

AGENDA
Regular Hybrid Meeting
Town of Granby
Planning & Zoning Commission
Tuesday, July 22, 2025, at 7:00 pm
Town Hall Meeting Room

Live Stream under “Shows and Spotlight”: www.gctv16.org

Zoom: <https://us02web.zoom.us/j/83589846532?pwd=ksYaOHdXQvIFYbfCk8WU6yMapxflq.1>

Call-In: 1-929-205-6099

Meeting ID: 835 8984 6532

Passcode: 268588

1. Call to Order
2. Pledge of Allegiance
3. Seating of Alternates, if applicable
4. Public session
5. Action on the minutes of July 8, 2025
6. Public Hearings
 - a. Application seeking a 7-lot subdivision, Breezy Meadow, for property located at 188 Day Street, R30 and R50 Zones: File P-1-25. (Continued from 7/8/25)
7. Receive applications and schedule public hearing (if applicable)
8. Consideration of applications, where the Commission has concluded the public hearing
9. Staff Report and Correspondence
10. Commissioner Reports and Correspondence
11. Adjourn

Please note: The Town of Granby invites any resident who wishes to provide materials to this Commission to provide them to the Office of Community Development by noon on the prior Thursday of the scheduled meeting. In the event you are unable to meet that deadline but still wish to provide the Commission with materials, the Town of Granby respectfully asks that you provide sufficient copies of your materials to the Office prior to the meeting so the materials may be distributed to the Commission. Thank you in advance for your cooperation.

MEETING MINUTES
Town of Granby
Planning & Zoning Commission
Tuesday, July 8, 2025, at 7:00 pm

Present: Eric Lukingbeal, Christine Chinni, Mark Lockwood, Eric Myers, Robert Lavitt, Meg Jabaily, and Brennan Sheahan

Absent: Steve Muller and Paula Johnson

Also Present: Director of Community Development Abigail Kenyon and Land Use Coordinator Renee Deltenre

1. Call to Order

Chair Lockwood called the meeting to order at 7:00 p.m.

2. Pledge of Allegiance

3. Seating of Alternates, if applicable

M. Jabaily was seated for S. Muller.

4. Public Session

None

5. Action on the minutes of June 24, 2025

ON A MOTION by E. Lukingbeal seconded by R. Lavitt, the Commission voted (5-0-2) to approve the June 24, 2025, minutes as presented. E. Myers and M. Jabaily abstained.

6. Public Hearings

a. Application seeking a 7-lot subdivision, Breezy Meadow, for property located at 188 Day Street, R30 and R50 Zones: File P-1-25.

Professional Engineer Christian Alford of Alford Associates, Inc. was present to discuss the application on behalf of the applicant. The applicant is proposing a 7-lot, single-family home subdivision at 188 Day Street, which consists of 15.63 acres. The property consists of two different zones (R50 and R30) and has 965 feet of frontage on Day Street and 545 feet of frontage on North Granby Road. Soil testing has been completed, indicating that the sandy/gravel soils are suitable for on-site septic systems. The property slopes from the west to the east, consisting primarily of open fields with some wooded areas along the road frontage and property boundaries.

Wetlands are located at the southwestern corner (wetland #1) and northeastern corner (wetland #2) of the property, and to satisfy the open space requirement, 3.55 acres on the eastern side of the property are shown to be open space. Wetland #1 consists of .43 acres and consists of a 150-foot-long watercourse that enters the property from the west and Wetland #2 consists of 0.09 acres and is located within the proposed open space parcel. Due to the location of mapped wetlands along the frontage of lots 6 and 7, the driveway serving said lots is shown to be constructed on lot 5.

As part of the Inland Wetlands and Watercourses Commission approval received on May 22, 2025, a Conservation Restriction area has been established to protect the existing wetlands at the southwest corner of the property. The applicant is seeking a waiver of Subdivision Regulations Section 3.1.4.1.5, to allow a reduction of the required visual streetscape buffer to 30' on lots 1-4 and 20' on lot 3 where it has frontage on Day Street. Lots 5-6 have the Conservation Restriction that allows for a greater buffer. A. Kenyon asked the Commission to consider the proposed streetscape buffer, and the applicability of the conditions outlined within the regulations. Draft easements regarding drainage, utilities, access, and the Conservation Restriction have been submitted and require review, and further review by the Town Engineer is required at this time.

The Commission deliberated on the application and provided feedback. M. Lockwood expressed concerns regarding the layout of the subdivision, focusing on the proposed driveway access and configuration on lot 5, including a shared driveway, and potential conflicts. E. Lukingbeal discussed the lack of screening along Day Street and requested that the applicant submit a planting plan, with the recommendation that Red Sunset Maples be utilized within the streetscape buffer area. C. Chinni questioned why the feedback received at the informal meeting last November was not considered prior to submission of the application.

Public Comment

Dana Warren of 10 Day Street South expressed concerns regarding the number of lots proposed on the property due to existing site conditions and stated that access to the Open Space parcel should be accessible to the public and not located on a state highway.

There was a general consensus among the Commission that the orientation of the lots shall be reconsidered in order to address concerns on lot 5, a planting plan be submitted, and more specificity be given regarding the request for a reduction of the visual streetscape buffer. The public hearing was continued to the next regular meeting.

b. Application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation for properties located at 67/87/95B Notch Road, R50 Zone: File Z-11-25.

Hal Pierce and Land Surveyor Brian Denno were present to discuss the application. The applicant is seeking to renew an existing earth excavation permit that was originally approved by the Commission in 2021 for the removal of 700,000 yards of material from the three properties, and then renewed in 2023. Since the last renewal, one of the houses, a barn and a silage bin have been demolished and 86,400 yards of material removed, for a total of 237,800 yards removed to date. Phase One has been completed and Phase Two is underway. The applicant is requesting two modifications from the original approval to include preserving the house closest to Notch Road, and grading changes in the area adjacent to Notch Road that would benefit future farming activities. Even with the proposed modifications, the total amount of material to be removed remains the same at 700,000 yards. A. Kenyon indicated that the Town Engineer's comments have been addressed and there was no public comment. The public hearing closed at 8:04 p.m.

- c. **Application seeking a Special Permit under Zoning Regulations Sections 8.3 and 8.16 for a restaurant serving alcoholic beverages for property located at 9 Bank Street, Unit H, COCE Zone: File Z-13-25.**

Applicants/business owners Julien Tessier and Chris Peregrin were present via Zoom to discuss the application. As the owners of Julien's Farm Store located on Barn Door Hills Road, they are looking to establish a second location in order to expand their business operation and ease the burden on the existing location. The proposed unit consists of 4,000 square feet and would be renovated to include a dining area, counter service in the front, kitchen, and prep kitchen with an office and cooler/freezer to the rear. The restaurant would offer freshly baked goods, a grab-and-go section for soups, salads, etc., and host a weekly pizza night, during which alcohol would be offered. There is adequate parking available, and the restaurant would utilize the existing designated trash disposal area/system. There are no exterior modifications or site improvements proposed at this time. The hours of operation requested are 7am to 7pm, Tuesday through Sunday; however, the Commission discussed expanding the hours to 6am to 11pm, seven days a week in order to provide greater flexibility. There was no public comment, and the public hearing closed at 8:19 p.m.

- d. **Application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation for property located at 536 Salmon Brook Street, I/R30/R50 Zone: File Z-14-25.**

Professional Engineer Daniel Jameson of Design Professionals, Inc. and Tilcon Representative Chris Costello were present to discuss the application. Earth removal from this site has been occurring since 1955, and the applicant is seeking to renew an existing earth excavation permit that was last renewed by the Commission in 2023. No modifications to the original approval were proposed and A. Kenyon indicated that all comments from the Town Engineer have addressed. There was no public comment, and the public hearing closed at 8:24 p.m.

E. Lukingbeal recused himself 8:25 p.m.

7. **Application seeking a Site Plan Modification to install a 160 square foot recycling station for property located at 124 Salmon Brook Street, Stop and Shop, C2 Zone: File Z-12-25.**

- a. **Applicant Presentation**

CLYNK Chief of Staff Dan Kiley was present via Zoom on behalf of the applicant to discuss the application. The applicant is seeking approval to install an 8'x20'x8'9" prefabricated recycling station that operates on solar and wind power. The unit will be situated at the northern portion of the Stop & Shop parking lot adjacent to Hunt Glen. No site modifications are required to accommodate the unit, as it does not require utility connections. CLYNK operates as an agent under Stop & Shop's state license and accepts all qualified redeemable products. The unit is emptied every two days, and the surrounding area is maintained by both CLYNK and Stop & Shop. There is exterior low-voltage lighting that is dark sky compliant and follows the same operating hours of the store. A. Kenyon spoke with colleagues from Windsor and Simsbury where these units exist and noted that no issues have been reported.

b. Public Comment

Dana Warren of 10 Day Street South described her experience using CLYNK while visiting Maine and stated that she enjoyed the ease of use once she understood the process. She also indicated that the surrounding area could become unsightly quickly if not maintained and monitored.

c. Commission Consideration

B. Sheahan questioned whether the use is accessory to the grocery store, to which staff stated that this recycling station is intended to replace the existing bottle/can redemption area within Stop & Shop. There was a general consensus among the Commission that the use remains the same, simply in a different location on site. The current bottle/can redemption area within the store is not ideal and this unit will be more efficient.

ON A MOTION by C. Chinni seconded by E. Myers, the Commission voted (6-0-0) to approve an application seeking a Site Plan Modification to install a 160 square foot recycling station for property located at 124 Salmon Brook Street, Stop and Shop, C2 Zone: File Z-12-25, as presented.

E. Lukingbeal was reseated at 8:56 p.m.

8. Receive applications and schedule public hearing (if applicable)

None

9. Consideration of applications, where the Commission has concluded the public hearing

a. Application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation for properties located at 67/87/95B Notch Road, R50 Zone: File Z-11-25.

ON A MOTION by E. Myers seconded by C. Chinni, the Commission voted (7-0-0) to approve an application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation for properties located at 67/87/95B Notch Road, R50 Zone: File Z-11-25, subject to the following conditions:

- 1) Plans shall be updated to reflect changes that were made after submission; specifically, changing the grade from 6:1 to 12:1 where indicated.
- 2) Approval is subject to the Town Engineer's final review and sign-off.
- 3) All previous conditions as noted in the Special Permit filed in the Granby Land Records in Volume 451 Page 881-883 remain in effect with the exception of the expiration date, which shall be two years from issuance.
- 4) The performance bond shall be extended for the duration of the permit.

b. Application seeking a Special Permit under Zoning Regulations Sections 8.3 and 8.16 for a restaurant serving alcoholic beverages for property located at 9 Bank Street, Unit H, COCE Zone: File Z-13-25.

ON A MOTION by E. Myers seconded by E. Lukingbeal, the Commission voted (7-0-0) to approve an application seeking a Special Permit under Zoning Regulations Sections 8.3 and 8.16 for a restaurant serving alcoholic beverages for property located at 9 Bank Street, Unit H, COCE Zone: File Z-13-25, subject to the following conditions:

- 1) No outdoor dining or outdoor music/entertainment is permitted as part of this application.
- 2) Hours of operation are 6am to 11pm, seven days a week.
- 3) Applicant shall use the existing designated trash disposal area without modification, assist with maintenance of said dumpster enclosure, and increase the frequency of pickup as needed in conjunction with volume.

c. Application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation for property located at 536 Salmon Brook Street, I/R30/R50 Zone: File Z-14-25.

ON A MOTION by E. Myers seconded by C. Chinni, the Commission voted (7-0-0) to approve an application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation for property located at 536 Salmon Brook Street, I/R30/R50 Zone: File Z-14-25, subject to the following conditions:

- 1) The bond and maps must be updated and renewed for the period of the permit.
- 2) All other conditions previously attached to the permit as applicable.
- 3) Permit is valid for a period of two years.

10. Commission discussion: Plan of Conservation and Development Committee, Member Composition

A. Kenyon listed the members that volunteered to join from the other town boards/commissions and in advance of the meeting, provided the Commission with the applications that were received from the public. The Commission briefly discussed and made their recommendations.

ON A MOTION by E. Myers seconded by E. Lukingbeal, the Commission voted (7-0-0) to appoint Peggy Chapple, Ken Kuhl, Christine Chinni, Mark Lockwood, Brennan Sheahan, and James Szipszky to the POCD Committee.

ON A MOTION by B. Sheahan seconded by E. Lukingbeal, the Commission voted (7-0-0) to appoint Ken Rohde, Bill Ross, Mark Kennedy, and Jean Donihee-Perron to the POCD Committee.

ON A MOTION by E. Lukingbeal seconded by E. Myers, the Commission voted (7-0-0) to appoint Christine Chinni and Mark Lockwood as Co-Chairs to the POCD Committee.

11. Staff Report and Correspondence

None

12. Commissioner Reports and Correspondence

None

13. **Adjourn**

ON A MOTION by E. Lukingbeal seconded by E. Myers, the Commission voted (7-0-0) to adjourn the meeting at 9:11 p.m.

Respectfully submitted,

Renee Deltenre

TOWN OF GRANBY

MEMORANDUM

TO: Planning and Zoning Commission

CC: Kirk MacNaughton, Skip Alford

FROM: Abby Kenyon, Director of Community Development

DATE: July 17, 2025

RE: Application seeking a 7-lot subdivision, Breezy Meadow, for property located at 188 Day Street, R30 and R50 Zones: File P-1-25.

The applicant is applying for a 7-lot subdivision at 188 Day Street. The property is just over 15.5 acres and is in the R30 and R50 Zones, with frontage along both Day Street and North Granby Road. As shown on the subdivision plans, there would be five lots with access onto Day Street and two lots with access onto North Granby Road.

Since the last meeting, revised plans have been received. Revisions to the plans include the shifting of lot lines for the lots along Day Street, which has removed the shared driveway to lots 6 and 7 from lot 5. The shared driveway is now located on lot 6. A Vegetation Preservation/Planting Plan has also been provided (refer to Sheet VPPP-1 in the plan set) that specifies the vegetation to be planted.

