property known as 10R Eric Drive in Granby, CT.

Dear Mr. and Mrs. Broderick,

Please be advised that on November 27, 2024, the Inland Wetlands and Watercourses Agent approved the subject application in accordance with the application materials including the following.

- A. Application and Supporting Documentation; Received 10/24/24
- B. As-Built Plot Plan Showing Proposed Location; Received 10/24/24, Revised 11/14/24

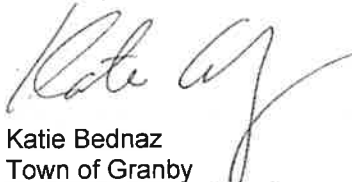
The following are the conditions of this approval.

1. The Office of Community Development shall be notified at least 48 hours prior to the start of any construction activities.
2. Town staff shall inspect installed erosion controls prior to the start of any work that results in earth disturbance activities, this includes, but is not limited to, grubbing and stump removal.
3. The applicant shall reimburse the Town of Granby for all payments made to the Town Wetlands Officer for monitoring the development for compliance with this approval. The reimbursement rate is \$100.00 per hour for the services of the Town Wetlands Officer. The applicant shall deposit with the Town of Granby the sum of \$200.00 to be applied to the costs as described herein. Should the costs exceed this amount, the applicant will be billed for the difference. Any funds not used for the project will be remitted to the applicant at the conclusion of the project. As used herein, the term Town Wetlands Officer includes any person or firm so designated by the Director of Community Development for the purposes of monitoring the development activities to assure compliance with this approval and the IWWC Regulations.
4. All work shall be in conformance with the approval and application materials as submitted for this Permit Approval. Any modifications to the approved plans must be reviewed and approved by the Granby Inland Wetlands and Watercourses Commission or their designated Agent.
5. Erosion controls shall be maintained until the site has achieved permanent stabilization. Permanent stabilization is defined as 70% permanent vegetation covering over 90% of the area. A stockpile of erosion controls shall remain on site to prepare controls as necessary. The IWWC shall be notified in writing at least 48 hours in advance of erosion controls being removed.

6. Excavated soil shall not be brought off-property without the notification and approval of the Office of Community Development. The applicant shall supply the destination in writing for any excavated soil removed from the property.
7. Any concrete washout from the project activities may not be discharged into or adjacent to regulated wetlands. All discharge shall be to an upland location.
8. This permit is valid for a period of 5 years from the date of issuance.
9. Upon completion of construction and site stabilization, the IWWC shall be notified in writing that work is complete, and a final inspection may be completed at that time.

If you have any questions, please call me at your earliest convenience.

Sincerely,



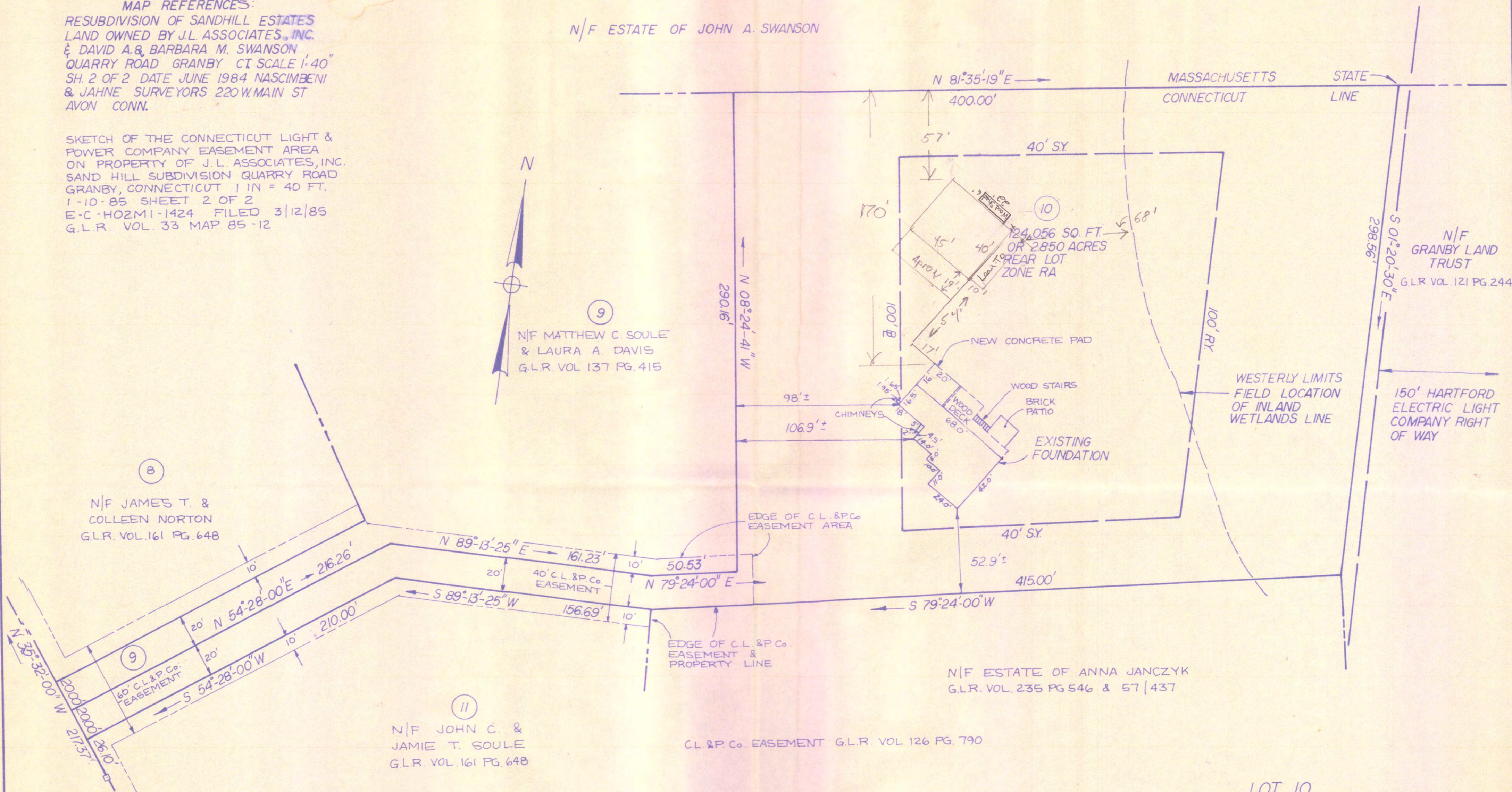
Katie Bednaz
Town of Granby
IWWC Wetlands Agent

CC: Building Department
IWWC File

MAP REFERENCES:
 RESUBDIVISION OF SANDHILL ESTATES
 LAND OWNED BY J.L. ASSOCIATES, INC.
 & DAVID A. & BARBARA M. SWANSON
 QUARRY ROAD GRANBY CT SCALE 1"=40'
 SH. 2 OF 2 DATE JUNE 1984 NASCIMBENI
 & JAHNE SURVEYORS 220 W. MAIN ST
 AVON CONN.

SKETCH OF THE CONNECTICUT LIGHT &
 POWER COMPANY EASEMENT AREA
 ON PROPERTY OF J.L. ASSOCIATES, INC.
 SAND HILL SUBDIVISION QUARRY ROAD
 GRANBY, CONNECTICUT 1 IN = 40 FT.
 1-10-85 SHEET 2 OF 2
 E-C-H02M1-1424 FILED 3/12/85
 G.L.R. VOL. 33 MAP 85-12

N/F ESTATE OF JOHN A. SWANSON



LOT 10
 AS-BUILT PLOT PLAN
 LAND OWNED BY

ROBERT C. & KATHRYN L. BRODERICK

ERIC DRIVE
 GRANBY CONN.

SCALE 1"=40' APRIL, 1987
 K-83-105-10-A



CERTIFIED SUBSTANTIALLY
 CORRECT AND NO ZONING
 REGULATIONS ARE VIOLATED WITH
 RESPECT TO BUILDING LOCATION
 EXCEPT AS DEPICTED HEREON.
 B. Nascimbeni
 SURVEYOR, P.C.

THE INTENT OF THE DEC. 99 REVISION
 IS TO DEPICT THE NEW CONCRETE PAD
 LOCATED NORTH OF THE EXISTING HOUSE.

REVISED 27 DEC. 99 SHOW ADDITION, C.L. & P. Co.
 EASEMENT, DECK, PATIO'S ETC. FOR
 ROBERT C. & KATHRYN L. BRODERICK

MORTON BUILDINGS GENERAL SPECIFICATIONS

LAMINATED COLUMNS - NO. 1 OR BETTER SOUTHERN YELLOW PINE NAIL LAMINATED 3 MEMBER S4S COLUMNS NAILED 8" O.C. STAGGERED ON EACH SIDE WITH 4" NAILS.

MFS PRE-CAST CONCRETE COLUMN - MORTON BUILDINGS FOUNDATION SYSTEM IS A PRE-ENGINEERED, 10,000 PSI, STEEL REINFORCED COLUMN FOR BELOW GROUND INSTALLATION. DESIGNED TO BE MECHANICALLY FASTENED TO ABOVE GROUND NAIL LAMINATED COLUMNS. THE SYSTEM IS DESIGNED TO RESIST BOTH AXIAL AND BENDING FORCES.

FOOTINGS AND ANCHORAGE - COLUMN HOLES ARE DUG A MINIMUM DEPTH OF 4'-0" BELOW GRADE (SEE PLANS FOR DIAMETER AND DEPTH). MFS PRE-CAST CONCRETE COLUMNS ARE PLACED IN THE HOLE. CONCRETE (MINIMUM COMPRESSIVE STRENGTH 2500 PSI) IS POURED IN PLACE TO THE SPECIFIED THICKNESS (SEE PLANS FOR REQUIRED THICKNESS ABOVE AND BELOW THE COLUMN). THE COLUMN IS THEN BACKFILLED WITH SOIL AND COMPACTED AT 8" INTERVALS OR BACKFILLED WITH CONCRETE (SEE PLANS).

TREATED LUMBER -- PRESSURE PRESERVATIVE TREATED LUMBER OTHER THAN LAMINATED COLUMNS ARE NO. 1 OR BETTER SOUTHERN YELLOW PINE AND CENTER MATCHED OR NOTCHED AND GROOVED OR S4S. PRESSURE TREATMENT TO GROUND CONTACT RETENTION WITH PRESERVATIVE TREATMENT COMPLYING WITH USE CATEGORY UC4B (AWPA OR ICC-ES) AND IN COMPLIANCE WITH USEPA GUIDELINES AND STANDARDS.

FRAMING LUMBER - SIDE NAILERS ARE 2x4 S4S SPF W/2x3 STIFFENER, 2-2x4 L-NAILERS SPACED APPROXIMATELY 36" O.C. OR 2x6 NAILERS APPROXIMATELY 24" O.C. WITH ALL JOINTS STAGGERED AT ATTACHMENT TO COLUMNS. ROOF PURLINS ARE 2x6 S4S NO. 2 OR BETTER ON EDGE SPACED APPROXIMATELY 24" O.C. ALL OTHER FRAMING LUMBER IS NO.2 OR BETTER.

ROOFING TRUSSES/PLATED RAFTERS - FACTORY ASSEMBLED WITH 18 OR 20 GAUGE GALVANIZED STEEL TRUSS PLATES AS REQUIRED AND KILN DRIED LUMBER AS SPECIFIED, IN-PLANT QUALITY CONTROL INSPECTION IS CONDUCTED UNDER THE AUSPICES OF THE TPI INSPECTION BUREAU. TRUSSES ARE DESIGNED IN ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS FOR THE STATED LOADING. PLATED RAFTERS ARE NO. 1 SOUTHERN YELLOW PINE.

SIDING & ROOFING PANELS (FLUOROFLEX 1000™) - 0.019" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL WITH AN ADDITIONAL BAKED-ON 70% PVDF FINISH WITH A NOMINAL 1 MIL. PAINT THICKNESS ON EXTERIOR.

TRIM - DIE-FORMED TRIM OF 0.017" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL ON GABLES, RIDGES, CORNERS, BASE WINDOWS, AND DOORS WITH SAME FINISH AS ROOFING OR SIDING PANELS.

GUTTERS - 5" OR 6" K-STYLE, .030 HIGH TENSILE ALUMINUM GUTTER, 70% PVDF FINISH TO MATCH TRIM, ON BOTH SIDES OF THE BUILDING.
2x6 F1 F1 MFS 09/20

SHEET INDEX	
SHEET #	DESCRIPTION
G1 OF G1	SPECIFICATIONS & SHEET INDEX
S1 OF S6	COLUMN PLAN
S2 OF S6	PORCH FRAME PLAN & DETAILS
S3 OF S6	PORCH FRAME DRAWINGS & DETAILS
S4 OF S6	ELEVATIONS
S5 OF S6	SECTION & DETAILS
S6 OF S6	DETAILS

CURRENT LUMBER SPECIFICATIONS (06-01-2013)		
SIZE	DESCRIPTION	BENDING VALUE Fb
2x4	NO. 2 SPF	1313 PSI
2x4	NO. 1 SYP	1500 PSI
2x4	2100f MSR SPF	2100 PSI
2x6	NO. 2 SPF	1138 PSI
2x6	NO. 1 SYP	1350 PSI
2x6	2100f MSR SPF	2100 PSI
2x6	2400 MSR SYP	2400 PSI
2x8	NO. 1 SYP	1250 PSI
2x8	2400 MSR SYP	2400 PSI
2x10	NO. 1 SYP	1050 PSI
2x10	2400 MSR SYP	2400 PSI
2x12	NO. 1 SYP	1000 PSI
2x12	2250f MSR SYP	2250 PSI
1 1/2"x16"	LAMINATED VENEER LUMBER	2800 PSI
3 1/2"x15"	GLU-LAM	1650 PSI
5 1/4"x16 1/2"	GLU-LAM	2400 PSI
5 1/4"x19 1/2"	GLU-LAM	2400 PSI

BUILDING DESIGN CRITERIA	
USE GROUP	U
CONSTRUCTION TYPE	VB
RISK CATEGORY	I
EXISTING BUILDING AREA	1800 SQ. FT.
PROPOSED BUILDING ADDITION AREA	370 SQ. FT.
TOTAL BUILDING AREA	2170 SQ. FT.
ROOF SNOW LOAD *	30 PSF
GROUND SNOW LOAD	35 PSF
WIND SPEED (VULT)	110 MPH
WIND SPEED (VASD)	85 MPH
BUILDING DESIGN ELEVATION	235 FT.

*ROOF SNOW LOAD CALCULATIONS

Pf = 0.7 x Ce x I x Pg x Ct
Ce = SNOW EXPOSURE FACTOR = 1.0
I = IMPORTANCE FACTOR = 0.8
Pg = GROUND SNOW LOAD = 35 PSF
Ct = THERMAL FACTOR = 1.2
Pf = 0.7 x 1.0 x 0.8 x 35 x 1.2 = 23.52 PSF
Pf min = 30 PSF
Cs = ROOF SLOPE FACTOR = 1.00
Ps = Pf x Cs = 30.0 x 1.00 = 30.0 PSF

I HEREBY CERTIFY THAT THE STRUCTURAL DESIGN FOR THIS BUILDING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED/REGISTERED PROFESSIONAL ENGINEER.

MICHAEL L. McCORMICK, P.E.
mimccormick@allieddesignaes.com
DATE: 6-30-25 REG.#


DESIGN AND EXPLANATORY NOTES

- 1.) ALL PLOT PLANS AND RELATED DETAILS SHALL BE PROVIDED BY OWNER UNLESS INCORPORATED AS PART OF THESE DRAWINGS.
- 2.) MORTON BUILDINGS GENERAL SPECIFICATIONS APPLY UNLESS INDICATED DIFFERENTLY ON SPECIFIC JOB DRAWINGS OR SUPPLEMENTAL INFORMATION.
- 3.) NO ONE MAY ALTER ANY ENGINEERING ITEM UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED / REGISTERED ENGINEER .
- 4.) ♦ THE PRECEDING SYMBOL IDENTIFIES ITEMS THROUGHOUT THE PLANS THAT ARE NOT PROVIDED BY MORTON BUILDINGS, INC. OR MORTON BUILDINGS' SUBCONTRACTORS AND ARE THE OWNER'S RESPONSIBILITY.



OFFICE:
WESTFIELD, MA

JOB NO.
115-143255

BOB BRODERICK

GRANBY, CT

CT
ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550 A & E LICENSE # AEX.0000082
PHONE NUMBER: 309-263-4105

DRAWN BY:	ECH
DATE:	6/20/2025
CHECKED BY:	RLL
DATE:	6/24/2025
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----

SCALE: AS NOTED

SHEET NO: G1 OF: G1

DESIGN AND EXPLANATORY NOTES

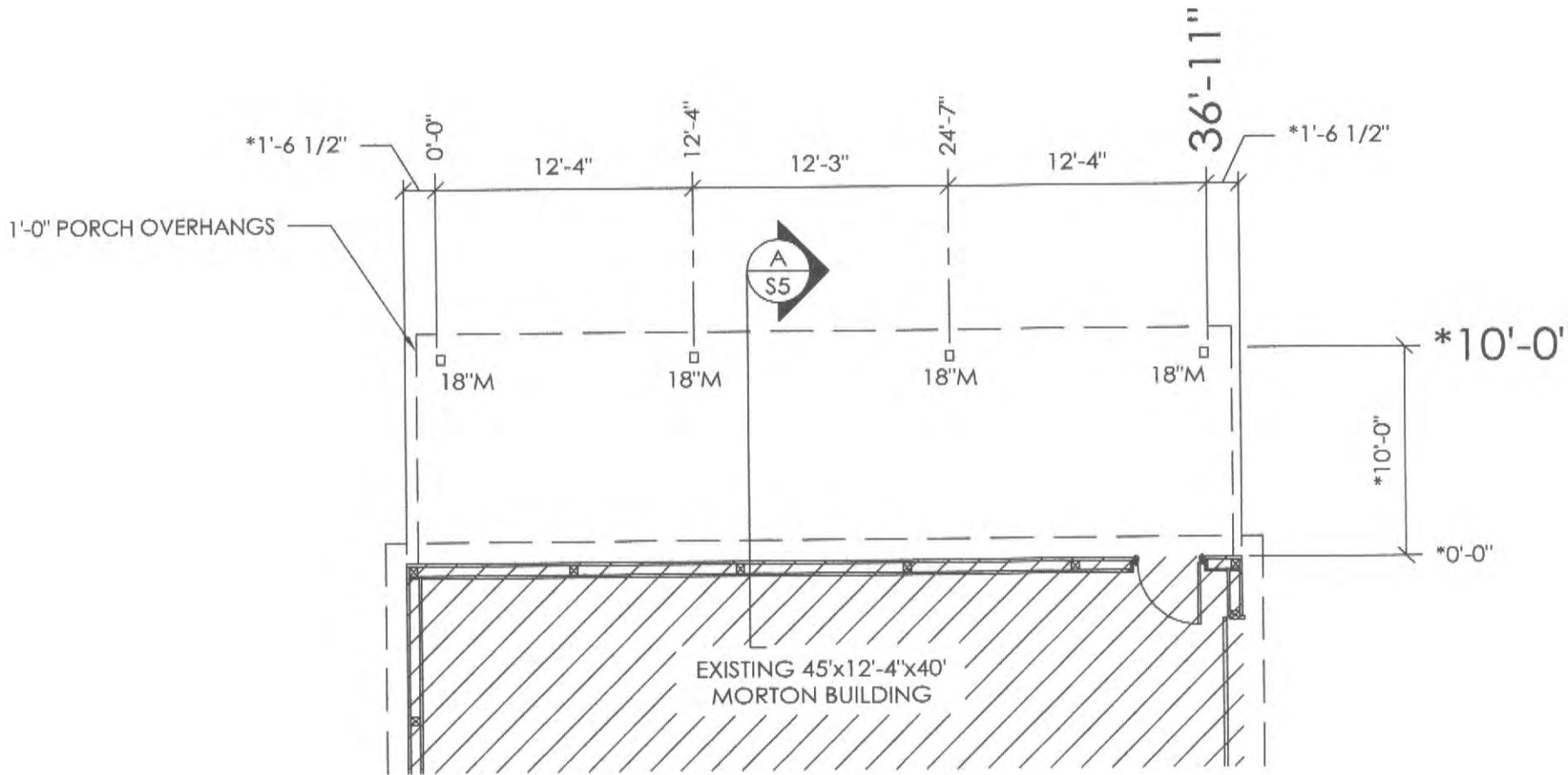
1.) * - INDICATES DIMENSIONS ARE TAKEN FROM THE OUTSIDE FACE OF THE EXISTING BUILDING NAILERS.

OFFICE:
WESTFIELD, MA
JOB NO.
115-143255

BOB BRODERICK

GRANBY, CT

CT
ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550 A & E LICENSE # AEX.0000082
PHONE NUMBER: 309-263-4105



COLUMN PLAN

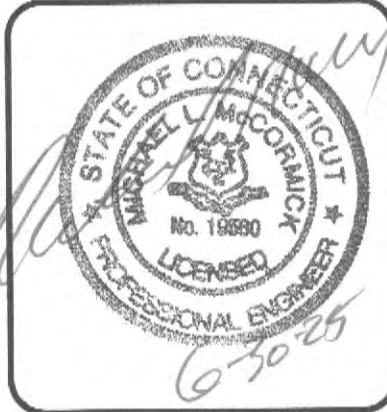
COLUMN PLAN LEGEND

- - 3-2x6 LAMINATED COLUMN LOCATION
- - EXISTING 3-2x6 COLUMN LOCATION
- 18" M - 18" DIAMETER FOOTING WITH 4' TO BOTTOM OF 21" THICK CONCRETE PAD (2500 PSI MINIMUM), 20" BELOW BOTTOM OF PRECAST CONCRETE COLUMN AROUND EXPOSED REBAR CAGE AND 3/4"x14" THREADED ROD WITH AN ADDITIONAL MINIMUM 1" ABOVE BOTTOM OF PRECAST CONCRETE COLUMN, PLACE CONCRETE BELOW AND ABOVE BOTTOM OF LOWER COLUMN IN ONE OPERATION.