Please refer to the following for further consideration:

Open Space

To comply with the open space requirement, which requires 20% of the property be dedicated open space, the applicant is proposing 3.748 acres of dedicated open space. This dedicated open space would be located to the east of the proposed lots and as outlined in the applicant's letter, is proposed to be deeded to the Town. The proposed open space complies with the subdivision regulations.

Visual Streetscape Buffer

Subdivision Regulations Section 3.1.4.1.5 requires a visual streetscape buffer. Specifically, "A visual streetscape buffer shall be established whenever subdivisions are proposed which have access or create new lots on any street, existing within the Town on 1/1/2000. The streetscape buffer shall stretch along the entire street frontage of the property, adjacent to the through street. The streetscape buffer shall extend from the street line, back into the property to a minimum depth equal to the lesser of 50% of the depth (as measured perpendicular from the street line to

the furthest point of the rear property line), or a distance of 500 feet. The depth of the buffer shall be computed based on the configuration of the entire parcel, prior to subdivision. Within the streetscape buffer all existing vegetation shall be preserved, the removal and depositing of earth and other materials shall be prohibited, and all construction activity shall be prohibited, except as specifically approved by the Commission.....

The Commission may reduce the depth of the streetscape buffer where conditions exist which, while preserving the streetscape, lessen the required depth of the buffer. These conditions include, but are not limited to:

- The vertical and horizontal alignment of the roads,
- The quality and quantity of the existing vegetation,
- The quality and quantity of proposed vegetation,
- The existence of natural and geological features, which serve as a buffer,
- The existence of man made and historical features, which serve as a buffer.

The streetscape buffer shall be permanently preserved through the creation of a conservation or similar easement, shown on the approved subdivision map and/or by deeded the fee or easement to an approved entity.”

The property measures just over 700 feet from the street line on Day Street to the rear of the property. Therefore, a streetscape buffer of about 350 feet would be required. The submitted plans show a proposed buffer of 30 feet along lots 1, 2, 3, 4, and 5. It should be noted that Lot 3 also shows a 20-foot buffer adjacent to Day Street. Lots 6 and 7 have a conservation restriction area associated with the mapped wetlands. Therefore, the actual buffer area for those two lots is greater—about 125 feet on lot 6 and 160 feet on lot 7. At the previous meeting, the Commission asked the applicant to consider the streetscape buffer in more detail and provide additional vegetation. The revised plans show three red sunset maples to be planted on lot 5 within the streetscape buffer.

Photos of the current streetscape are attached for reference.

Easements

It should be noted that there are several easements shown in the subdivision plans, including the conservation easement restriction, visual streetscape buffer, access and utilities easement (lots 6 and 7), drainage easement, and unrestricted right to drain. There would also need to be a shared driveway agreement between lots 6 and 7 if the current configuration remains. Draft easements were previously provided for review. These will have to be updated to reflect the revised layout.

Staff Comments

Below are staff comments / items for further discussion:

1. Subdivision Regulations Section 2.2.20: Add the frontage requirement and what is provided to the zoning compliance table.
2. Subdivision Regulations Sections 3.1.4.1.2: “a minimum of three (3) trees within the front yard of each lot to be planted or preserved. Each tree shall have a minimum caliper of three and one-half (3.5) inches.” Provide information to demonstrate compliance or show trees to be planted to comply.

- a. Lot 1: Three trees may be needed.
 - b. Lots 2 and 3: Are there three trees preserved outside the streetscape buffer area?
Note this.
 - c. Lots 4, 5, and 7: Three trees needed.
 - d. Lot 6: Three sunset maples shown in the front yard, along the driveway.
- Note that the front yard tree requirement is separate from the streetscape buffer requirement. Any trees planted or proposed within the streetscape buffer area would not count toward the three trees in the front yard.
3. Sheet VPPP-1: The clearing area is color coded, which is helpful, but for the mylars, it should be labeled the vegetation to remain and what will be removed.
 4. Subdivision Regulations Section 3.2.5 Lot Dimensions: “....Side lot lines shall generally be at right angles to street lines....” The side lot lines for Lots 1 and 3 are not at right angles, however given the configuration/establishment of the abutting properties, it is understood a right angle would not be possible. The side lot line between lots 4 and 5 and the line between lots 5 and 6 however should be more closely examined to determine if the lines can be arranged to comply with Subdivision Regulations Section 3.2.5.
 5. The plan set addresses conservation placards to be installed prior to C/O on the lot. However, requirements for marking the streetscape buffer should also be noted on the plan set.

Considerations

If the above items are resolved, below are typical provisions outlined in a subdivision approval as well as some provisions specific to this application:

1. All easement language must be finalized, approved, and filed on the land records prior to the filing of the mylars.
2. All easements shall be shown on individual plot plans and referenced in the deeds.
3. No building permit for any lot shall be issued until the open space as shown on the approved subdivision plan is deeded to the Town of Granby.
4. Conservation/Streetscape Buffer placards shall be installed prior to C/O on each lot. The design of the placards shall be submitted to the Director of Community Development for review and approval. The placards shall be located approximately 50-feet apart, or at closer intervals if needed, to clearly delineate the easement area on each lot. The placards are to be affixed to a 4” x 4” wooden post. If the placards are to be affixed to an existing or proposed tree, or displayed in some other manner, the proposal must be submitted to the Director of Community Development for review and approval prior to installation.
5. The applicant shall reimburse the Town of Granby for all payments made to the Town Engineer for monitoring the construction for compliance with this approval. The applicant will reimburse the Town at a rate of \$120 per hour for the services of the Town Engineer. The applicant shall deposit with the Town of Granby the sum of \$3,000 to be applied to

the costs as described herein. Should the costs exceed this amount the applicant will be billed for the difference. Any funds not used for the project will be remitted to the applicant at the conclusion of the project. As used in this condition, the term Town Engineer includes any person or firm so designated by the Town Engineer or the Director of Community Development. The required funds shall be deposited with the Town of Granby prior to the filing of the mylars.

6. An access, inspection and repair agreement and a \$1,000 cash bond for each lot shall be required to ensure that the Erosion and Sediment Control Plan is installed, maintained and functions as proposed for each individual building lot as outlined in Section 8.7.7 of the Zoning Regulations.
7. All Town Engineer comments outlined in the June 27, 2025 plan review memo must be addressed and resolved, and the plans updated accordingly prior to finalization.
8. The final mylar shall be modified to comply with the requirements outlined herein, prior to execution by the Commission.

It should also be noted that the applicant has been asked to review the applicable streetscape buffer regulation and provide information about the conditions outlined in the regulation to reduce the depth for the Commission's consideration. If the Commission is inclined to approve the reduced streetscape buffer, it must specifically discuss/state the reason for the reduction.

Day Street Streetscape

#1 View looking south: lots 3 and 4 behind wooded area

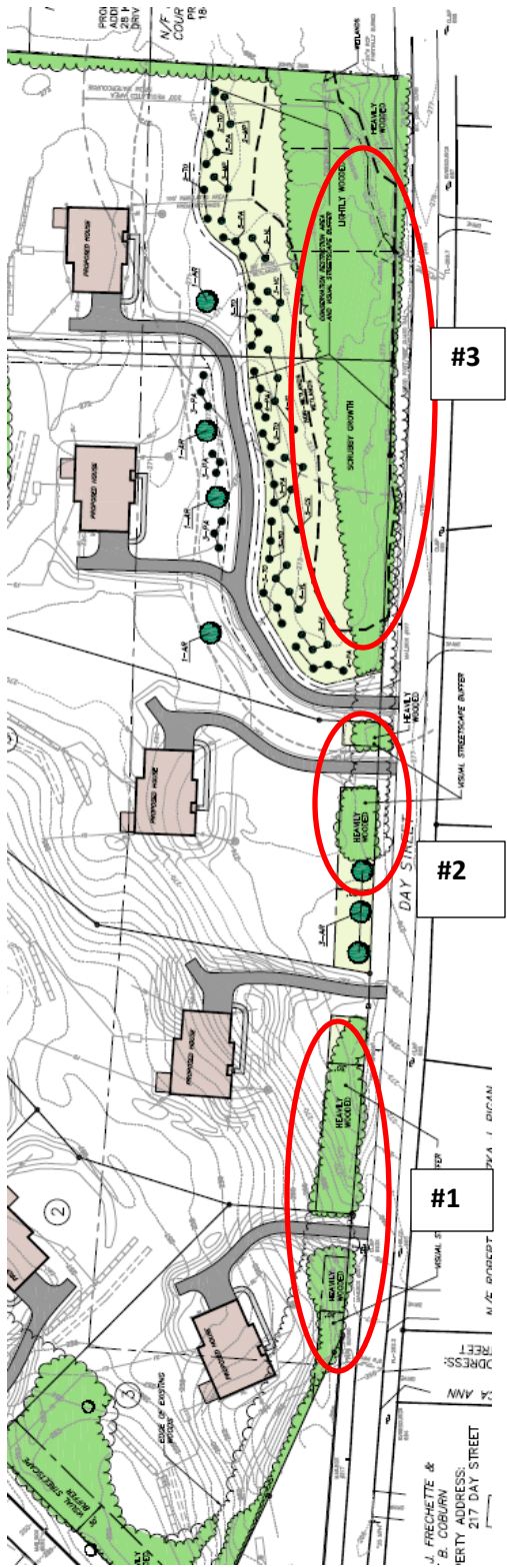


#2 View looking south: cleared area includes part of lot 4 where driveway is proposed and lot 5
Tree/vegetated area is the “heavily wooded” area marked on lot 5 on VPPP-1



#3 View looking south: “scrubby growth area” marked on lots 6 and 7 on VPPP-1 (wetland area)





Kevin Clark, PEL
Town Engineer
Town of Granby
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Cell (860) 559-1902
E-MAIL: townengineer@granby-ct.gov

Subdivision Application Plan Review

July 17, 2025

Breezy Meadow Subdivision, Prepared for Peak Mountain Development, LLC, 188 Day Street, December 23, 2024, Sheets: SD-1, GR-1, GR-2 E&SC-1, E&SC-2, Notes-1, Alford Associates, Inc., last revised 7/15/25.”

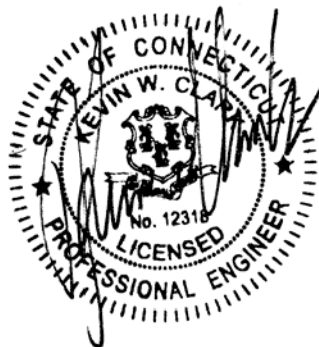
Sheets GR-1, 2, &3

1. If possible, reduce the length of the swale on the west side of lot 3. Raising the house elevation may be beneficial. Long swales can be difficult for a homeowner to maintain.
2. Eliminate swale on north side of driveway to lot 6. Allow water to sheet drain across the lawn area.
3. Rain gardens (shallow basin at roof infiltration systems) still shown on the plans. Eliminate to allow for sheet drainage and remove from detail sheet.
4. Verify line-of-sight for driveway to Lot 3.
5. Plans to be revised as necessary to comply with FVHD letter dated 7/7/25. Resubmit to FVHD and submit final approval letter.

Drainage:

13. Reprint page 1 of the Hydraflow Report. The drainage schematic does not appear on the sheet.
14. Eliminate the rain garden/basins shown on lots 1,2,3,5, and 6. Stormwater from non-impervious areas should be allowed to sheet drain. Infiltration systems for the roof drains shall be sized according to the manufacturer's instructions. Soil test holes may be required at or in the vicinity of the infiltration areas if the excavation for the basements show a different soil profile.

by: Kevin Clark, PEL, Town Engineer



Public Comment

From: [Peggy Lareau](#)
To: [Abigail Kenyon](#)
Subject: common driveways; driveways over other lots; easements
Date: Wednesday, July 16, 2025 2:58:55 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

P & Z Commissioners

I have not accessed fully the videos and packets as to the 188 Day Street proposed development of Mr. McNaughton to get all the details, and I am actually a little confused. I do know "some" things from the minutes and Wetlands proceedings. hopefully I have it right that one of the driveways is proposed to cut across another lot entirely. I'm unclear whether the driveway across Lot 5 goes on to serve both Lots 6 and , as well as Lot 5. I weigh in on two angles: 1) that arrangement in **this** proposed development and 2) the Town-wide policy for the future. I urge the Commission not to approve that driveway arrangement in this instance, which seems to be of concern to the commission already, and I hope the Town and P & Z discourage shared driveways and cross-lot arrangements. So here's my letter- I will be traveling out of state on your next meeting date.

1. The 118 Day Street proposal.

I know from experience that shared driveways and driveways crossing other property owners lots are mostly a bad idea for the homeowner. We (J & P Lareau) lucked out in having good neighbors who own a front lot and we have a rear lot behind it; we share a length of common driveway via an easement on our lot. What could have become a big problem stemming from misunderstanding the property arrangement and respective rights in this setting was resolved by discussion, reasonable minds and long term "good neighbor behavior " these 30 years. As to other issues, things have been smooth as both parties having the funds to deal with driveway maintenance topics. Not everyone may be as lucky and instead buy problems. There is no reason to set up property owners up for conflict and problems as I believe the driveway serving 2-3 lots in the Day Street proposal will do. This arrangement only serves the interest of the developer to squeeze in more lots so please do not permit that at the expense of the public/property owners long term interests.

The issues that can- and likely will- arise between the two lot owners (now or future) are:

- plowing;
- driveway maintenance;
- one or the other owner bringing heavy equipment over the driveway in later years;
- trees, shrubs, vegetation and grass along the edges-- maintenance and rights;
- the real potential for tricky issues involving "adverse possession" when one property owner over a long period is conducting activities on land actually belonging to the other property owner, a matter that easily arises in these common driveway/easement situations.**

So please don't approve the contorted arrangement proposed for 188 Day street.

2. General Policy

Once upon a time, the attraction for developments with shared driveways and easements

sprang in part from trying to avoid carving up a property with roads and potentially more houses to pay for the roads. It also helped fit in more houses with "frontage" requirements and especially in oddly configured parcels or those with steep or irregular terrain . It also helped developers avoid road costs, and unfortunately also led to private roads with the attendant perpetual burden on property owners to pave the road, maintain it, plow it -- a good deal for the Town as it gets the high tax revenue and supplies reduced Town services.(I don't know if school buses currently serve some of our long private roads.)