SCALE: 1" = 4'

DRAWN BY:	ECH
DATE:	6/20/2025
CHECKED BY:	RLL
DATE:	6/24/2025
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----



SCALE: AS NOTED	
SHEET NO: S1	OF: S6

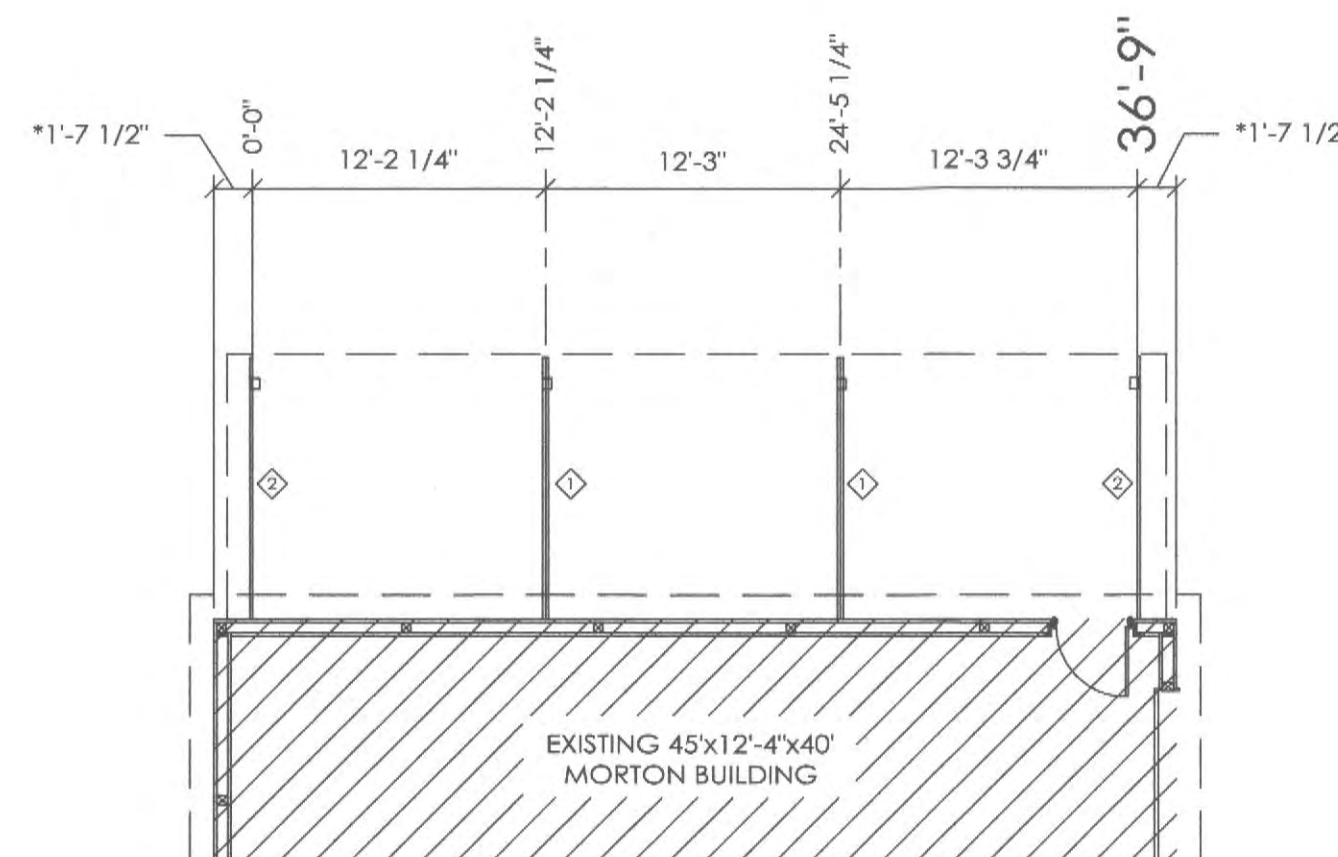
DESIGN AND EXPLANATORY NOTES

1.) * - INDICATES DIMENSIONS ARE TAKEN FROM THE OUTSIDE FACE OF THE EXISTING BUILDING NAILERS.

OFFICE:
WESTFIELD, MA
JOB NO.
115-143255

BOB BRODERICK
GRANBY, CT

CT
ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
A & E LICENSE # AEX.0000082
PHONE NUMBER: 309-263-4105



PORCH FRAME PLAN LEGEND

- ◇ - DOUBLE 10' PORCH FRAME
- ◇ - 10' PORCH END FRAME

PORCH FRAME PLAN

N

SCALE: 1' 2' 4' 8' 16'

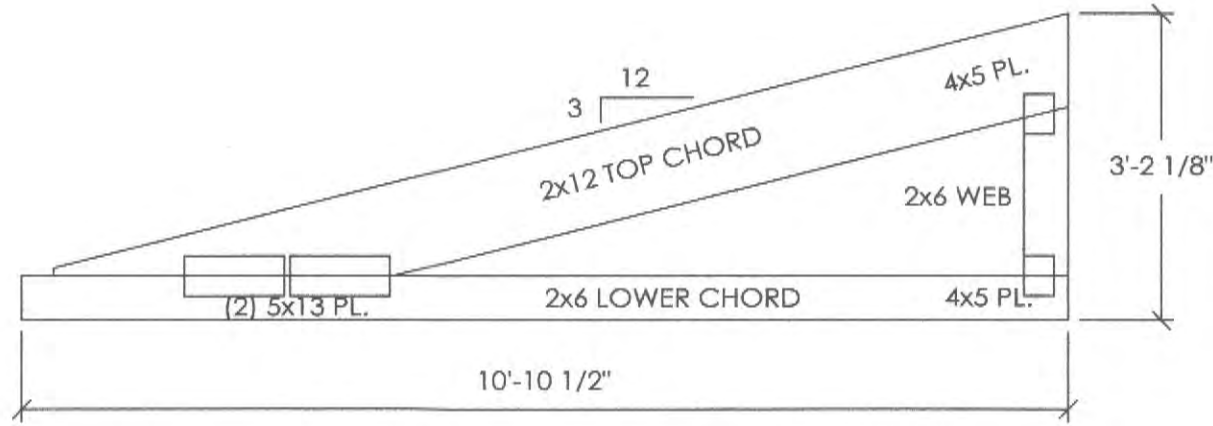
DRAWN BY:	ECH
DATE:	6/20/2025
CHECKED BY:	RLL
DATE:	6/24/2025
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----



SCALE: AS NOTED	
SHEET NO: S2	OF: S6

DESIGN AND EXPLANATORY NOTES

1.) PORCH FRAMES ARE USED AS A DOUBLE MEMBER PORCH FRAME ASSEMBLY WHERE NOTED ON THE PLAN ON SHEET S2. FASTEN PORCH FRAMES TOGETHER FROM ONE SIDE WITH SIMPSON #9x2 1/2" WSV212S SCREWS 4" O.C. STAGGERED ALONG TOP CHORD; 8" O.C. STAGGERED ALONG LOWER CHORD AND WEB MEMBERS.



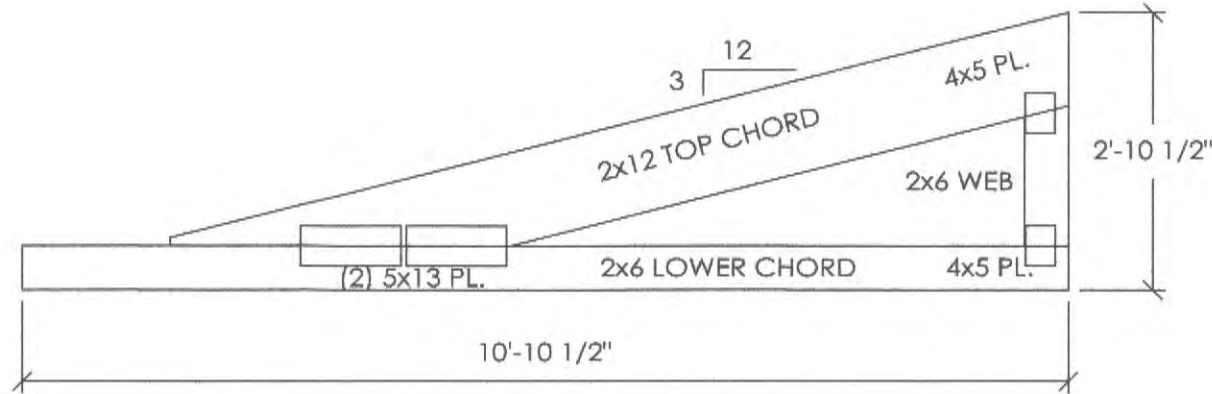
10' PORCH FRAME

SCALE: 1/2" = 1'-0" (SEE NOTE #1)

LIVE LOAD	30	PSF
DEAD LOAD	6	PSF
CEILING LOAD	2	PSF
TOTAL LOAD	38	PSF

LUMBER SPECIFICATION:
Lower Chord -- No. 1 - KD19 Southern Pine
Top Chord -- MSR 2400f - 2.0E Southern Pine
Web Members -- No. 1- KD19 Southern Pine
(All webs are 2x4 unless otherwise noted.)

TRUSS PLATE SPECIFICATION (ICC Evaluation report No. 3080):
ASTM A-653, Grade A 20 Ga. and 18 Ga. where noted,
galvanized steel Morton truss plates identified by a hexagon
stamped every 1 1/4" along the center of the plate.



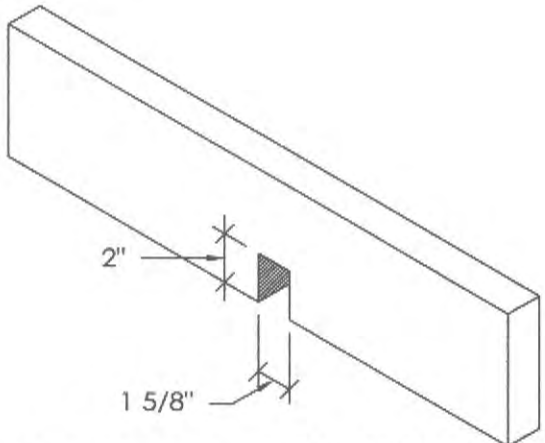
10' PORCH END FRAME

SCALE: 1/2" = 1'-0"

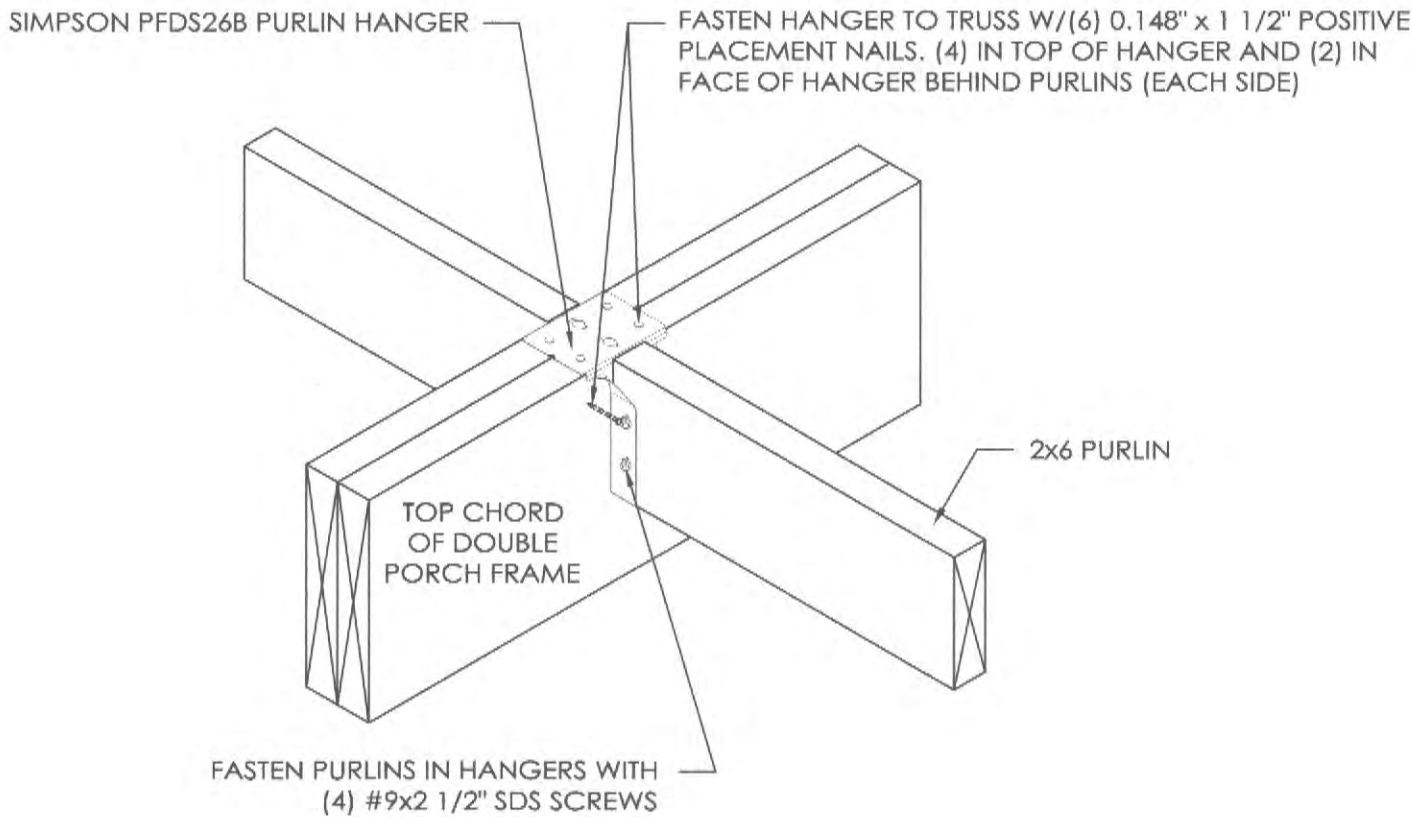
LIVE LOAD	30	PSF
DEAD LOAD	6	PSF
CEILING LOAD	2	PSF
TOTAL LOAD	38	PSF

LUMBER SPECIFICATION:
Lower Chord -- No. 1 - KD19 Southern Pine
Top Chord -- MSR 2400f - 2.0E Southern Pine
Web Members -- No. 1- KD19 Southern Pine
(All webs are 2x4 unless otherwise noted.)

TRUSS PLATE SPECIFICATION (ICC Evaluation report No. 3080):
ASTM A-653, Grade A 20 Ga. and 18 Ga. where noted,
galvanized steel Morton truss plates identified by a hexagon
stamped every 1 1/4" along the center of the plate.

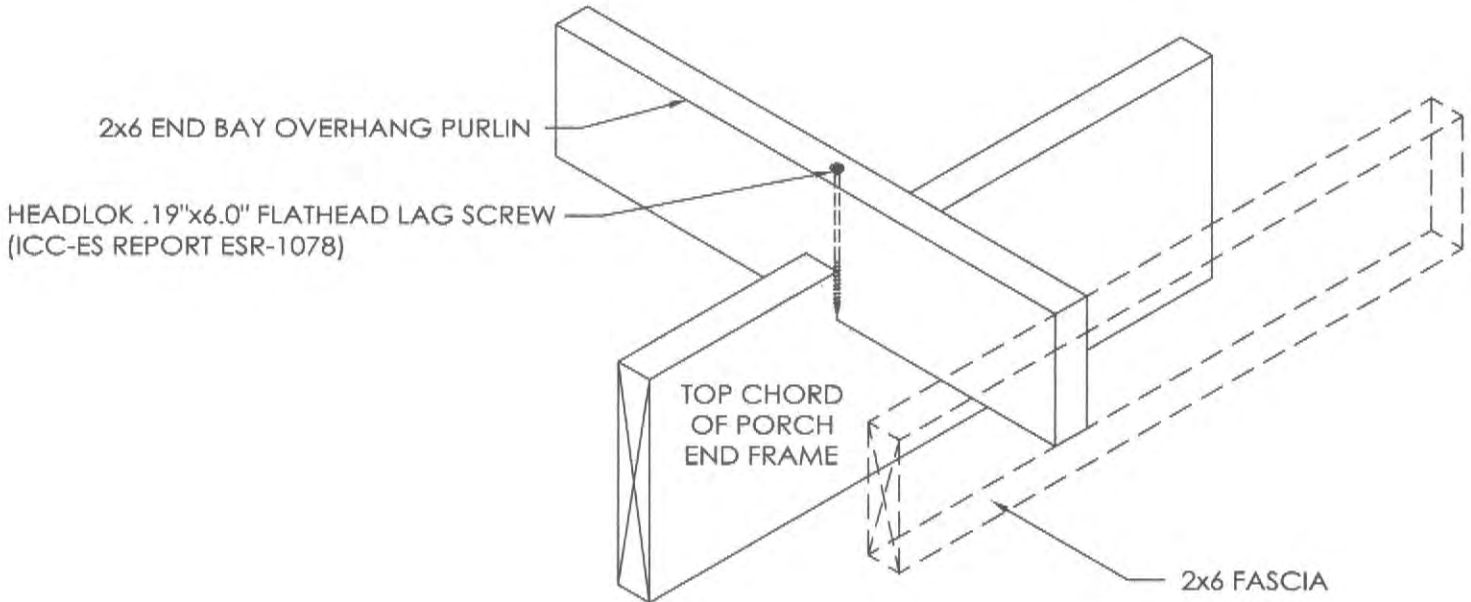


2x6 END BAY PURLIN
NOTCH DETAIL



PURLIN HANGER DETAIL

SCALE: 1 1/2" = 1'-0"



NOTE:
1'-0" END OVERHANG SHOWN

2x6 END OVERHANG DETAIL
(PURLIN CONNECTED WITH 6" HEADLOK FLATHEAD LAG SCREW)
SCALE: 1 1/2" = 1'-0"

DRAWN BY:	ECH
DATE:	6/20/2025
CHECKED BY:	RLL
DATE:	6/24/2025
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----



SCALE: AS NOTED	
SHEET NO: S3	OF: S6

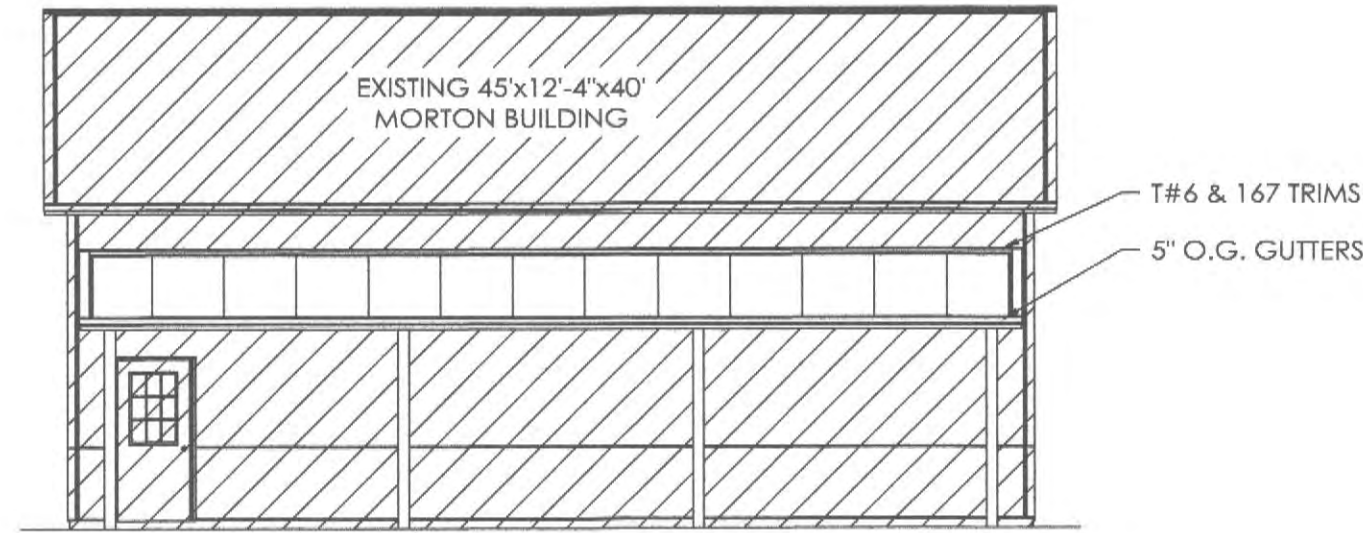
BOB BRODERICK
GRANBY, CT

CT
ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550 A & E LICENSE # AEX.0000082 PHONE NUMBER: 309-263-4105

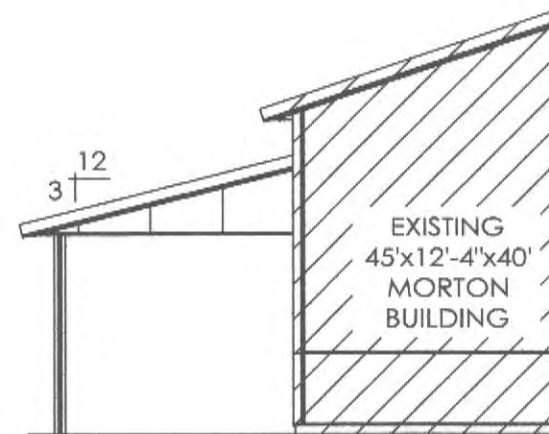
DRAWN BY:	ECH
DATE:	6/20/2025
CHECKED BY:	RLL
DATE:	6/24/2025
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----