But given the problems I identify in #1 above, I urge the P & Z commission and the Town (via Office of Community Development to do its best to avoid common driveways. Rear lots - which may be good uses on a parcel being developed --are still feasible in many cases with driveway placement along the edge of a lot, not over one property via an easement. In some cases terrain makes that harder, and reduces the number of lots that are an option. I bet there are some ins and outs that I don't grasp, especially as to frontage requirements.

In view of less land available for development its a bit late in Granby's evolution of home construction, land development and subdivision to help many future property owners. But the Day Street proposal is a good chance to serve the public interest.

Sincerely, Peggy Lareau
17R Reed Hill Rd.
Granby, CT



Farmington Valley Health District

95 River Road, Suite C ▪ Canton, CT 06019
Phone (860) 352-2333 ▪ Fax (860) 352-2542

Avon • Barkhamsted • Canton • Colebrook • East Granby • Farmington • Granby • Hartland • New Hartford • Simsbury

July 7, 2025

To: Abigail Kenyon, Director of Community Development

From: Kristin Kula, Registered Sanitarian *JK*

Re: Breezy Meadow Subdivision. Plan Date: 12/23/2024, Revised: 2/10/2025, 4/2/2025, 4/25/2025, 5/12/2025, 6/4/2025

This office has received plans from Alford Associates for the above referenced 7 lot subdivision.

All of the lots have conditions suitable for the installation of septic systems and wells in accordance with the Connecticut Public Health Code, however, minor revisions will be needed. All septic systems must be 25' from any swale or drainage system.

Please call with any questions.

Cc: Alford Associates

TOWN OF GRANBY
Incorporated 1786
15 North Granby Road
Granby, Connecticut 06035-2102
860-844-5318

May 29, 2025

Kirk MacNaughton
Peak Mountain Development, LLC
P.O. Box 270
East Granby, CT 06026

Re: 188 Day Street – Kirk MacNaughton c/o Peak Mountain Development, LLC – Permit application for a 7-lot single family residential subdivision and associated site work within a regulated area.

Dear Mr. MacNaughton:

Please be advised that on May 22, 2025, the Inland Wetlands and Watercourses Commission (IWWC) approved the subject application in accordance with the following documentation:

1. Breezy Meadow Subdivision; 188 Day Street; Prepared by Alford Associates, Inc.; Prepared for Peak Mountain Development, LLC; Dated 12/23/24; Revised 5/12/25; 8 Sheets
2. Drainage Summary; Prepared by Alford Associates, Inc.; Dated 12/30/24; Revised 4/5/25
3. Wetland and Watercourse Delineation Report; Prepared by Ian Cole, LLC; dated 10/3/24; Revised 3/26/25
4. Invasive Species Management Plan; Received 4/23/25
5. Application dated 1/2/25 and all other corresponding materials.

The following are the conditions of this approval.

1. All construction activities shall be coordinated through the Office of Community Development.
2. The Office of Community Development shall be notified:
 - a. At least 48 hours prior to the start of any activities and when barrier erosion controls have been installed prior to earth disturbance activities.
 - b. Upon the installation of the Conservation Restriction Area plantings.
 - c. Upon completion of construction and site stabilization, the IWWC shall be notified in writing that work is complete, and a final inspection may be completed at that time.
3. Prior to the start of work, a copy of the Stormwater Pollution Prevention Plan (SWPPP), or similar plan as may be required by the CT General Permit for Discharge of Stormwater and Dewatering Wastewaters from Construction Activities, shall be submitted to the Office of Community Development.
4. The applicant shall reimburse the Town of Granby for all payments made to the Town Wetlands Officer for monitoring the development for compliance with this approval. The applicant will reimburse the Town at a rate of \$100 per hour for the services of the Town Wetlands Officer or other designated expert. The applicant shall deposit with the Town of Granby the sum of \$8,000 to be applied to the costs as described herein. Should the costs exceed this amount, the applicant will be billed for the

difference. Any funds not used for the project will be remitted to the applicant at the conclusion of the project. As used in this context, the term “Town Wetlands Officer” includes any person or firm so designated by the Director of Community Development for the purposes of monitoring the development activities to assure compliance with this approval and the IWWC Regulations.

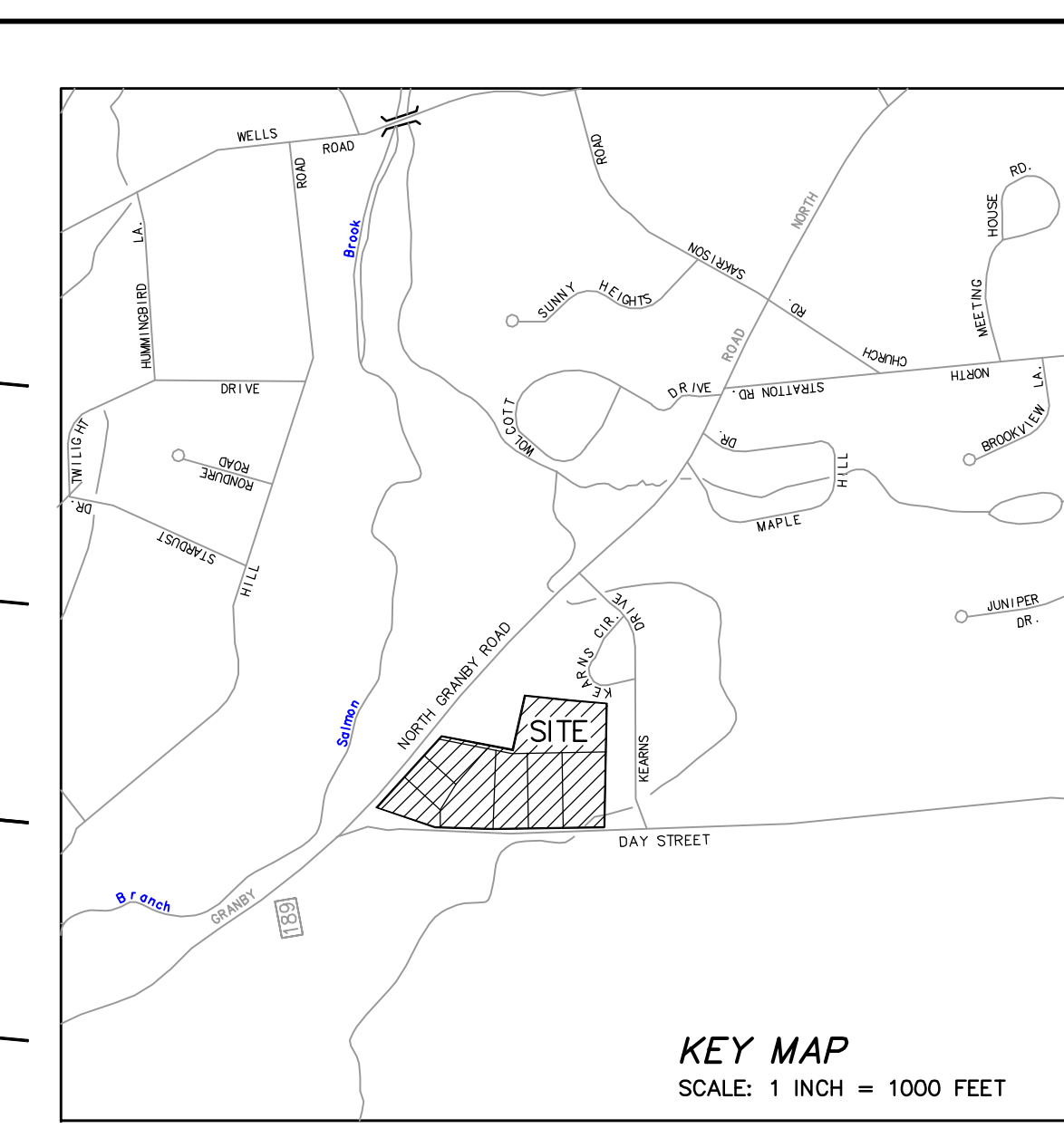
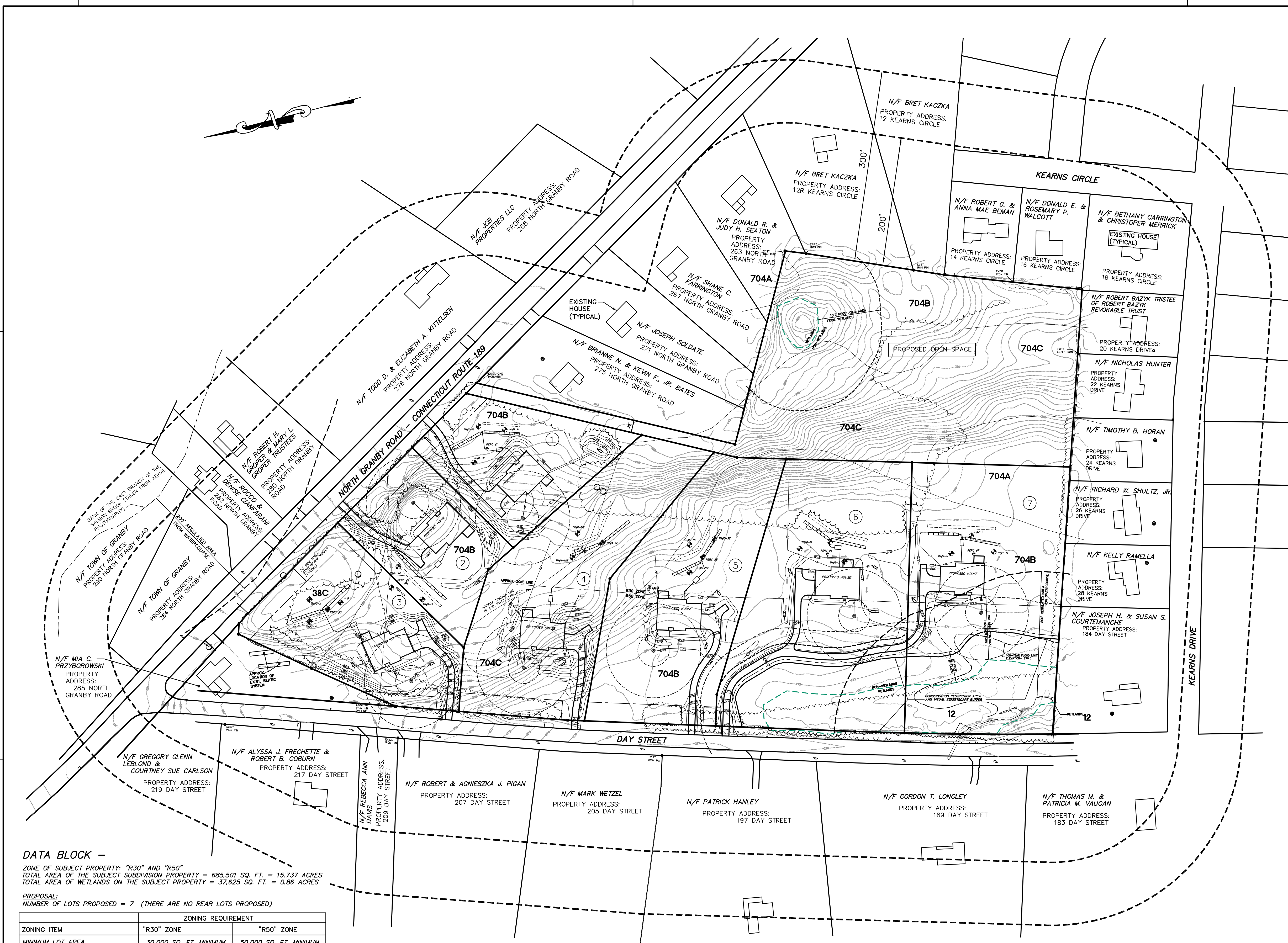
5. All work shall be in conformance with the project plans as referenced above. Any modifications to the approved plans must be approved by the Granby Inland Wetlands and Watercourses Commission or their designated Agent. This includes when plot plans are submitted the individual lots, if the proposed improvements / area of disturbance differ from the work shown on the approved plans, modifications must be approved by the Granby Inland Wetlands and Watercourses Commission or their designated Agent.
6. A Conservation Restriction Area shall be established as approved by the IWWC or their designated Agent and Town Council which shall be in kind to the applicants emails submission on 6/11/25 with the attached document entitled “Breezy Meadow Declaration of Conservation Restrictions and Covenants”.
7. A stockpile of erosion controls shall always remain on-site, and erosion controls shall remain in place until site is permanently stabilized. The Town of Granby shall interpret permanent stabilization to be 70% germination of permanent vegetation over 90% of the area.
8. Excavated soil shall not be brought off-property without the notification and approval of the Office of Community Development. The applicant shall supply the destination in writing for any excavated soil removed from the property.
9. The Conservation Restriction Area and associated activities shall be completed, including plantings, upon or before the first building permit for the subdivision is issued. This requirement is in response to the 2-year monitoring period of the area/plantings. The goal of this condition of approval, is to aid in preventing the Conservation Restriction Area activities needing to be completed/coordinated by 3 separate homeowners/contractors, if possible.
10. As part of the comprehensive subdivision stormwater management review process, the proposed grading shown to convey water flow between lots 5-7 shall be confirmed by the Town Engineer to not have a probability for erosion of the steep slope gradient to the west. Noting that Wetland #2 is located at the base of this slope. If any probability found, the area shall be designed in a manner that prohibits the potential for erosion and preserves the integrity of the slope.
11. This permit shall be considered valid for a period of 5-years from the date of issuance.

Please provide a Mylar copy of the approved maps to the Office of Community Development for the signature of the Inland Wetlands and Watercourses Commission’s Chair at your earliest convenience. Once the approved Mylars are signed by the Commission’s Chair, you will need to file it in the office of the Town Clerk.

If you have any questions, please call the Office of Community Development at your earliest convenience.

Sincerely,

John Laudati
Granby IWWC Chairman



SOIL TYPES -

SOIL TYPES ARE TAKEN FROM THE WEB SOIL SURVEY, PREPARED BY USDA NATURAL RESOURCES CONSERVATION SERVICE

Map Unit Symbol	Map Unit Name
12	Raypol silt loam, 0 to 3 percent slopes
38C	Hinkley loamy sand, 3 to 15 percent slopes
704A	Enfield silt loam, 0 to 3 percent slopes
704B	Enfield silt loam, 3 to 8 percent slopes
704C	Enfield silt loam, 8 to 15 percent slopes

LEGEND:
38C

SOIL TYPE
APPROX. DIVISION LINE
OF SOIL TYPES

SHEET INDEX

SHEET TITLE	SHEET NUMBER
SITE DEVELOPMENT PLAN	SCALE: 1" = 80' SD-1
RECORD SUBDIVISION MAP	SCALE: 1" = 40' SUB-1 & SUB-2
GRADING AND UTILITIES PLAN	SCALE: 1" = 40' GR-1 & GR-2
GRADING PLAN	SCALE: 1" = 20' GR-3
FOR AREA ADJACENT TO WETLANDS ON LOTS 6 AND 7	
VEGETATION PRESERVATION / PLANTING PLAN	SCALE: 1" = 50' VPPP-1
EROSION AND SEDIMENTATION CONTROL PLAN	SCALE: 1" = 40' E&SC-1 & E&SC-2
NOTES AND DETAILS	NOTES-1
NOTES AND DETAILS	NOTES-2
INCLUDES INVASIVE SPECIES MANAGEMENT PLAN	

DATA BLOCK -

ZONE OF SUBJECT PROPERTY: "R30" AND "R50"

TOTAL AREA OF THE SUBJECT SUBDIVISION PROPERTY = 685,501 SQ. FT. = 15.737 ACRES

TOTAL AREA OF WETLANDS ON THE SUBJECT PROPERTY = 37,625 SQ. FT. = 0.86 ACRES

PROPOSAL:

NUMBER OF LOTS PROPOSED = 7 (THERE ARE NO REAR LOTS PROPOSED)

ZONING ITEM	ZONING REQUIREMENT	
	"R30" ZONE	"R50" ZONE
MINIMUM LOT AREA	30,000 SQ. FT. MINIMUM	50,000 SQ. FT. MINIMUM
CONTIGUOUS DEVELOPABLE AREA	30,000 SQ. FT. MINIMUM	35,000 SQ. FT. MINIMUM

NOTES:

1. CONTIGUOUS DEVELOPABLE AREA IS DEFINED AS AN UNINTERRUPTED CONTIGUOUS AREA, WHICH DOES NOT CONTAIN WETLANDS, WATERCOURSES, WATER BODIES, LEDGE OUTCROPPINGS GREATER THAN 20 SQUARE FEET, OR AREAS WITH SLOPES IN EXCESS OF 20% THAT EXTEND 50 LINEAR FEET OR MORE.

2. THERE ARE NO LEDGE OUTCROPPINGS ON THE PROPERTY.

LOT SUMMARY

LOT	LOT AREA (SQ. FT./ACRES)	WETLANDS & WATERCOURSES (SQ. FT.)	20%+ SLOPES** (SQ. FT.)	TOTAL "UNDEVELOPABLE" LAND (WET/WC + SLOPES) (SQ. FT.)	CONTIGUOUS DEVELOPABLE AREA* (SQ. FT.)
1	45,286 / 1.040	0	130	130	45,156
2	40,846 / 0.938	0	2280	2280	38,566
3	57,799 / 1.327	0	0	0	57,799
4	82,683 / 1.898	0	3150	3150	79,533
5	82,027 / 1.883	0	7950	7950	74,077
6	109,591 / 2.516	13,495	2670	16,165	93,426
7	104,021 / 2.388	20,265	0	20,265	83,756

* CONTIGUOUS DEVELOPABLE AREA = LOT AREA MINUS TOTAL "UNDEVELOPABLE LAND"

** AREA OF 20%+ SLOPES IS APPROXIMATE

LOT FRONTAGE -

REQUIREMENT: "R50" ZONE = 200 FEET MINIMUM

"R30" ZONE = 150 FEET MINIMUM

NOTE: "LOT FRONTAGE" IS THE DISTANCE BETWEEN THE SIDE LOT LINES MEASURED AT A DISTANCE FIFTY (50) FEET BACK FROM AND PARALLEL TO THE STREET LINE.

LOT	PROVIDED
LOT 1 (R30)	151.6'
LOT 2 (R30)	168.0'
LOT 3 (ALONG NORTH GRANBY ROAD - R30 ZONE) (ALONG DAY STREET - R30 ZONE & R50 ZONES)	223.4'
LOT 4 (R50)	205.1'
LOT 5 (R50)	201.3'
LOT 6 (R50)	299.5'
LOT 7 (R50)	237.0'

OPEN SPACE SUMMARY -

REQUIREMENT: 20% OR GREATER OF THE COMBINED ACREAGE OF THE LOTS PROPOSED WITHIN THE SUBDIVISION

CALCULATION: TOTAL AREA OF PROPOSED LOTS = 11.989 ACRES

11.989 x 20% = 2.398 ACRES

AT LEAST 50% OF THE OPEN SPACE SHALL BE PRESERVED AS USEABLE OPEN SPACE. USEABLE OPEN SPACE SHALL CONTAIN NO WETLANDS, NO SLOPES IN EXCESS OF 20% THAT EXTEND 50 LINEAR FEET OR MORE AND NO STORM WATER DETENTION FACILITIES.

WETLANDS WITHIN OPEN SPACE = 3870 SQ. FT.

20% SLOPES WITH THE OPEN SPACE = 15,830± SQ. FT.

THERE IS NO STORM WATER DETENTION WITHIN THE OPEN SPACE

3870 + 15,830 = 19,700 SQ. FT. = 0.45± ACRES "NOT USEABLE LAND"

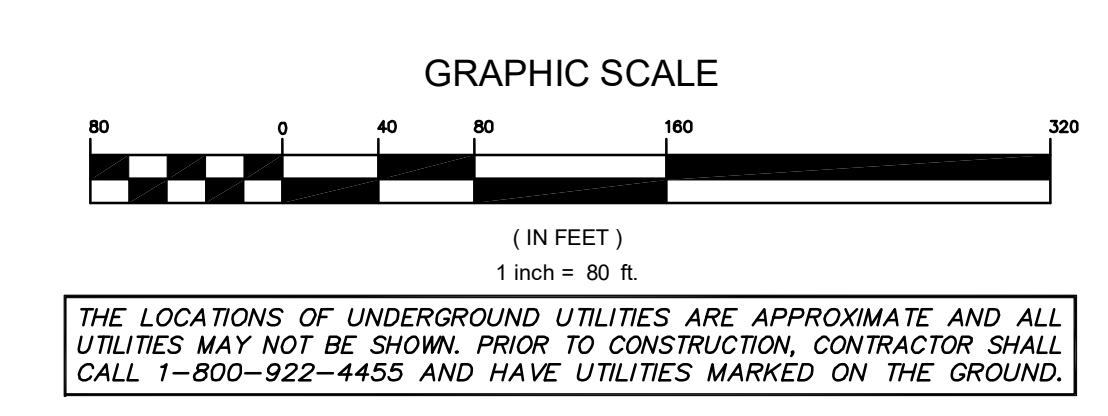
PROVIDED:

OPEN SPACE PARCEL = 3.748 ACRES TOTAL

PORTION WHICH IS CONSIDERED "NOT USEABLE" = 0.45 ACRES

3.748 AC. - 0.45 = 3.30± ACRES

CONSERVATION RESTRICTION AREA = 1.413 ACRES



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

OWNER OF RECORD

BARBARA BRAEM JENSEN
MAILING ADDRESS:
45 BUGBEE ROAD, SOUTHWICK, MA 01077-9707

APPLICANT

PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK MacNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: KIRK@macbuilds.com

7-18-25 INCORPORATED TOWN STAFF COMMENTS

7-15-25 REVISED PROPOSED LOT LAYOUT AND RELATED IMPROVEMENTS

7-2-25 INCORPORATED TOWN STAFF COMMENTS

6-3-25 MISC. REVISIONS

5-12-25 STAFF COMMENTS

4-29-25 REVISED PER COMMENTS FROM KEVIN CLARK, TOWN ENGINEER

4-12-25 REVISED WETLANDS AND PROPOSED IMPROVEMENTS & GRADING

4-2-25 FOR LOTS 5, 6, & 7

2-10-25 AGENT DATED INCORPORATE COMMENTS FROM INHC WETLANDS

DATE

REVISION

STATE OF CONNECTICUT
WILSON M. ALFORD, JR.
No. 9344
LICENSED PROFESSIONAL ENGINEER

STATE OF CONNECTICUT
WILSON M. ALFORD, JR.
No. 9344
LICENSED LAND SURVEYOR

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

Alford ASSOCIATES, INC.

CIVIL ENGINEERS
WINDSOR, CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: DECEMBER 23, 2024

SCALE: 1 IN. = 80 FT.

BREEZY MEADOW SUBDIVISION
SITE DEVELOPMENT PLAN

PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC

GRANBY, CONNECTICUT

188 DAY STREET

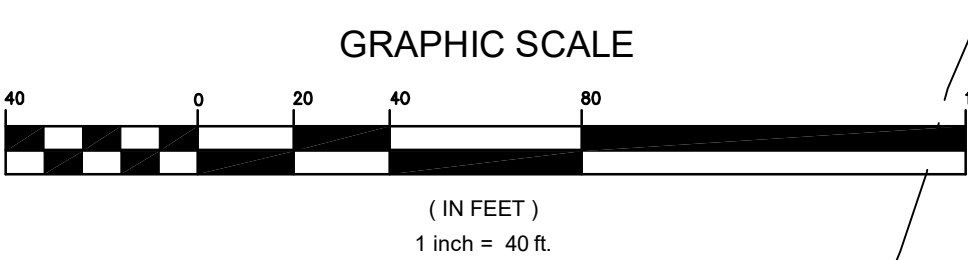
Sheet
SD-1

LEGEND —
PROPOSED:
— STANDARD CONCRETE MERESTONE
— METAL IRON PIN
UNLESS OTHERWISE SHOWN AS A MERE
STONE, ALL PROPOSED LOT CORNERS
ARE TO BE MARKED WITH A METAL PIN
(3/4" DIA. x 30" LONG)
NOTE— ALL MERESTONES AND METAL PINS ARE TO BE
SET PRIOR TO CERTIFICATE OF OCCUPANCY.
CERTIFICATION FROM A LICENSED LAND SURVEYOR STATING
THAT ALL REQUIRED MERESTONES AND PINS HAVE BEEN
INSTALLED AS REQUIRED MUST BE SUBMITTED TO THE
TOWN.

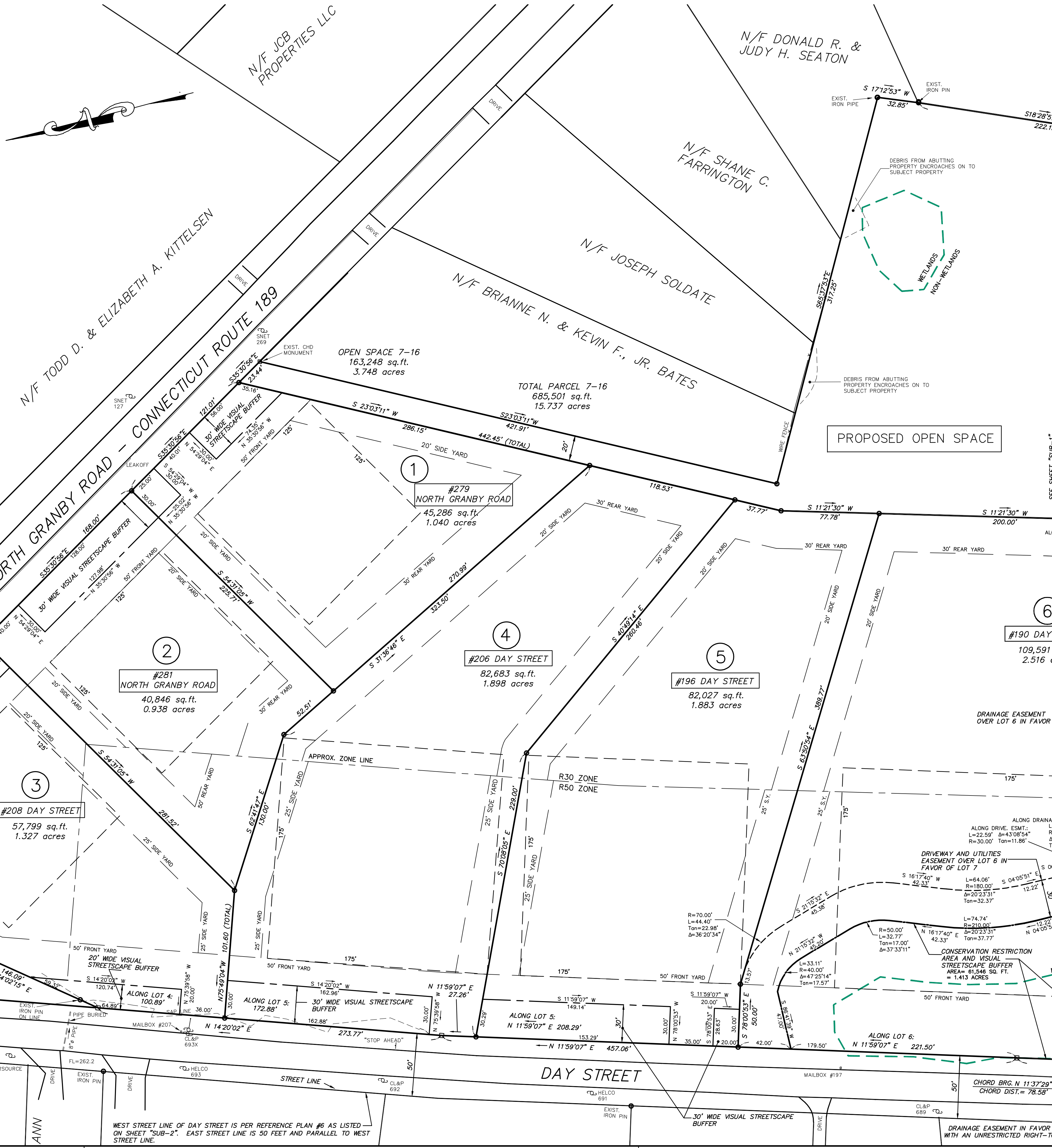
OWNER OF RECORD
BARBARA BRAEM JENSEN
MAILING ADDRESS:
45 BUGBEE ROAD, SOUTHWICK, MA 01077-9707

APPLICANT
PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK McNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: Kirk@MacBuilds.com

SUBDIVISION APPROVAL BLOCK
APPROVED BY THE PLANNING AND ZONING COMMISSION
OF THE TOWN OF GRANBY
AT ITS MEETING ON _____
SIGNED BY: _____ DATE: _____
CHAIRMAN
SECRETARY: _____ DATE: _____
AS DELIVERED TO THE APPLICANT ON
DATE: _____
IN ACCORDANCE WITH STATE STATUE 8-26.
WORK IN CONNECTION WITH THIS SUBDIVISION
MUST BE COMPLETED BY _____



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL
UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL
CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.