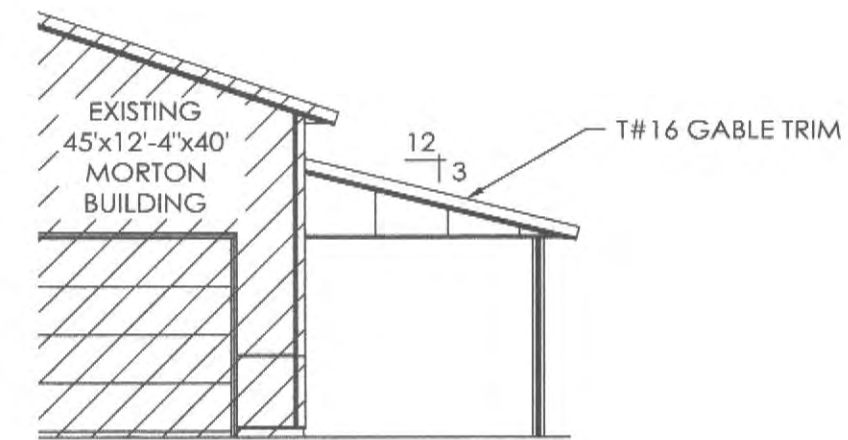
SCALE: AS NOTED
SHEET NO: S4 OF: S6



EAST ELEVATION

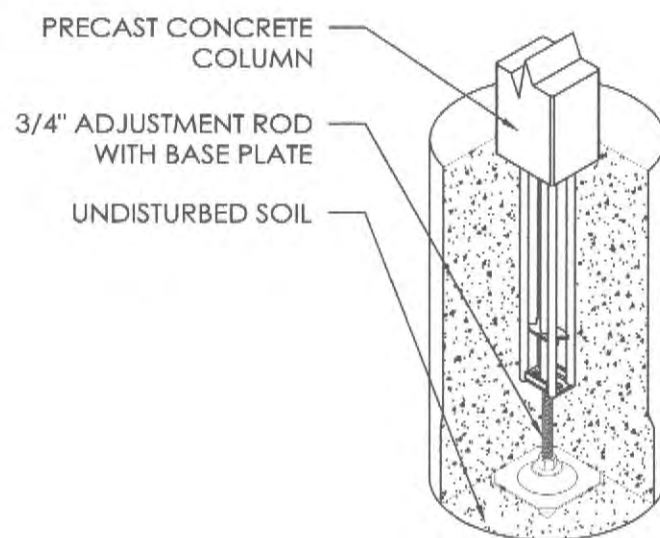


NORTH ELEVATION



SOUTH ELEVATION

SCALE: 1' 2' 4' 8' 16'



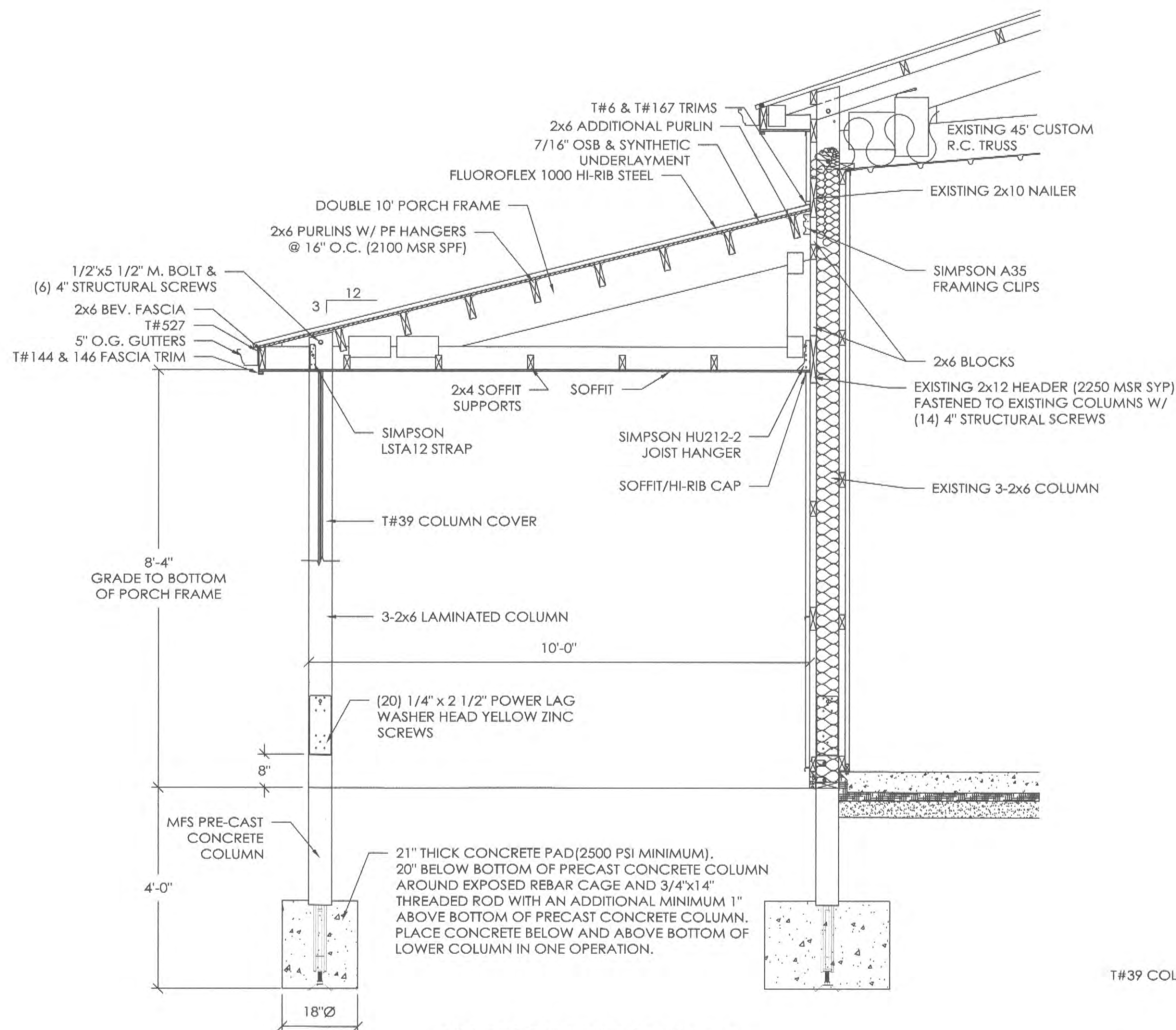
LOWER COLUMN
ISOMETRIC

LOWER COLUMN INSTALLATION

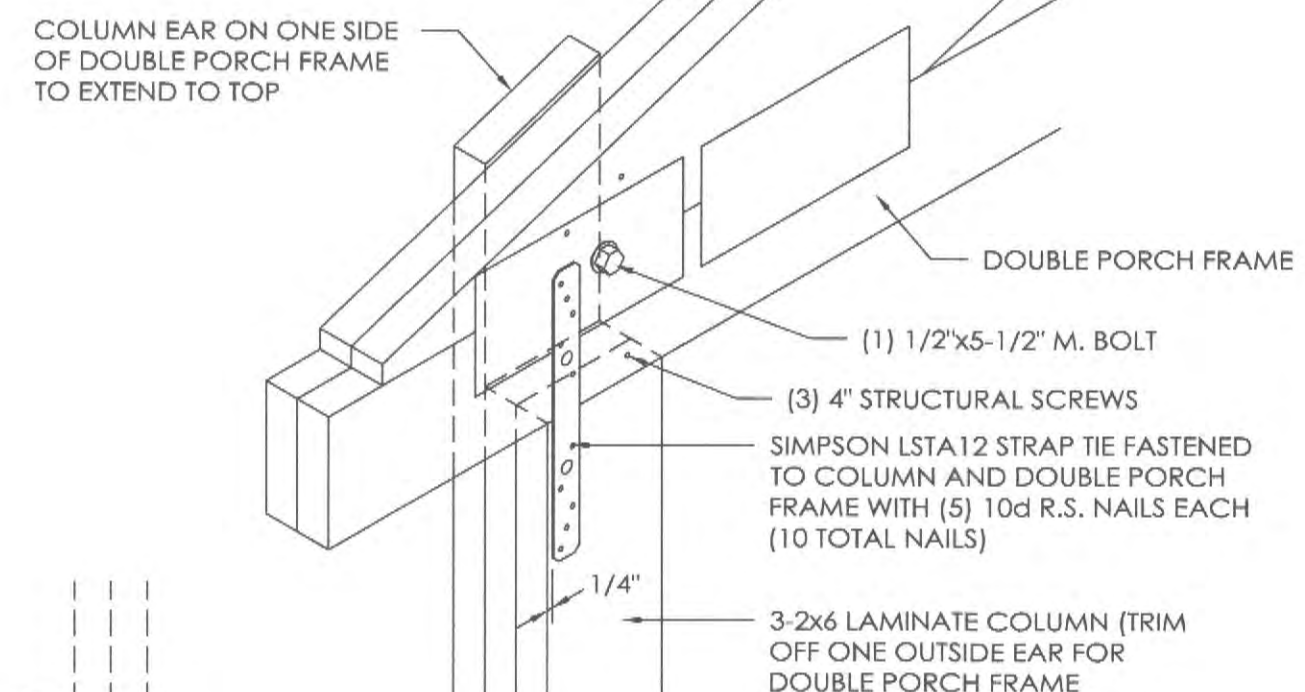
1. INSTALL PRECAST CONCRETE COLUMN W/ADJUSTMENT ROD & BASE PLATE IN THE AUGERED HOLE.
2. PLUMB PRECAST CONCRETE COLUMN IN BOTH DIRECTIONS
3. ADJUST HEIGHT UP OR DOWN WITH ADJUSTMENT HEX ROD
4. POUR READI-MIX CONCRETE INTO THE HOLE AS SPECIFIED.
5. BACKFILL AND COMPACT THE ANNULAR SPACE AROUND THE COLUMN TO GRADE WITH SOIL AUGERED FROM THE SITE.

DESIGN AND EXPLANATORY NOTES

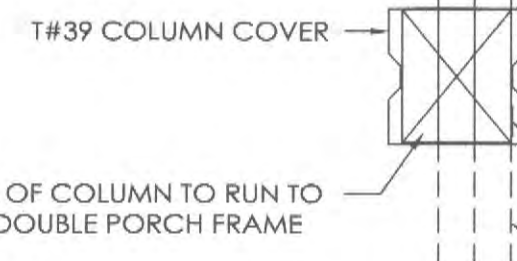
1. FOOTINGS ARE DESIGNED FOR A 2000 PSF SOIL BEARING CAPACITY. LOCAL CONDITIONS MAY REQUIRE MODIFICATIONS.
2. PRIOR TO PLACING THE CONCRETE FOOTINGS, HAND TAMP THE BOTTOM 2'-3" OF LOOSE SOIL TO CONSOLIDATE. IF THE DRILLED HOLE CONTAINS MORE THAN 3" OF LOOSE SOIL, REMOVE EXCESS SOIL TO A UNIFORM THICKNESS OF 2'-3", HAND TAMP AND PROCEED WITH CONCRETE FOOTING PLACEMENT.
3. DO NOT PLACE CONCRETE FOOTING THROUGH MORE THAN 3" OF STANDING WATER. IF MORE THAN 3" OF STANDING WATER IS PRESENT IN THE FOOTING HOLE CONTACT THE STRUCTURAL ENGINEER OF RECORD FOR INSTALLATION INSTRUCTIONS.