STATE OF CONNECTICUT
WILSON M. ALFORD, JR.
No. 9344
LICENSED PROFESSIONAL ENGINEER
STATE OF CONNECTICUT
WILSON M. ALFORD, JR.
No. 9344
LICENSED LAND SURVEYOR

TO THE BEST OF MY
KNOWLEDGE AND BELIEF
THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE
SIGNATURE AND EMBOSSED SEAL.

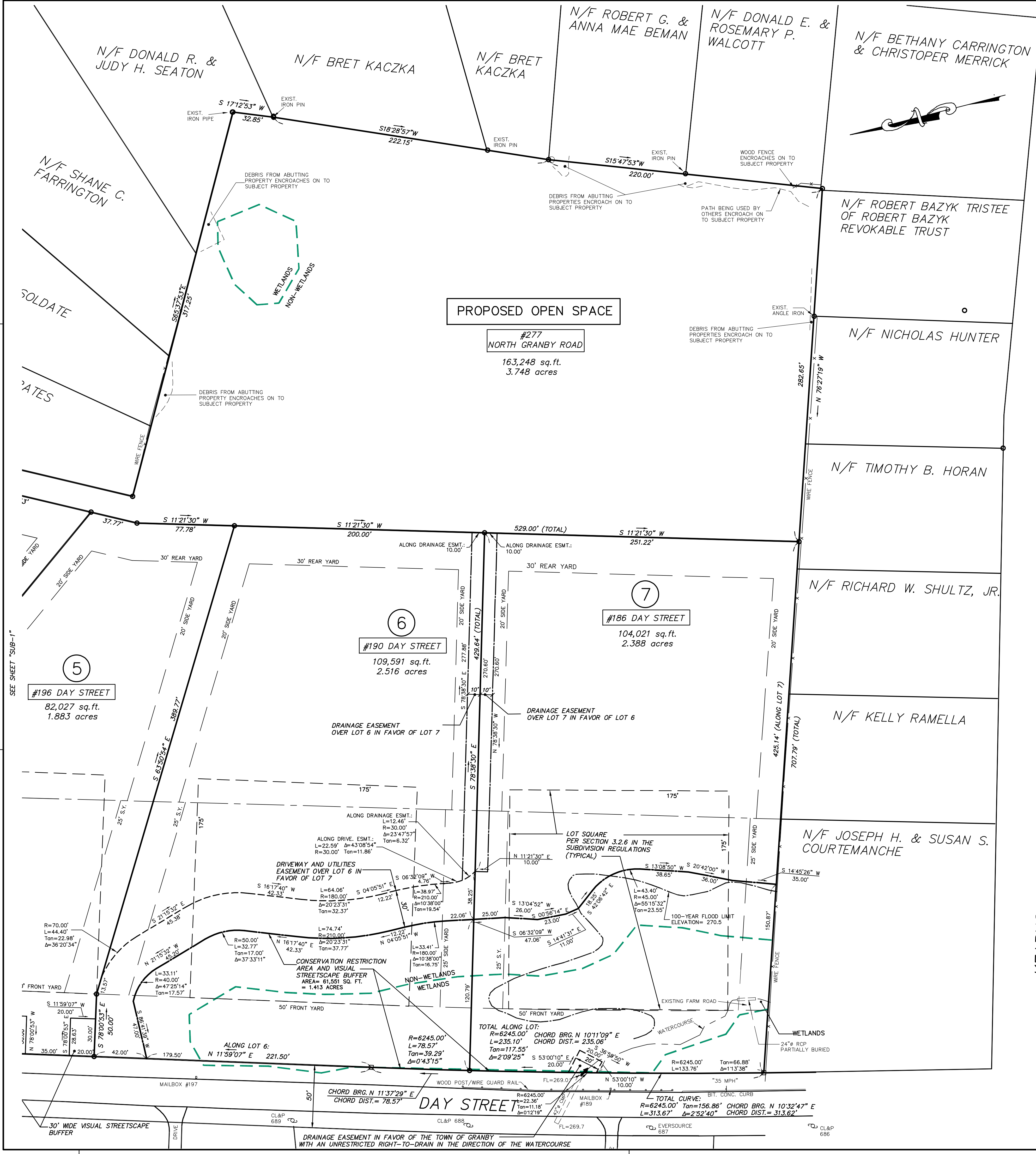
Alford
ASSOCIATES, INC.

CIVIL ENGINEERS
WINDSOR, CONNECTICUT
•
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: JUNE 3, 2025
SCALE: 1 IN. = 40 FT.

BREEZY MEADOW SUBDIVISION
RECORD SUBDIVISION MAP
PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC
GRANBY, CONNECTICUT
188 DAY STREET

Sheet
SUB-1



LEGEND —

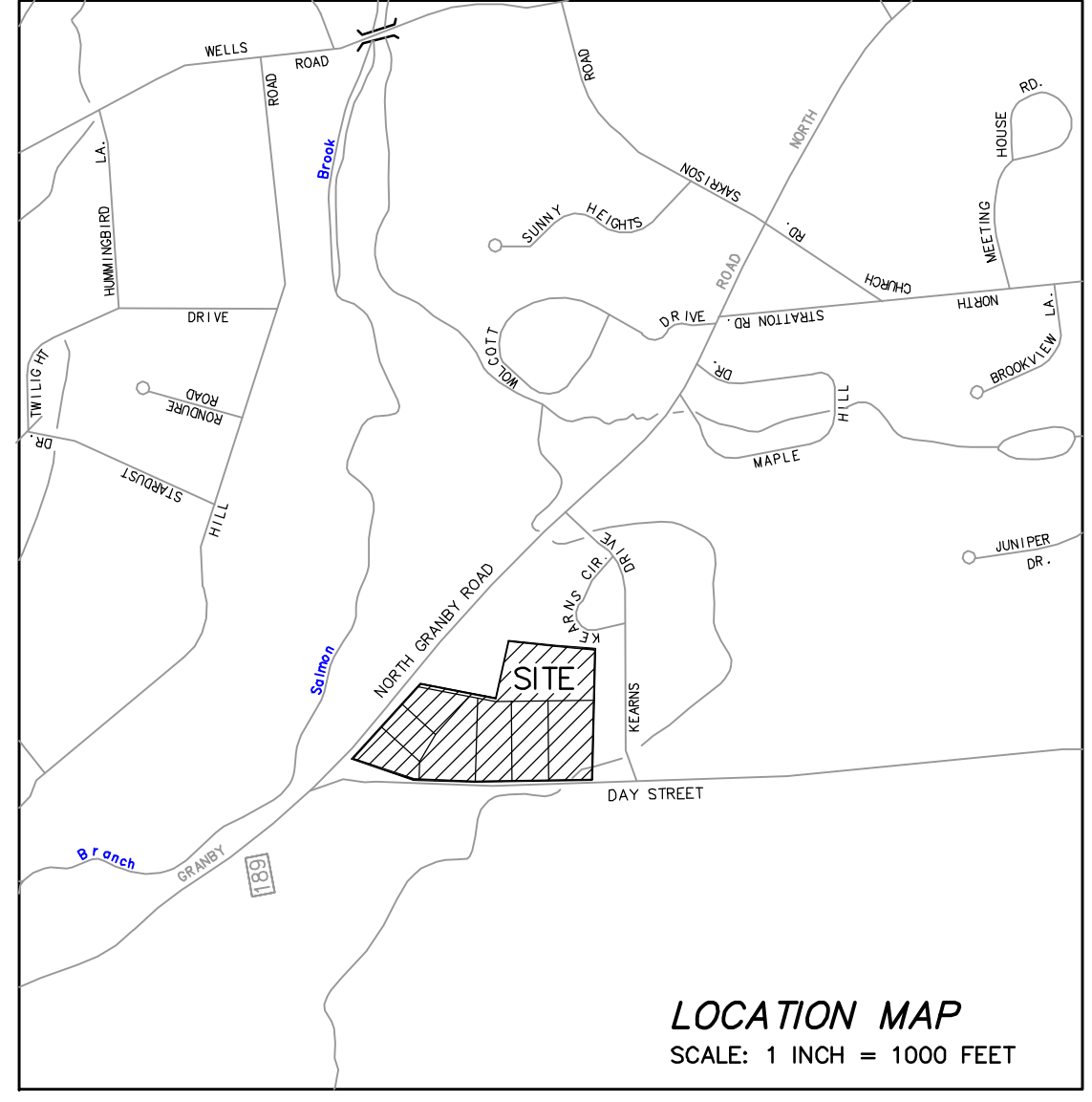
PROPOSED:

- STANDARD CONCRETE MERESTONE
- METAL IRON PIN

UNLESS OTHERWISE SHOWN AS A MERESTONE, ALL PROPOSED LOT CORNERS ARE TO BE MARKED WITH A METAL PIN (3/4" DIA. x 30" LONG)

NOTE— ALL MERESTONES AND METAL PINS ARE TO BE SET PRIOR TO CERTIFICATE OF OCCUPANCY. IF THE AREA IS DEEMED A VIABLE VERNAL POOL, SIGNAGE IS RECOMMENDED AT THE EDGE OF THE POOL FOR EDUCATION PURPOSES AS IT IS LOCATED WITHIN THE PROPOSED OPEN SPACE PORTION OF THE DEVELOPMENT.

EXISTING TOPOGRAPHY WITHIN THE AREA OF THE PROPOSED SEPTIC SYSTEMS AND EXISTING ROADWAYS HAS BEEN FIELD VERIFIED BY ALFORD ASSOCIATES, INC. IN DECEMBER OF 2024 AND CONFORMS TO VERTICAL ACCURACY CLASS T-2.



- NOTES —**
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES — "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS AN ORIGINAL SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.
 - EXISTING TOPOGRAPHY WITHIN THE AREA OF THE PROPOSED SEPTIC SYSTEMS AND EXISTING ROADWAYS HAS BEEN FIELD VERIFIED BY ALFORD ASSOCIATES, INC. IN DECEMBER OF 2024 AND CONFORMS TO VERTICAL ACCURACY CLASS T-2.
 - DAY STREET STREET LINE WAS ESTABLISHED BY HOLDING 25 FEET OFF THE CENTERLINE OF THE EXISTING PAVEMENT.
 - EXISTING PARCEL AREA = 15.720 ACRES
PARCEL IS SHOWN ON TAX ASSESSOR'S MAP E-30, BLOCK 37, PARCEL 2.
REFERENCE DEED: VOLUME 150, PAGE 246.
 - ZONE OF PROPERTY: "R30" AND "R50".
 - THERE ARE WETLANDS LOCATED ON THE SUBJECT PROPERTY. IN OCTOBER, 2024 AND MARCH 15, 2025, WETLANDS WERE FLAGGED BY IAN COLE, LLC, PROFESSIONAL REGISTERED SOIL SCIENTIST/PROFESSIONAL WETLAND SCIENTIST FROM MIDDLETOWN, CONNECTICUT. FLAGS WERE LOCATED BY ALFORD ASSOCIATES, INC. AND ARE SHOWN ON THE PLAN.
 - WITH REGARDS TO WETLANDS #2, LOCATED ON THE EAST SIDE OF THE SUBJECT PROPERTY, THIS AREA IS TO BE SURVEYED FOR VERNAL POOL CHARACTERISTICS DURING THE SPRING MONTHS. IF THE AREA IS DEEMED A VIABLE VERNAL POOL, SIGNAGE IS RECOMMENDED AT THE EDGE OF THE POOL FOR EDUCATION PURPOSES AS IT IS LOCATED WITHIN THE PROPOSED OPEN SPACE PORTION OF THE DEVELOPMENT.
 - THE SUBJECT PROPERTY IS WITHIN "ZONE X", AN AREA OF MINIMAL FLOOD HAZARD, AS SHOWN ON A PLAN ENTITLED "NATIONAL FLOOD HAZARD LAYER FIRMETTE, FEMA, MAP 09003C0177F EFFECTIVE DATE 9-26-2008". "ZONE X" IS OUTSIDE OF 1.0% AND A 0.2% ANNUAL CHANCE FLOOD HAZARD AREAS.
 - THE SUBJECT PROPERTY IS NOT WITHIN AN AREA OF CONCERN AS SHOWN ON "NATURAL DIVERSITY DATA BASE AREAS" MAP FOR GRANBY, CT, DECEMBER 2024 PREPARED BY CONNECTICUT DEPARTMENT OF ENERGY & ENVIRONMENTAL PROTECTION.
 - THE VISUAL STREETSCAPE BUFFER SHALL BE PERMANENTLY PRESERVED THROUGH THE CREATION OF A CONSERVATION OR SIMILAR EASEMENT. THE VISUAL STREETSCAPE BUFFER PROVIDED SATISFIES SECTIONS 2.2.22 AND 3.1.4 OF THE GRANBY SUBDIVISION REGULATIONS.
 - ALL EASEMENTS ARE TO BE SHOWN ON INDIVIDUAL PLOT PLANS AND REFERENCED IN DEEDS.
 - THE OPEN SPACE PARCEL SHALL BE DEEDED TO THE TOWN OF GRANBY.

- REFERENCE PLANS —**
- "PROPOSED SEPTIC SYSTEM REPAIR FOR: DANIEL S. FREDERICK #285 NORTH GRANBY ROAD GRANBY, CONNECTICUT DATE: OCT. 30, 1996 SCALE: 1"=20' SHEET NO. 1 OF 1 PROJECT NO. 96-56", PREPARED BY DAVID F. WHITNEY, CONSULTING ENGINEERS, AVON, CONNECTICUT
 - "FINAL RE-SUBDIVISION PLAN OF PROPERTY OWNED BY DAVID D. AND CARMEN L. PERRY #257 NORTH GRANBY ROAD—GRANBY CONNECTICUT R-30 ZONE 1"=40' NOV. 8, 1989 REVISION DATES APRIL 10, 1990, 6-28-1990", PREPARED BY HENRY CHARLES COTTON, CONSULTANT & LAND SURVEYOR, GRANBY, CONN.. PLAN IS RECORDED IN GRANBY LAND RECORDS AS MAP 91-2.
 - "FINAL SUBDIVISION PLAN FOR HAROLD L. PIERCE AND SURVEY PORTION OF PROPERTY OWNED BY N/F LYMAN T. AND KATHRYN K. BURGESS NORTH GRANBY ROAD—CONN. RT. 189 GRANBY—CONNECTICUT SCALE: 1"=40' DATE 6-19-1969 REV. SUBD. PLAN NOV. 1969", PREPARED BY HENRY CHARLES COTTON, LAND SURVEYOR, 730 HORNMEADOW ST., SIMSBURY, CONN.. PLAN IS RECORDED IN GRANBY LAND RECORDS AS MAP 1108.
 - "MAP SHOWING BUILDING LOTS ON PROPERTY OF FRANK M. KEARNS ROUTE #189 GRANBY, CONN. SCALE 1"=50' APRIL 12, 1952 REVISIONS 4-5-55 3-3-56", PREPARED BY LAWRENCE E. GITCHELL, REGISTERED LAND SURVEYOR 2786. PLAN IS RECORDED IN GRANBY LAND RECORDS AS MAP 610.
 - "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF GRANBY, GRANBY—NORTH GRANBY ROAD FROM THE CONGREGATIONAL CHURCH NORTHERLY TO SILVER STREET, ROUTE NO. 189 SCALE 1"=40', NUMBER 55-02, SHEET 3 OF 3", APPROVED BY JOHN A. MACDONALD, STATE HIGHWAY COMMISSIONER, DATE FEB. 28, 1933"
 - "CONVEYANCE MAP PROPERTY OWNED BY WILLIAM S. & PATRICIA C. JOY AND PATRICK HANLEY DAY STREET GRANBY — CONNECTICUT ZONE R-50 DATE: JULY 28, 2005", PREPARED BY HENRY C. COTTON & ASSOCIATES, LAND SURVEYORS & CONSULTANTS, GRANBY, CONNECTICUT, 06035, (860)653-6601. PLAN IS RECORDED IN GRANBY LAND RECORDS AS MAP NO. 2650.

- NOTES PERTAINING TO PROPOSED CONSERVATION RESTRICTION AREA AND VISUAL STREETSCAPE BUFFER AREAS**
- CONSERVATION RESTRICTION AREA AND VISUAL STREETSCAPE BUFFER AREAS SHALL BE MARKED BY MEDALLIONS OR PLACARDS MOUNTED TO A 4"x4" WOOD POST AT 3 FEET HIGH. POSTS TO BE PLACED APPROXIMATELY 50 FEET APART AROUND THE ENTIRE PERIMETERS OF THE RESTRICTION AREA AND THE VISUAL STREETSCAPE BUFFER AREAS. MEDALLIONS OR PLACARDS SHALL BE WATERPROOF.
 - THE CONSERVATION RESTRICTION AREA AND VISUAL STREETSCAPE BUFFER AREAS AND ASSOCIATED ACTIVITIES SHALL BE COMPLETED, INCLUDING PLANTINGS, UPON OR BEFORE THE FIRST BUILDING PERMIT FOR THE SUBDIVISION IS ISSUED. THIS REQUIREMENT IS IN RESPONSE TO THE 2-YEAR MONITORING PERIOD OF THE AREA/PLANTINGS. THE GOAL OF THIS CONDITION OF APPROVAL IS TO AID IN PREVENTING THE CONSERVATION RESTRICTION AREA ACTIVITIES NEEDING TO BE COMPLETED/COORDINATED BY THREE (3) SEPARATE HOMEOWNERS/CONTRACTORS, IF POSSIBLE.
- CONSERVATION RESTRICTION MARKERS ARE TO BE INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY ON THE LOT.

SUBDIVISION APPROVAL BLOCK

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF GRANBY

AT ITS MEETING ON _____

SIGNED BY _____ DATE _____

CHAIRMAN

SECRETARY _____ DATE _____

AS DELIVERED TO THE APPLICANT ON _____

DATE

IN ACCORDANCE WITH STATE STATUE 8-26.

WORK IN CONNECTION WITH THIS SUBDIVISION

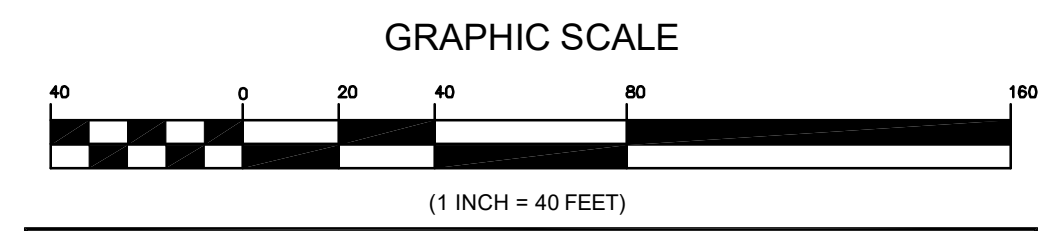
MUST BE COMPLETED BY _____

OWNER OF RECORD

BARBARA BRAEM JENSEN
MAILING ADDRESS:
45 BUGBEE ROAD, SOUTHWICK, MA 01077-9707

APPLICANT

PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK MacNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: Kirk@MacBuilds.com



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

INCORPORATED TOWN STAFF COMMENTS		REVISION	
7-18-25	REVISED PROPOSED LOT LAYOUT AND RELATED IMPROVEMENTS	DATE	
7-15-25	INCORPORATED TOWN STAFF COMMENTS		
7-2-25			

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

Alford ASSOCIATES, INC.

CIVIL ENGINEERS
WINDSOR, CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: JUNE 3, 2025

SCALE: 1 IN. = 40 FT.

BREEZY MEADOW SUBDIVISION
RECORD SUBDIVISION MAP
PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC
GRANBY, CONNECTICUT

188 DAY STREET

Sheet
SUB-2

EDGE OF CLEARING

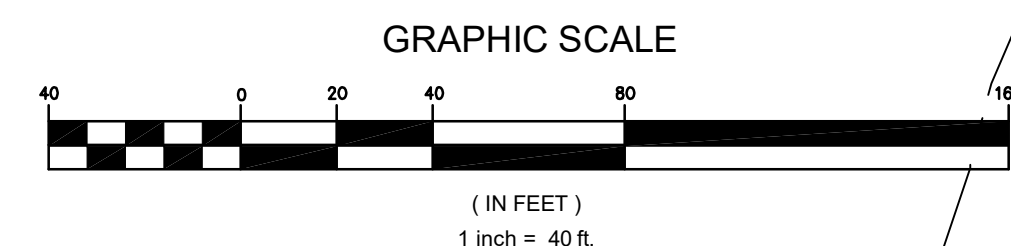
Diagram illustrating a roof drainage system. A line labeled "DOWNSPOUT" leads to a "ROOF LEADER LINE". The roof leader line connects to an "INFILTRATOR UNIT", which is shown as a box with a downward arrow. Below the infiltrator unit is a "YARD DRAIN".

NOTE -
 BASED ON CULTEC RESIDENTIAL
 DRAINAGE CALCULATOR, THERE
 (9) RECHARGER 330XLHD UNITS
 REQUIRED FOR THE 3,200 SQUARE
 OF ROOF TOP WITH NO INFILTRA
 FINAL DESIGN TO BE BASED ON
 HOUSE AND PERMEABILITY AT THE
 CONSTRUCTION

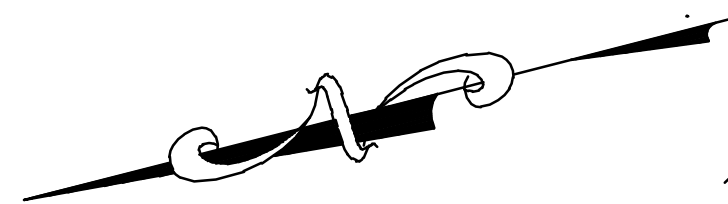
PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK MacNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: Kirk@MacBuilds.com

NOTE -
BASED ON CULTEC RESIDENTIAL
DRAINAGE CALCULATOR, THERE ARE NINE
(9) RECHARGER 330XLHD UNITS
REQUIRED FOR THE 3,200 SQUARE FEET
OF ROOF TOP WITH NO INFILTRATION.
FINAL DESIGN TO BE BASED ON SIZE OF
HOUSE AND PERMEABILITY AT TIME OF
HOME CONSTRUCTION.

1. PRIOR TO ISSUING A BUILDING PERMIT, INFILTRATION SYSTEMS FOR THE ROOF DRAINS SHALL BE SIZED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS. SOIL TEST HOLES MAY BE REQUIRED AT OR IN THE VICINITY OF THE INFILTRATION AREAS IF THE EXCAVATION FOR THE BASEMENTS SHOW A DIFFERENT SOIL PROFILE.



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.



N/F TODD D. & ELIZABETH A. KITTELSEN
 PROPERTY ADDRESS:
 278 NORTH GRANBY ROAD
 SNET
 CONNECTICUT

BANK OF THE EAST BRANCH OF THE SALMON BROOK (TAKEN FROM AERIAL PHOTOGRAPHY)

N/F TOWN OF GRANBY
PROPERTY ADDRESS:
280 NORTH GRANBY ROAD

200' REGULATED AREA FROM WATERCOURSE

N/F TOWN OF GRANBY
PROPERTY ADDRESS:
284 NORTH GRANBY ROAD

N/F ROCCO & DENISE CIANFARANI
PROPERTY ADDRESS:
282 NORTH GRANBY ROAD

N/F ROBERT H. GROPER & MARY L. GROPER TRUSTEES
PROPERTY ADDRESS:
280 NORTH GRANBY ROAD

DRIVE

DRIVE

MAILBOX 2822

90' MIN. W. STRESS (TYPICAL)

50' FRONT YARD

SHEET 273

SHEET 272

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C. ROWSKI
PROPERTY
ADDRESS:
5 NORTH
LIBBY ROAD

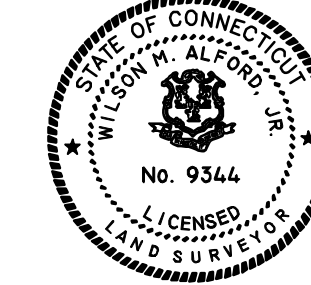
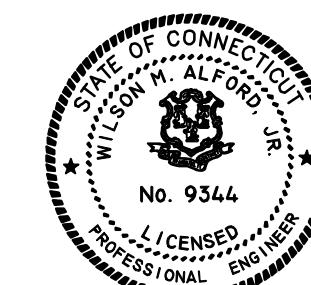
N/F ALYSSA J. FRECHETTE &
ROBERT B. COBURN
PROPERTY ADDRESS:

STA: 4+69.75
OFFSET: 26.01 L

DAY STREET

DRAINAGE EASEMENT IN FAVOR OF

7-18-25	INCORPORATED TOWN STAFF COMMENTS
7-15-25	REVISED PROPOSED LOT LAYOUT AND RELATED IMPROVEMENTS
7-2-25	INCORPORATED TOWN STAFF COMMENTS
6-4-25	MISC. REVISIONS
5-12-25	STAFF COMMENTS
4-25-25	REVISED PER COMMENTS FROM KEVIN CLARK, TOWN ENGINEER
4-2-25	REVISED WETLANDS AND PROPOSED IMPROVEMENTS & GRADING FOR LOTS 5, 6, & 7
2-10-25	REVISED TO INCORPORATE COMMENTS FROM HWAC WETLANDS AGENCY DATED 2-5-25
2-5-25	APPROVED



TO THE BEST OF MY
KNOWLEDGE AND BELIEF
THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON

L.S. NO. 9344

NOT VALID WITHOUT A LIVE
SIGNATURE AND EMBOSSED SEAL



CIVIL ENGINEERS
WINDSOR, CONNECTICUT
●
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: DECEMBER 23, 2024

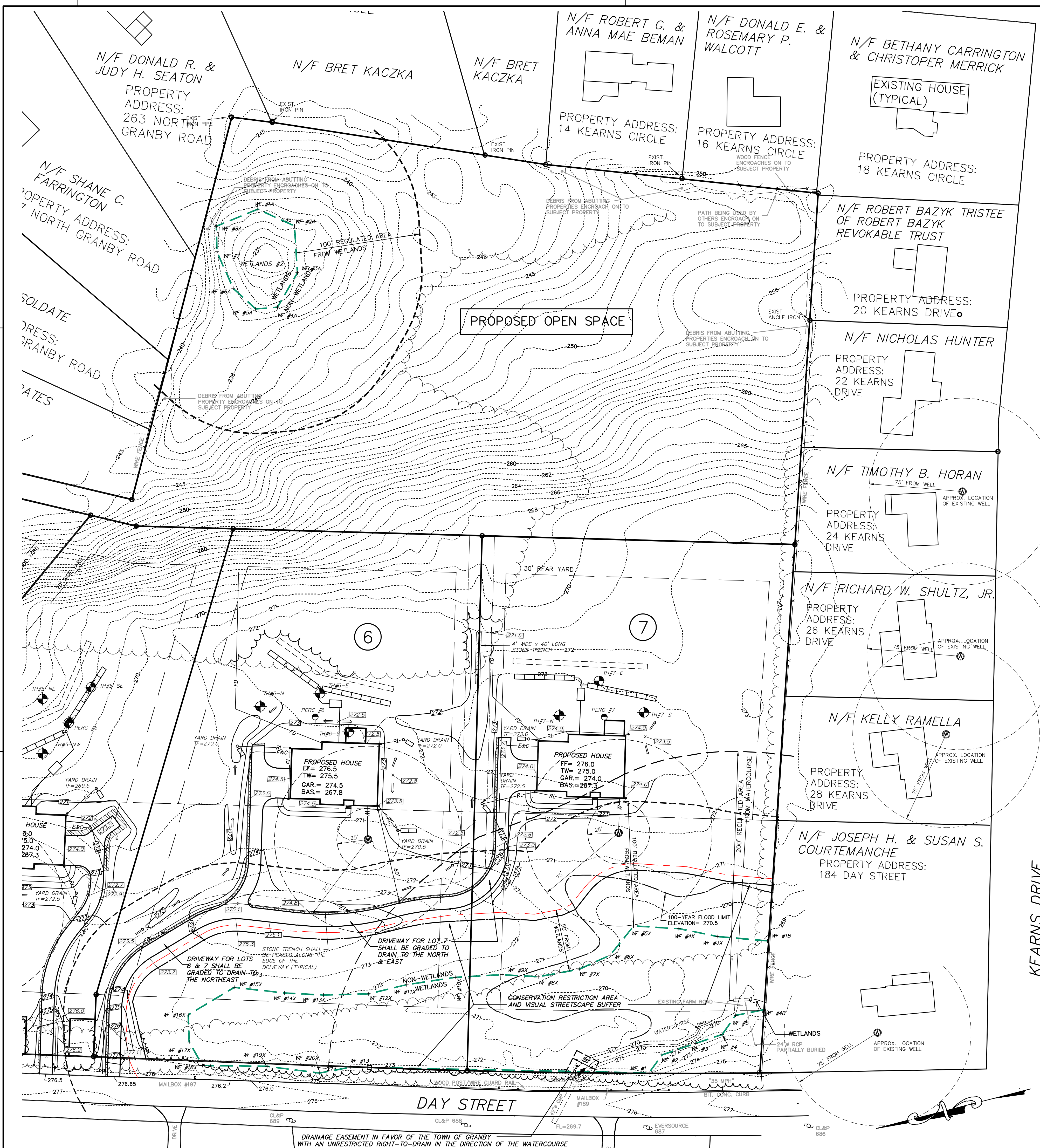
SCALE: 1 IN. = 40 FT

BREEZY MEADOW SUBDIVISION
GRADING AND UTILITIES PLAN

PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC

1986 DAY STREET GRANBY, CONNECTICUT

Sheet
GR-1



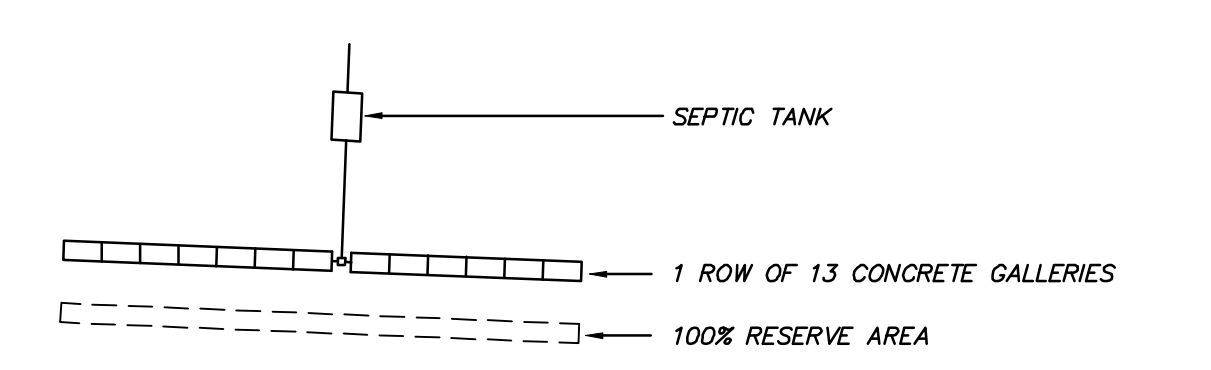
TEST HOLE DATA

NOTE - TEST HOLES AND PERCOLATION TESTS WERE PERFORMED BY WILSON M. ALFORD, JR. FROM ALFORD ASSOCIATES, INC. AND WITNESSED BY KRISTIN KULA, FROM FARMINGTON VALLEY HEALTH DISTRICT ON OCTOBER 23, 2024.

<p>LOT 1</p> <p>TH #1-W</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>TH #1-N</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-86" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>TH #1-E</p> <p>DEPTH: 0" - 8" MATERIAL: TOPSOIL 8"-32" BROWN SILTY SANDY LOAM 32"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 24" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>PERCOLATION TEST #1</p> <p>TOP OF TEST IS 18" BELOW THE SURFACE RATE: LESS THAN 10.1 MIN./INCH</p>	<p>LOT 4</p> <p>TH #4-W</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-22" BROWN SILTY SANDY LOAM 22"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>TH #4-NE</p> <p>DEPTH: 0" - 8" MATERIAL: TOPSOIL 8"-42" BROWN SAND WITH COBBLES 42"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>NO WATER, NO MOTTLES, NO REFUSAL</p> <p>TH #4-SE</p> <p>DEPTH: 0" - 15" MATERIAL: TOPSOIL 15"-48" BROWN SILTY SANDY LOAM 48"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>PERCOLATION TEST #4</p> <p>TOP OF TEST IS 18" BELOW THE SURFACE RATE: LESS THAN 10.1 MIN./INCH</p>	<p>LOT 6</p> <p>TH #6-N</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>TH #6-E</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>TH #6-S</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-24" BROWN SILTY SANDY LOAM 24"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 24" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>PERCOLATION TEST #6</p> <p>TOP OF TEST IS 18" BELOW THE SURFACE RATE: LESS THAN 10.1 MIN./INCH</p>
<p>LOT 2</p> <p>TH #2-S</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-32" BROWN SILTY SANDY LOAM 32"-84" BROWN FINE SAND</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>TH #2-NW</p> <p>DEPTH: 0" - 24" MATERIAL: TOPSOIL 24"-48" BROWN SILTY SANDY LOAM 48"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>TH #2-SE</p> <p>SOUTH FACE</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>PERCOLATION TEST #2</p> <p>TOP OF TEST IS 18" BELOW THE SURFACE RATE: LESS THAN 10.1 MIN./INCH</p>	<p>LOT 5</p> <p>TH #5-W</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-25" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>TH #5-NE</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-25" BROWN SILTY SANDY LOAM 25"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>TH #5-SE</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>PERCOLATION TEST #5</p> <p>TOP OF TEST IS 18" BELOW THE SURFACE RATE: LESS THAN 1 MINUTE / INCH</p>	<p>LOT 7</p> <p>TH #7-N</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>TH #7-E</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>TH #7-S</p> <p>DEPTH: 0" - 12" MATERIAL: TOPSOIL 12"-84" BROWN SAND AND GRAVEL WITH LARGE COBBLES</p> <p>ROOTS AT 42" NO WATER, NO MOTTLES, NO REFUSAL</p> <p>PERCOLATION TEST #7</p> <p>TOP OF TEST IS 15" BELOW THE SURFACE RATE: LESS THAN 10.1 MIN./INCH</p>

DATA DESIGN FOR PROPOSED SEPTIC SYSTEMS

FOR ALL LOTS:
PERCOLATION TEST RATE:
ALL LOTS ARE LESS THAN 10.1 MIN./INCH
NUMBER OF BEDROOMS = 4
SQUARE FEET OF EFFECTIVE LEACHING AREA REQUIRED = 577.5
MINIMUM LEACHING SYSTEM SPREAD:
NEED NOT TO BE CONSIDERED. DEPTH TO RESTRICTIVE LAYER > 60"
USE: 8' LONG x 4' WIDE x 12" HIGH CONCRETE GALLERIES = 5.9 SF/LF
577.5 S.F. / 5.9 SF/LF = 98 LINEAR FEET REQUIRED

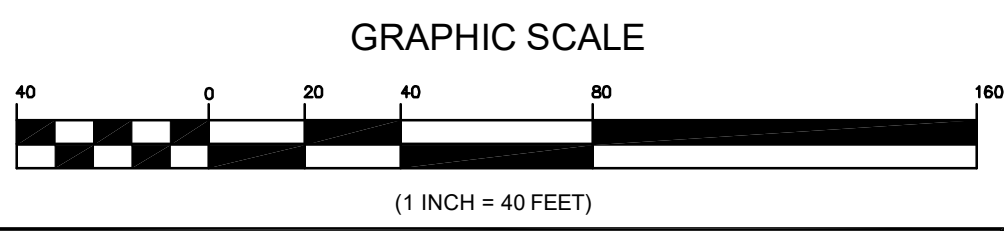


NOTE PERTAINING TO PROPOSED CONSERVATION RESTRICTION AREA

CONSERVATION RESTRICTION AREA SHALL BE MARKED BY MEDALLIONS OR PLACARDS MOUNTED TO A 4"x4" WOOD POST AT 3 FEET HIGH. POSTS TO BE PLACED APPROXIMATELY 50 FEET APART AROUND THE ENTIRE PERIMETER OF THE RESTRICTION AREA. MEDALLIONS OR PLACARDS SHALL BE WATERPROOF.

OWNER OF RECORD
BARBARA BRAEM JENSEN
MAILING ADDRESS:
45 BUGBEE ROAD, SOUTHWICK, MA 01077-9707

APPLICANT
PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK MacNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: KIRK@MacBuilds.com



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

REVISION	DATE	AGENT	COMMENTS
1	7-15-25	WILSON M. ALFORD, JR.	REVISED PROPOSED LOT LAYOUT AND RELATED IMPROVEMENTS
2	7-2-25	WILSON M. ALFORD, JR.	INCORPORATED TOWN STAFF COMMENTS
3	6-4-25	WILSON M. ALFORD, JR.	MISC. REVISIONS
4	5-12-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS
5	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
6	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
7	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
8	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
9	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
10	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
11	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
12	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
13	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
14	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
15	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
16	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
17	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
18	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
19	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER
20	4-25-25	WILSON M. ALFORD, JR.	REVISED PERMITS COMMENTS FROM JEFF CLARK, TOWN ENGINEER

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

Alford ASSOCIATES, INC.

CIVIL ENGINEERS
WINDSOR, CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S.

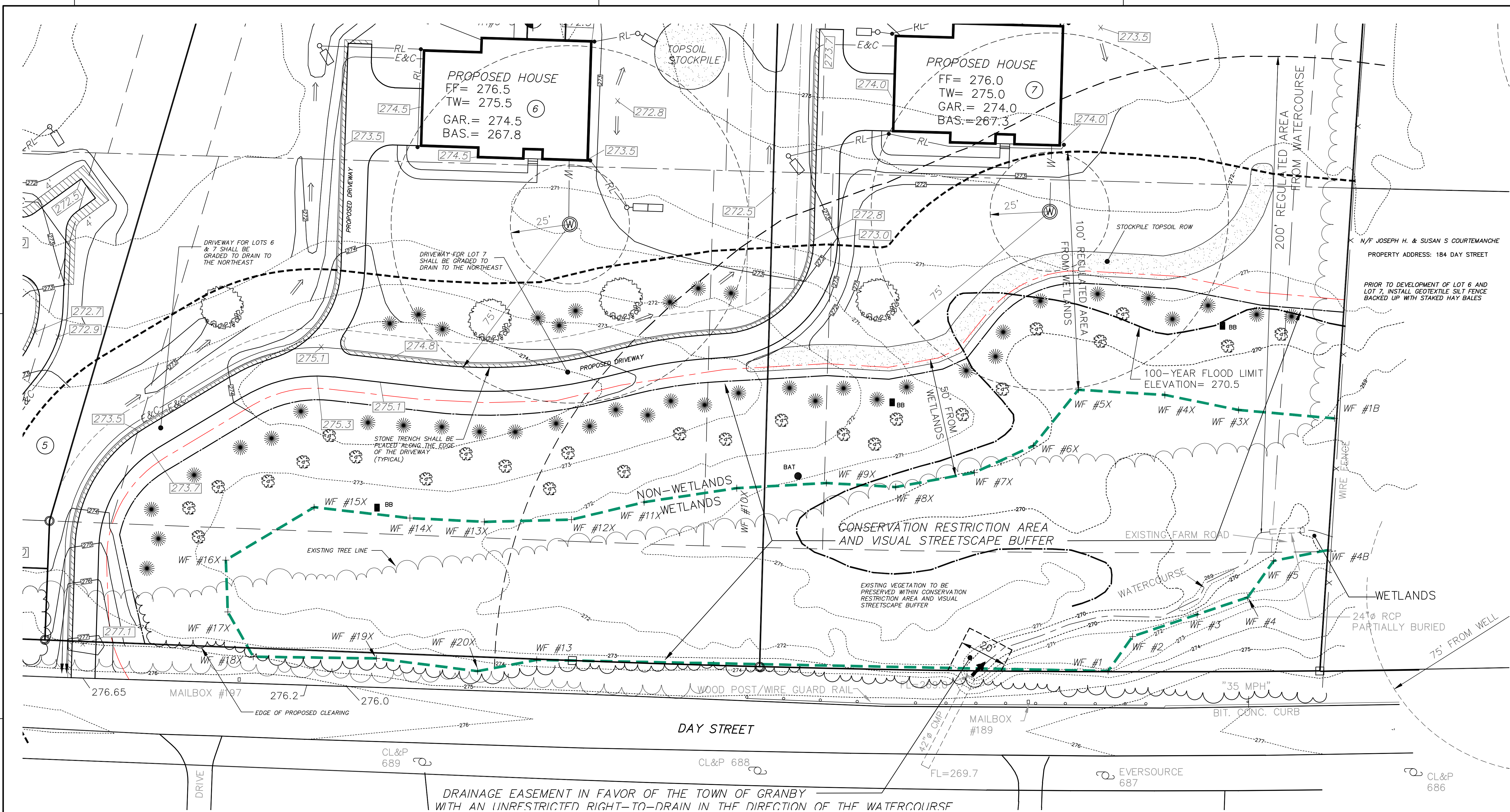
DATE: DECEMBER 23, 2024

SCALE: 1 IN. = 40 FT.