10' PORCH SECTION A
SCALE: 1/2" = 1'-0"



ISOMETRIC VIEW



PLAN VIEW

OFFICE:
WESTFIELD, MA

JOB NO.
115-143255

BOB BRODERICK
GRANBY, CT

CT
ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
A & E LICENSE # AEX.0000082
PHONE NUMBER: 309-263-4105

DRAWN BY:	ECH
DATE:	6/20/2025
CHECKED BY:	RLL
DATE:	6/24/2025
REVISED DATE:	---
REVISED DATE:	---
REVISED DATE:	---
REVISED DATE:	---



SCALE: AS NOTED	
SHEET NO: S5	OF: S6

BOB BRODERICK

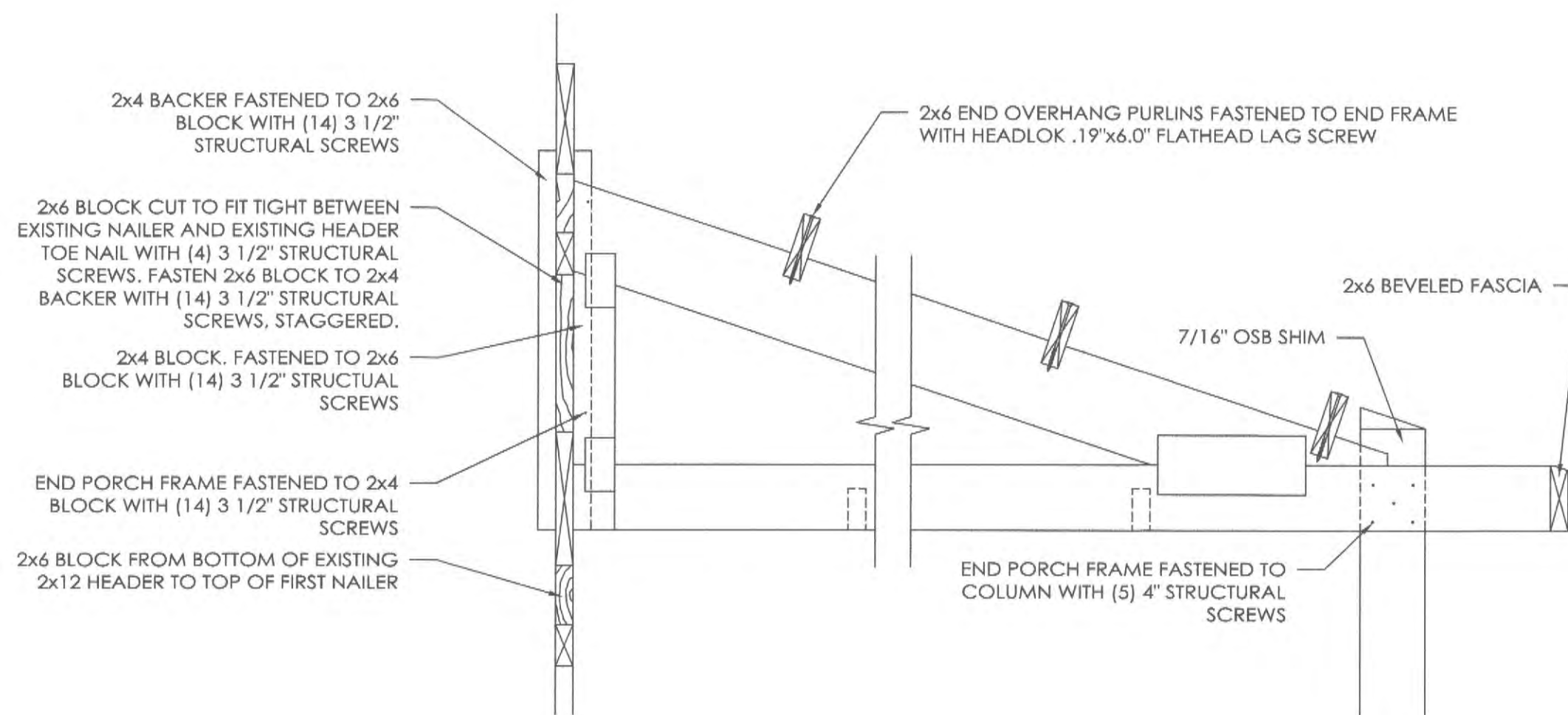
GRANBY, CT

CT
ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550 A & E LICENSE # AEX.0000082 PHONE NUMBER: 309-263-4105

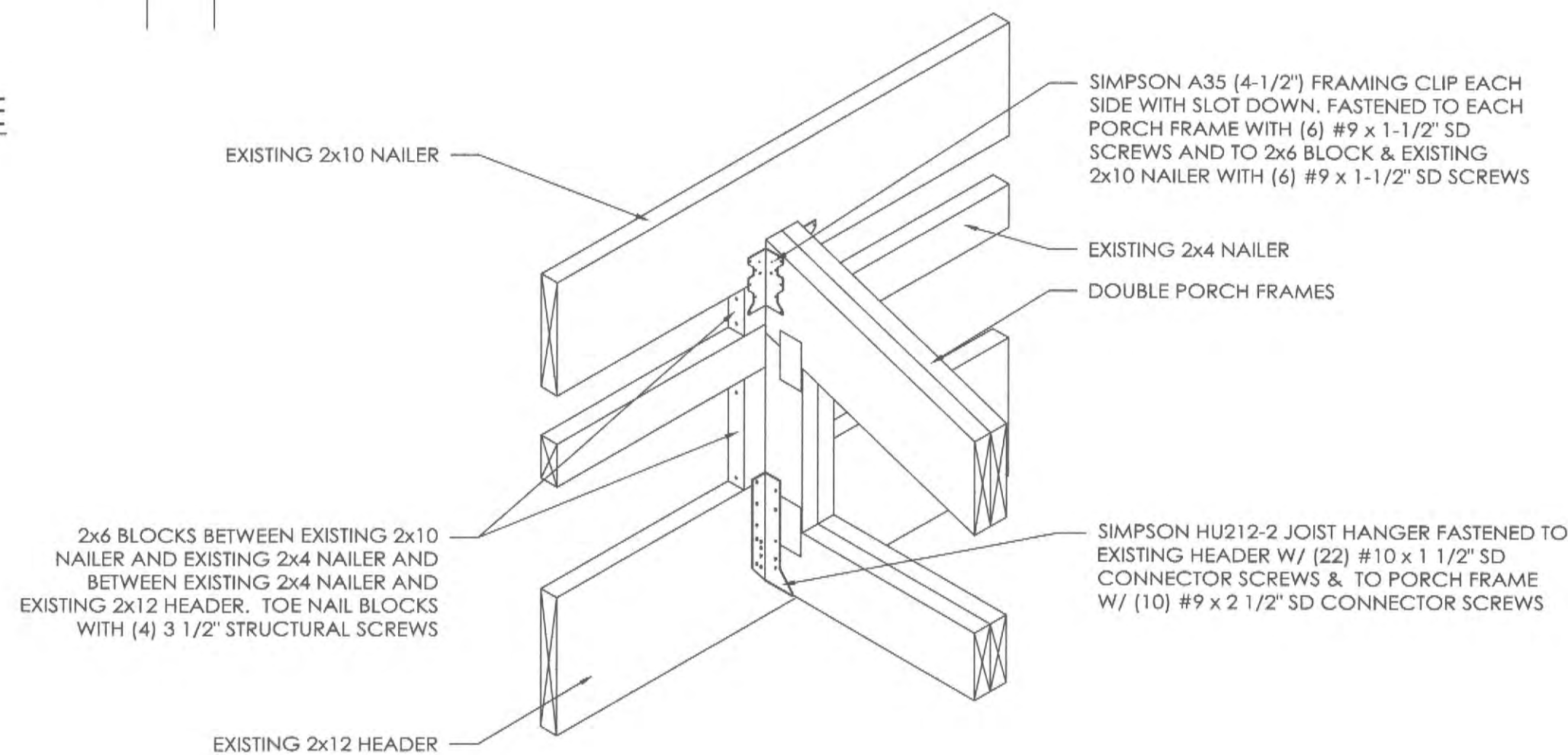
DRAWN BY:	ECH
DATE:	6/20/2025
CHECKED BY:	RLL
DATE:	6/24/2025
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----



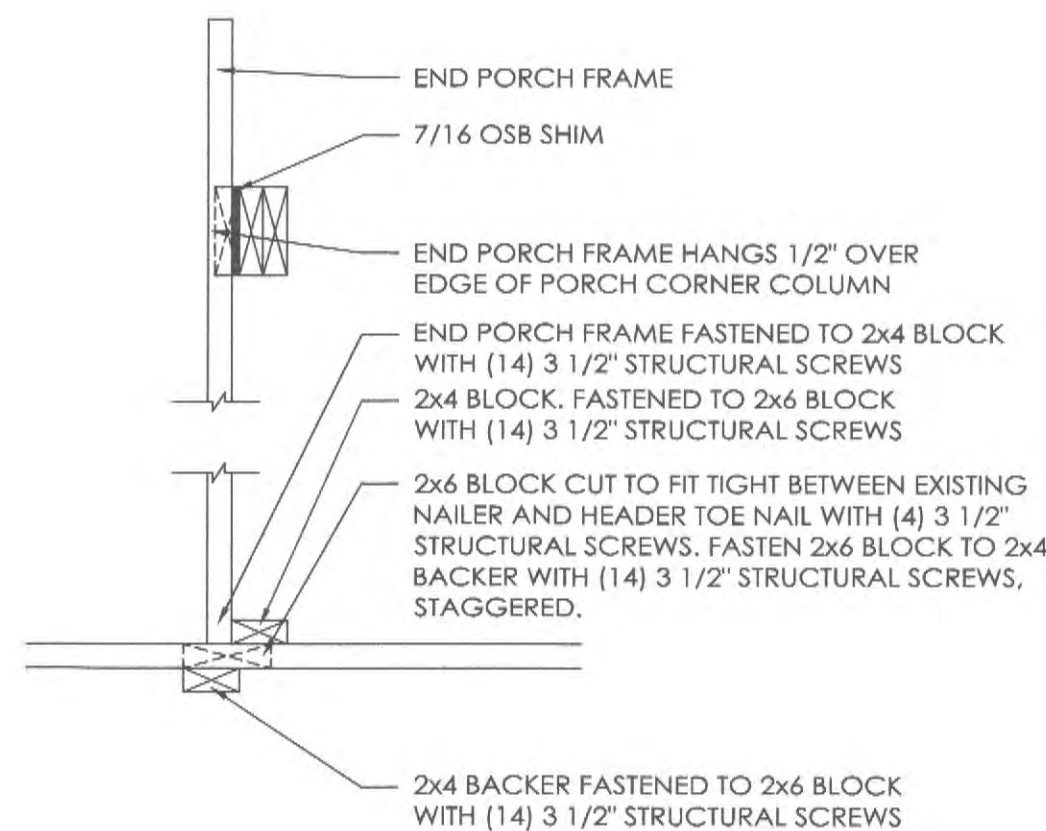
SCALE: AS NOTED
SHEET NO: S6 OF: S6



END VIEW OF END PORCH FRAME



PORCH FRAME ATTACHED BETWEEN COLUMNS



PORCH ENDS ALONG BUILDING









TOWN OF GRANBY
Office of Community Development, Inland Wetlands and Watercourses Commission
Telephone: (860) 844-5318, www.granby-ct.gov

Application for Inland Wetlands & Watercourses Activity

Application For: ☒ Permit ☐ Extension ☐ Modification (Existing Permit/Application #): _____
☐ Wetlands Map Amend. ☐ Request for Review ☐ Other: _____

Property Location and Nearest Intersection: 230 GRANVILLE RD
Size of Parcel: 4.68 acres Zone: R2A Map/Lot: 3195 Current Use: Single Family Mol

Applicant's Name: Nolan Labrecque
Complete Address: 230 Granville Rd, North Granby, CT, 06060
Daytime Phone: 413-801-5205 Evening Phone: _____ Fax: _____
Email: joe.nolan12@gmail.com

Owner's Name: Nolan Labrecque
If the owner is a corporation, or other non-individual entity, include the primary contact information

Complete Address: _____
Phone Daytime Phone: _____ Evening Phone: _____ Fax: _____

Applicant's Representative: _____
Complete Address: _____
Daytime Phone: _____ Evening Phone: _____ Fax: _____

*****PLEASE ATTACH ADDITIONAL SHEET IF NECESSARY*****

Project Name and Brief Description (i.e. residential, agricultural, commercial, number of lots, etc.):
Repairing drive way due to road runoff erosion.
This will not infringe where the driveway meets the road
due to the shape of driveway.

Is any portion of the property located within 500 feet of an adjoining municipality? NO

Wetlands Located on Property (in square feet (sq. ft.)): 38,724 Wetlands to be impacted (sq. ft.): 3,136.32

Watercourses Located on Property? Yes Name or Type of Watercourse: Salmon brook

Are Proposed Activities Located within the 100-Year Floodplain? _____ Floodway? _____

Are there slopes with grades in excess of 15% located on the property? _____

Do Proposed Activities Require Review by the PZC? NO

*****SEE APPLICATION CHECKLIST ON BACK for MINIMUM APPLICATION REQUIREMENTS*****

The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Granby, Inland Wetlands & Watercourses Commission, and its agent (s) to inspect the subject land, at reasonable times, during the pendency of an application and for the life of the permit.

Applicant's Signature: _____ Date: _____
Owner's Signature: _____ Date: _____

FOR OFFICE USE

Application #:	Date Submitted:
Fee amt./Check or Cash:	Date of Receipt:
Agent Ruling:	Date Approved/Denied:

See Reverse Side for Conditions of Approval or Reason for Denial

Driveway to back yard

This area
is 10 feet below
road elevation
and 80 feet away.

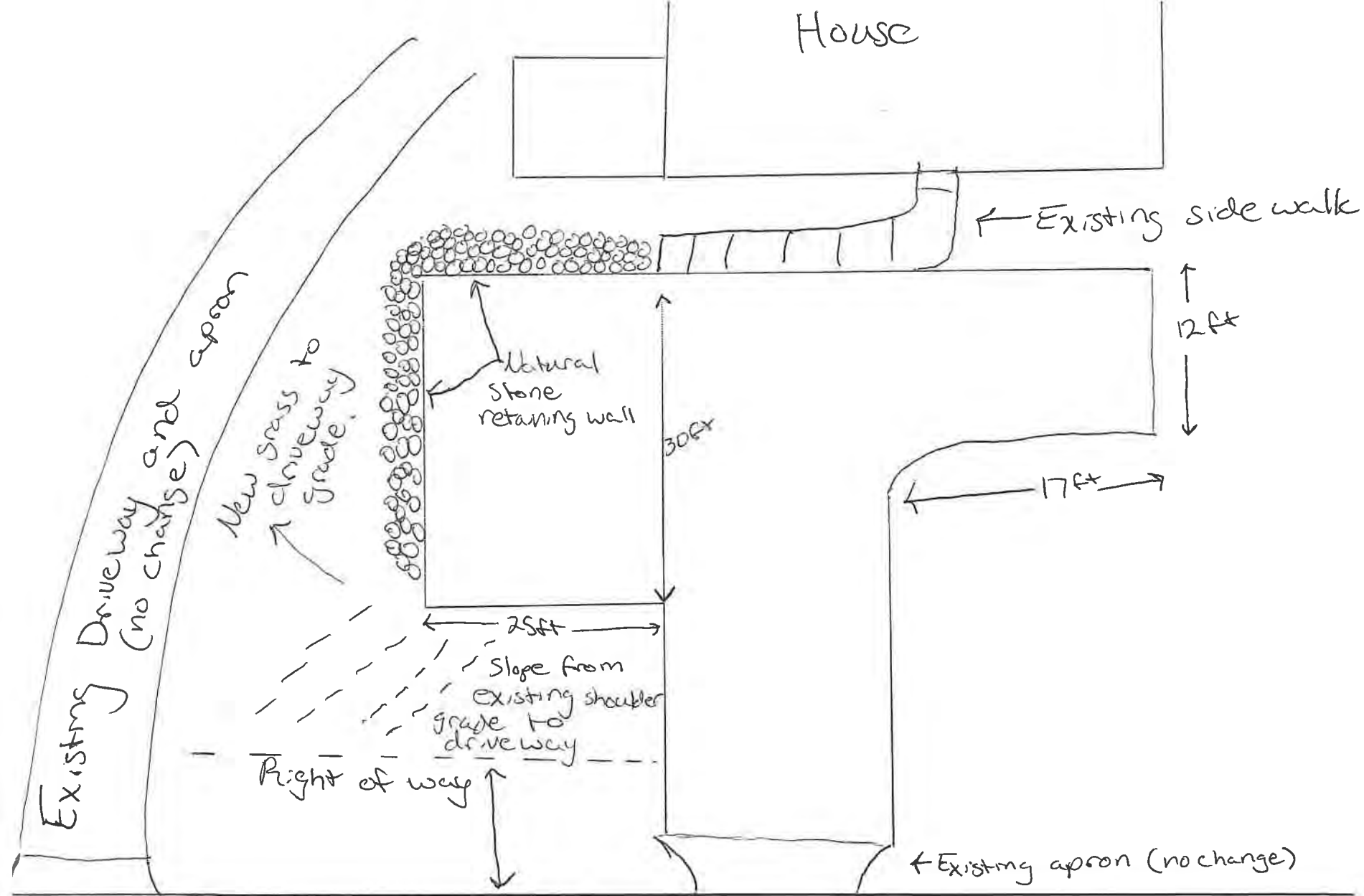
House

Natural stone
retaining wall that is
eroding and falling down
bank.

This area is level with
granville road.

Granville Rd.

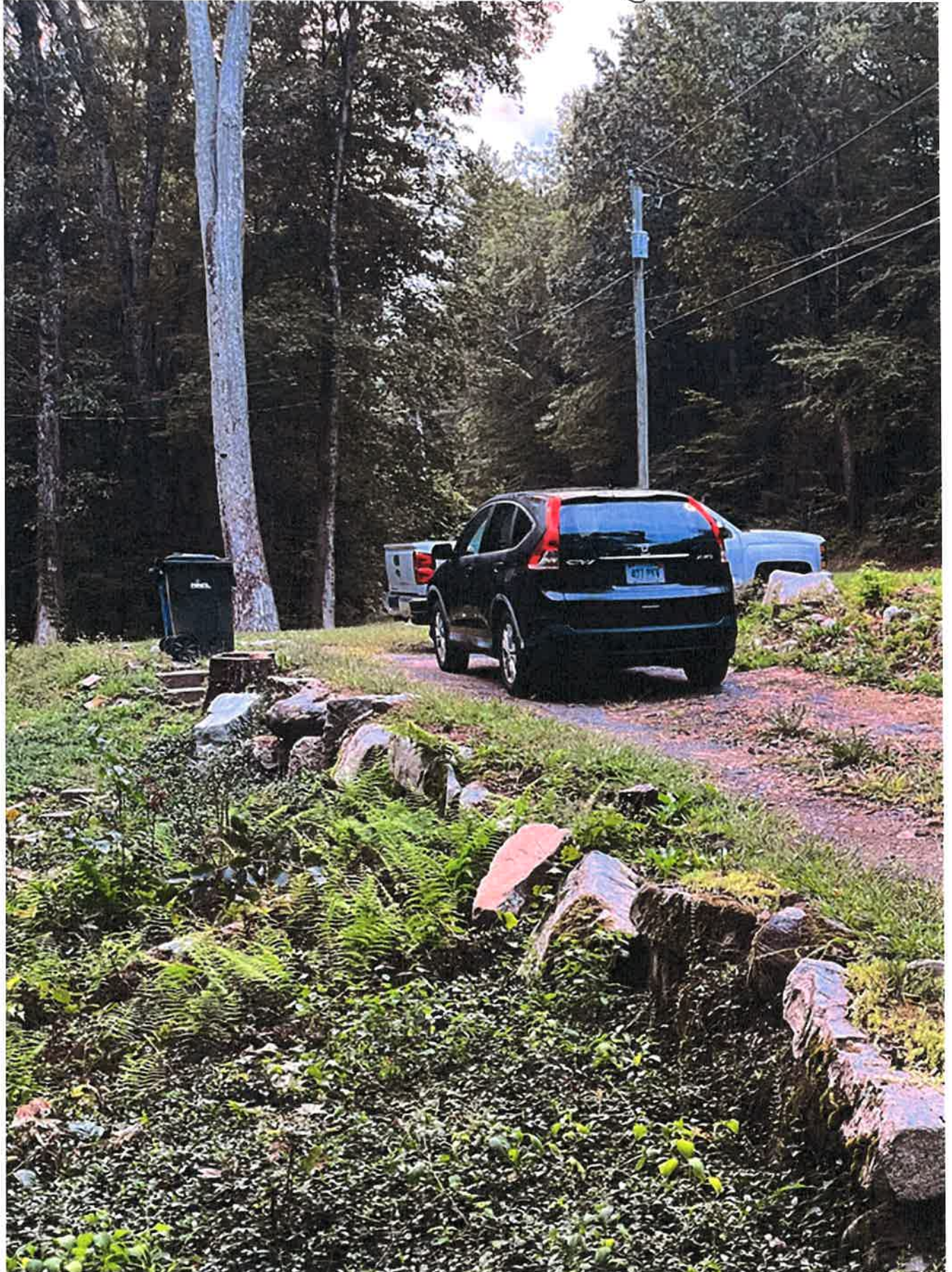
Current Driveway Setup.



Granville Rd.

New Driveway.

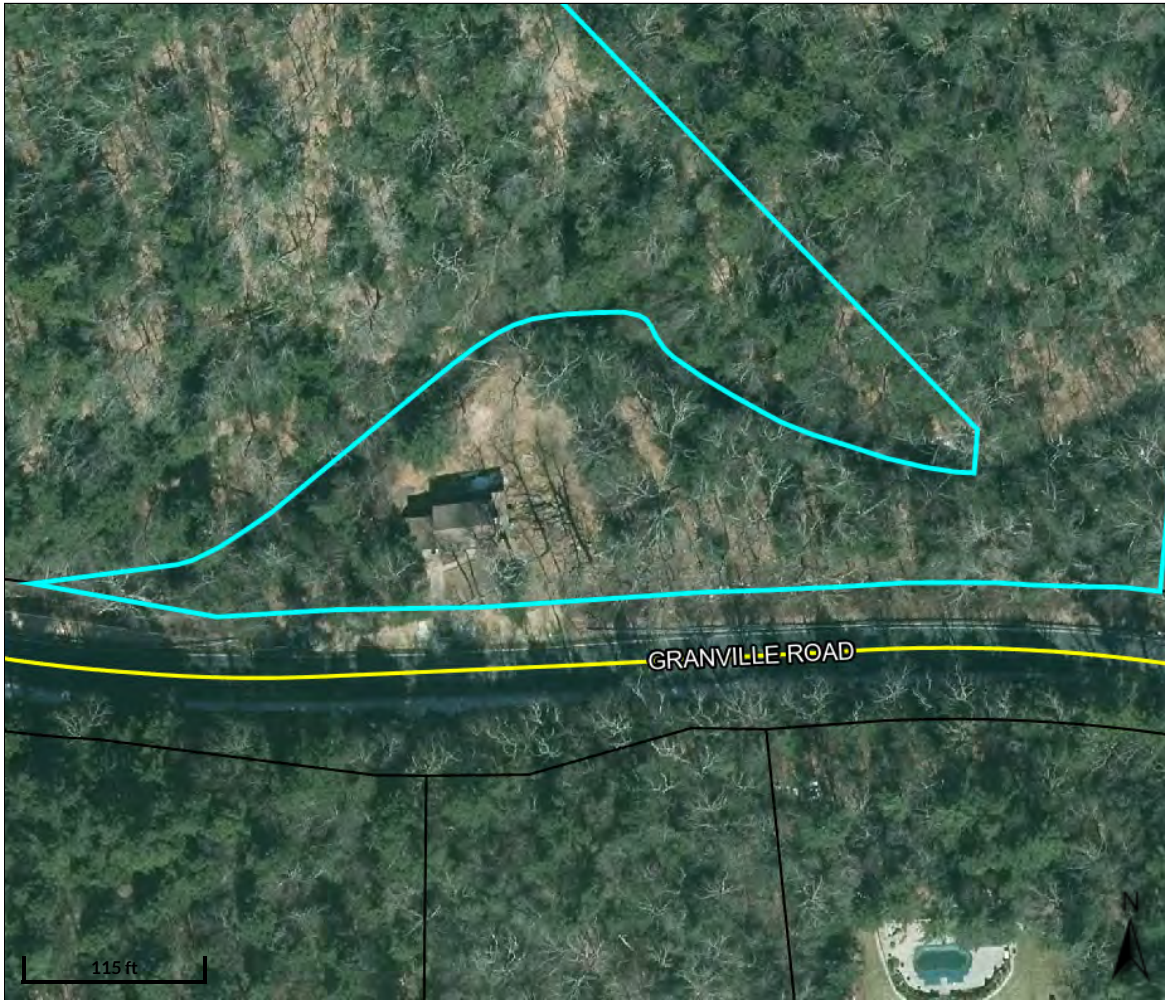
Current rocks eroding away (will reuse.)



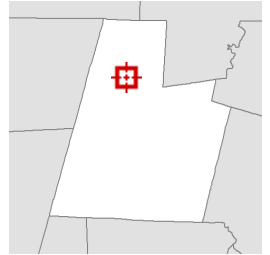


Starting
point of
new slope
will follow driveway
grade to back
yard







Overview



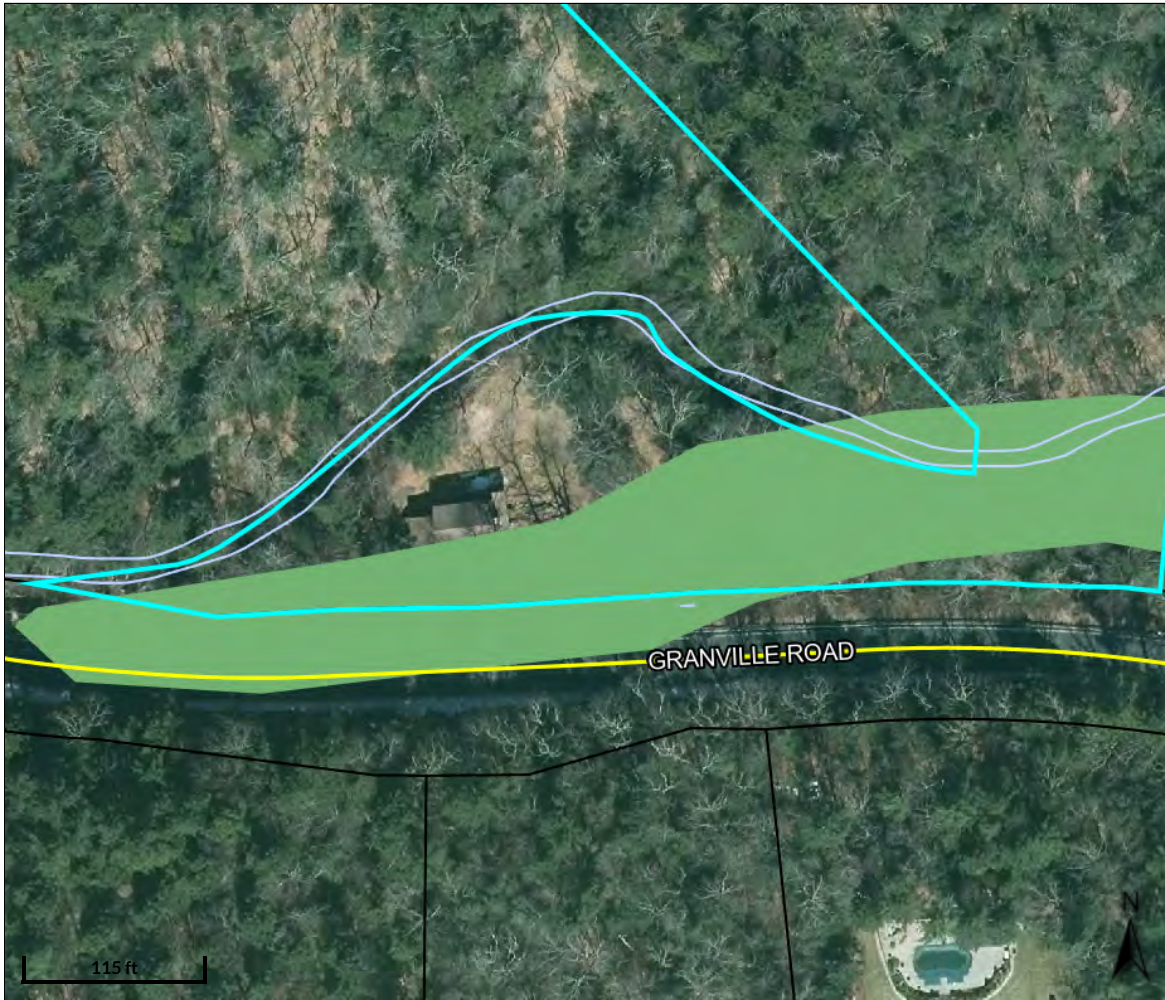
Legend

-  Parcels
-  Roads

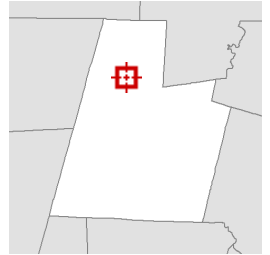
Parcel ID 3195
Location 230 GRANVILLE RD
[View Assessor website](#)

Date created: 9/3/2025
Last Data Uploaded: 9/3/2025 5:36:10 AM

Developed by  **SCHNEIDER**
GEOSPATIAL



Overview



Legend

-  Parcels
-  Roads
-  Hydrology
-  Wetlands

Parcel ID 3195
Location 230 GRANVILLE RD
[View Assessor website](#)

Date created: 9/3/2025
Last Data Uploaded: 9/3/2025 5:36:10 AM

Developed by  **SCHNEIDER**
GEOSPATIAL

TOWN OF GRANBY

MEMORANDUM

TO: Inland Wetlands and Watercourses Commission

FROM: Abby Kenyon, Director of Community Development

DATE: August 21, 2025

RE: Failed Motion to Approve: 8 East Granby Road – C. Peeler c/o AutoZone, Inc. – Permit application to demolish existing structures and construct a 6,796 sq. ft. commercial building and other associated site work within a regulated area.

At the Commission's meeting on August 13, 2025 the public hearing for the 8 East Granby Road application was closed. After some discussion, a motion was called for. The motion was to approve the application, which was seconded, and the Chair then called for a vote. Two Commissioners voted in favor, three Commissioners opposed, and one abstained, so the motion did not carry.

Following the meeting, the Town Attorney was consulted. The failure of a motion to approve an application is considered a denial of the application. Reasons to deny the application will be found in the record. As the application has been acted upon, there is no need to continue the discussion on the application at the September meeting. The notice of decision will be submitted for publication in the Hartford Courant and the applicant will be notified of the denial.

TOWN OF GRANBY
MEMORANDUM

TO: Inland Wetlands and Watercourses Commission

FROM: Abby Kenyon, Director of Community Development

DATE: September 3, 2025

RE: CRCOG Fall Housing Workshops

The Capitol Region Council of Governments is holding two housing workshops this fall. Please refer to the attached email and flyer for more information.

From: [Heidi Samokar](#)
To: [Abigail Kenyon](#)
Subject: Housing Meeting Flyer for your Land Use Boards
Date: Tuesday, September 2, 2025 10:43:16 AM
Attachments: [image.png](#)
[image.png](#)
[image.png](#)
[image.png](#)
[image.png](#)
[Fall Housing Conversations.pdf](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Abby,

We're holding two housing conversations in the region this fall. We want to make sure that all 38 CROC municipalites can send at least one local leader/commissioner and hope you can help **by sharing the flyer with your land use boards and commissions**, including Planning and Zoning Commission, Economic Development Commission, Affordable Housing Committee, Inland Wetlands and Watercourses Commission, and others. The meetings are the same - just held on different dates and locations.

I've attached a meeting flyer and key links are below.

- Project webpage with details: <https://crocogct.gov/regional-planning-and-development/housing/regional-housing-strategy/>
- Register for Sept. 24 meeting in Southington: <https://lp.constantcontactpages.com/ev/reg/u6vtypv>
- Register for Oct. 16 meeting in East Hartford: <https://lp.constantcontactpages.com/ev/reg/qzvntq4>

Members of the public are also welcome to attend the meetings. Please share as you see fit!

I'd be happy to answer questions or provide additional information. Thank you.

Heidi

Heidi Samokar, AICP
Principal Planner

LET'S TALK HOUSING!

An open conversation on the future of homes, affordability, and expanding choice in the Capitol Region



Join us for a dynamic discussion on housing in the Greater Hartford region. Voice your ideas and insights to help address the critical housing issues facing our region's cities and towns. The evening will include interactive discussions and hands-on activities, followed by a brief presentation on housing and market data. **Register for the date and location that works best for you.** We look forward to seeing you!

Wednesday, Sept. 24, 2025

7-8:30 pm

Memorial Hall, First Congregational Church
37 Main Street, Southington, CT



Thursday, Oct. 16, 2025

7-8:30 pm

Community Room, Goodwin University
1 Riverside Drive, East Hartford, CT

Register using the QR codes above or visit the project webpage:
<https://tinyurl.com/crcogHousingMeeting>



Contact: Heidi
hsamokar@crcogct.gov
(860)724-4282