BREEZY MEADOW SUBDIVISION
GRADING AND UTILITIES PLAN
PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC
GRANBY, CONNECTICUT

188 DAY STREET

Sheet
GR-2



NOTE PERTAINING TO PROPOSED CONSERVATION RESTRICTION AREA

CONSERVATION RESTRICTION AREA SHALL BE MARKED BY MEDALLIONS OR PLACARDS MOUNTED TO A 4"x4" WOOD POST AT 3 FEET HIGH. POSTS TO BE PLACED APPROXIMATELY 50 FEET APART AROUND THE ENTIRE PERIMETER OF THE RESTRICTION AREA. MEDALLIONS OR PLACARDS SHALL BE WATERPROOF.

PROPOSED PLANTS WITHIN THE CONSERVATION RESTRICTION AREA

PLEASE REFER TO "VEGETATION PRESERVATION / PLANTING PLAN", SHEET VPPP-1 WITHIN THIS SET OF PLANS FOR LIST OF PROPOSED PLANTS.

LEGEND -

PROPOSED IMPROVEMENTS:

- BB BLUE BIRD HOUSE
- BAT BAT HOUSE

GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

REVISED PROPOSED LOT LAYOUT AND RELATED IMPROVEMENTS	7-15-25	DATE	REVISION
INCORPORATED TOWN STAFF COMMENTS	7-2-25		
MISC. REVISIONS	8-4-25		
REVISED PER COMMENTS FROM KEVIN CLARK, TOWN ENGINEER	9-12-25		
REVISED WETLANDS AND PROPOSED IMPROVEMENTS & GRADING FOR LOTS 5, 6, & 7	4-9-25		

STATE OF CONNECTICUT
WILSON H. ALFORD, JR.
No. 9344
LICENSED PROFESSIONAL ENGINEER

STATE OF CONNECTICUT
WILSON H. ALFORD, JR.
No. 9344
LICENSED LAND SURVEYOR

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

Alford ASSOCIATES, INC.

CIVIL ENGINEERS
WINDSOR, CONNECTICUT
WILSON H. ALFORD, JR., P.E. & L.S.

DATE: FEBRUARY 10, 2025

SCALE: 1 IN. = 20 FT.

BREEZY MEADOW SUBDIVISION

GRADING PLAN

FOR AREA ADJACENT TO WETLANDS ON LOTS 5, 6 AND 7

PREPARED FOR

PEAK MOUNTAIN DEVELOPMENT LLC

GRANBY, CONNECTICUT

188 DAY STREET

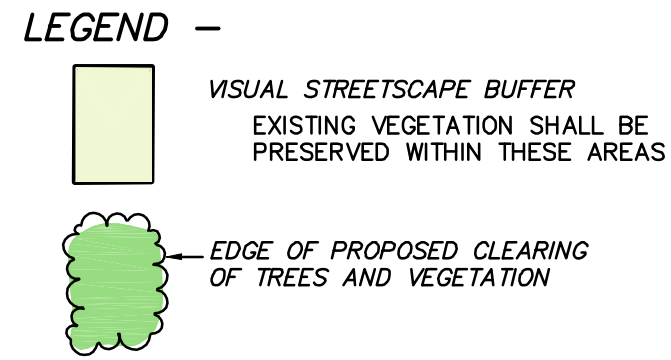
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GR-3

PROPOSED PLANT LIST -

- NOTES:
1. IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN ON THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
 2. PROPOSED PLANTING HOLES SHALL BE EXCAVATED TO A DEPTH OF 12 INCHES AND FILLED WITH A MIXTURE OF 80% TOPSOIL AND 20% PEAT MOSS. ALL PLANTS SHALL BE MULCHED WITH 4 INCHES OF WOOD CHIPS OR WOOD BARK MULCH.
 3. ADJUSTMENTS IN THE LOCATION AND/OR NUMBER OF PROPOSED PLANTS MAY BE NECESSARY DUE TO FIELD CONDITIONS. SUCH ADJUSTMENTS SHALL BE APPROVED BY THE DESIGN ENGINEER AND THE TOWN PLANNER.

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (MINIMUM)
AR	18	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	3 1/2" CAL. B&B
CS	5	CORNUS SERICEA	RED TWIG DOGWOOD	18" TALL
IG	4	ILEX GLABRA	INKBERRY	18" TALL
IV	3	ILEX VERTICILLATA	WINTERBERRY (INCLUDE AT LEAST ONE MALE PLANT)	18" TALL
MP	5	MYRICA PENSYLVANICA	BAYBERRY	18" TALL
PA	28	PICEA ABIES	NORWAY SPRUCE	18" TALL
TO	15	THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	18" TALL
VC	3	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	18" TALL
VL	6	VIBURNUM LENTAGO	NANNYBERRY VIBURNUM	18" TALL



- NOTES -
1. IN ADDITION TO ALL TREES PRESERVED IN THE 30 FOOT VISUAL STREETScape BUFFER, A MINIMUM OF TEN (10) TREES WITH A CALIPER OF SIX (6) INCHES WILL BE PRESERVED IN THE FRONT YARD OF LOTS 2 AND 3 TO SATISFY SUBDIVISION REGULATION SECTION 3.1.4.1.2.1



INCORPORATED TOWN STAFF COMMENTS

REVISION

DATE

7-18-25

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

Alford
ASSOCIATES, INC.

CIVIL ENGINEERS
WINDSOR, CONNECTICUT
WILSON H. ALFORD, JR., P.E. & L.S.

DATE: JULY 15, 2025

SCALE: 1 IN. = 50 FT.

BREEZY MEADOW SUBDIVISION
VEGETATION PRESERVATION / PLANTING PLAN
PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC

GRANBY, CONNECTICUT
188 DAY STREET

Sheet
VPPP-1

I HEREBY CERTIFY THAT THIS PLAN IS IN COMPLIANCE WITH THE TOWN GRANBY SOIL EROSION AND SEDIMENT CONTROL REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL DATED 2002, AS AMENDED.

WILSON M. ALFORD, JR.
CONNECTICUT LICENSED PROFESSIONAL ENGINEER NO. 9344

DATE

NOTE: THE WORD "CERTIFY", AS USED ON THIS PLAN, IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE PROFESSIONAL ENGINEER, WHICH IS BASED ON HIS KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH IT CONSTITUTES NEITHER A GUARANTY OR WARRANTY.

THE PLANNING AND ZONING COMMISSION OF THE TOWN OF GRANBY CERTIFIES THAT THIS SOIL EROSION AND SEDIMENT CONTROL PLAN COMPLIES WITH THE TOWN'S SOIL EROSION AND SEDIMENT CONTROL REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL DATED 2002, AS AMENDED.

DATE OF APPROVAL

THE TOWN ENGINEER OR ZONING ENFORCEMENT OFFICER OF THE TOWN OF GRANBY CERTIFIES THAT THIS SOIL EROSION AND SEDIMENT CONTROL PLAN COMPLIES WITH THE TOWN'S SOIL EROSION AND SEDIMENT CONTROL REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL DATED 2002, AS AMENDED.

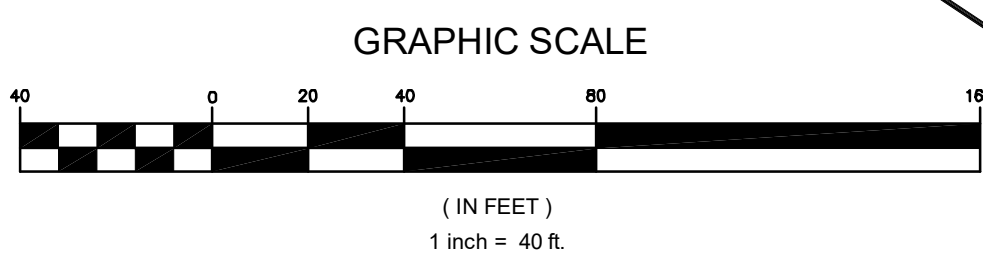
DATE OF APPROVAL

OWNER OF RECORD

BARBARA BRAEM JENSEN
MAILING ADDRESS:
45 BUGBEE ROAD, SOUTHWICK, MA 01077-9707

APPLICANT

PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK MacNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: Kirk@MacBuilds.com



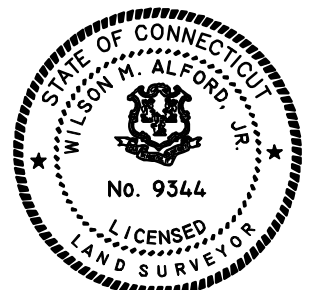
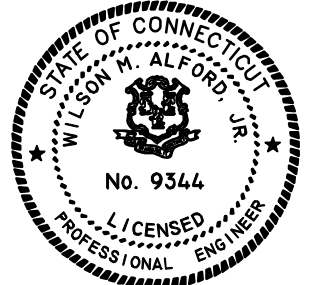
THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4453 AND HAVE UTILITIES MARKED ON THE GROUND.

EROSION CONTROL SYMBOLS -

- | | |
|------------|---------------------------|
| CE | CONSTRUCTION ENTRANCE PAD |
| FES | FLARED END STRUCTURE |
| GSF | GEOTEXTILE SILT FENCE |
| HB | HAY BALE |
| LP | LANDSCAPE PLANTING |
| MS | MULCH FOR SEED |
| OP | OUTLET PROTECTION |
| PS | PERMANENT SEEDING |
| TO | TOPSOIL |
| TP | TREE PROTECTION |
| TS | TEMPORARY SEEDING |
| TSP | TOPSOIL STOCKPILE |



REVISION	DATE	DESCRIPTION
7-19-25		REVISED PROPOSED LOT LAYOUT AND RELATED IMPROVEMENTS
7-2-25		INCORPORATED TOWN STAFF COMMENTS
6-4-25		MISC. REVISIONS
5-12-25		REVISED PER STAFF COMMENTS
4-29-25		REVISED PER COMMENTS FROM KEVIN CLARK, TOWN ENGINEER
4-2-25		REVISED WETLANDS AND PROPOSED IMPROVEMENTS & GRADING
2-10-25		FOR LOTS 5, 6, & 7
		AGENT DATED 2-9-25



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.



CIVIL ENGINEERS
WINDSOR, CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S.

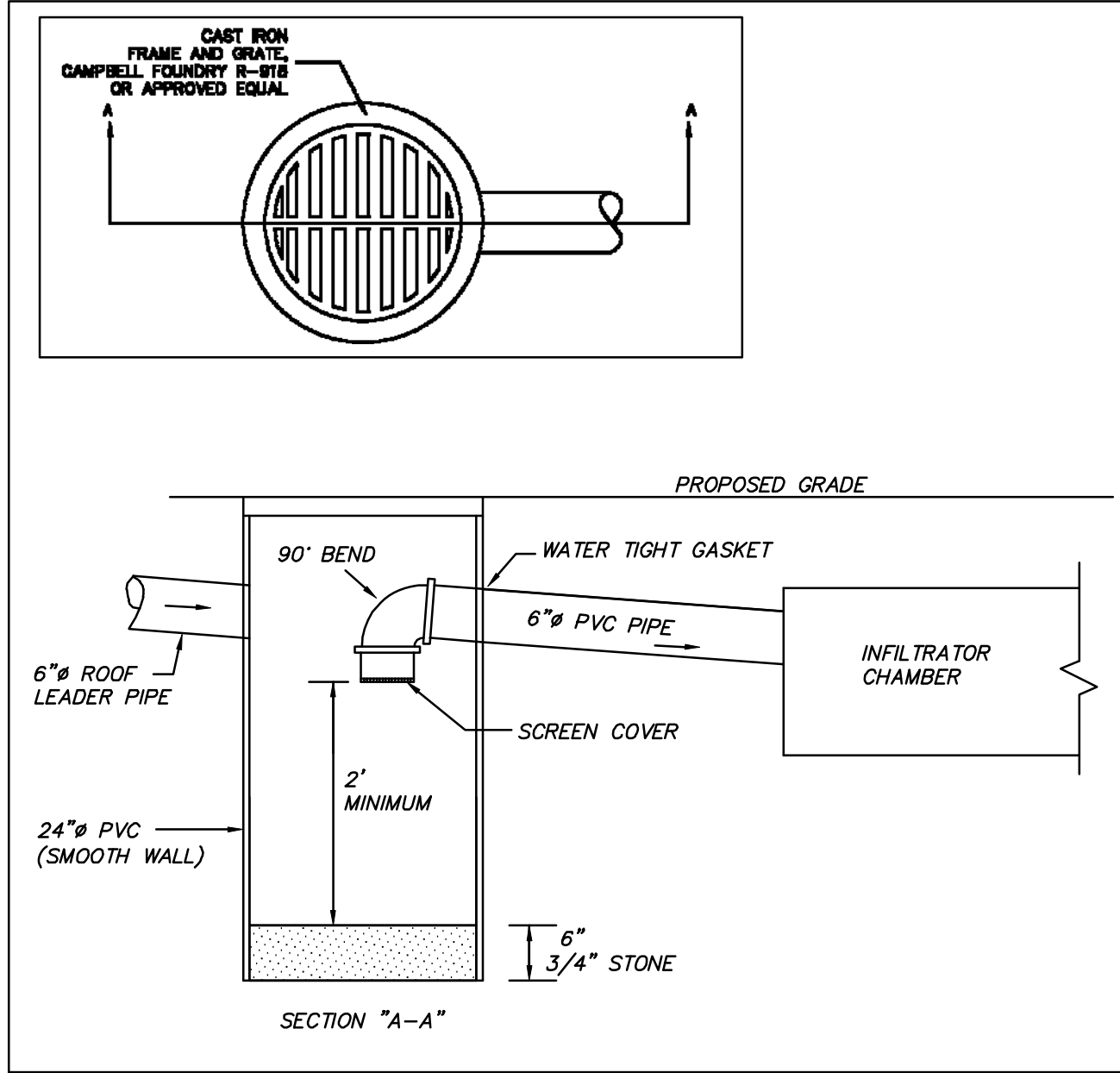
DATE: DECEMBER 23, 2024

SCALE: 1 IN. = 40 FT.

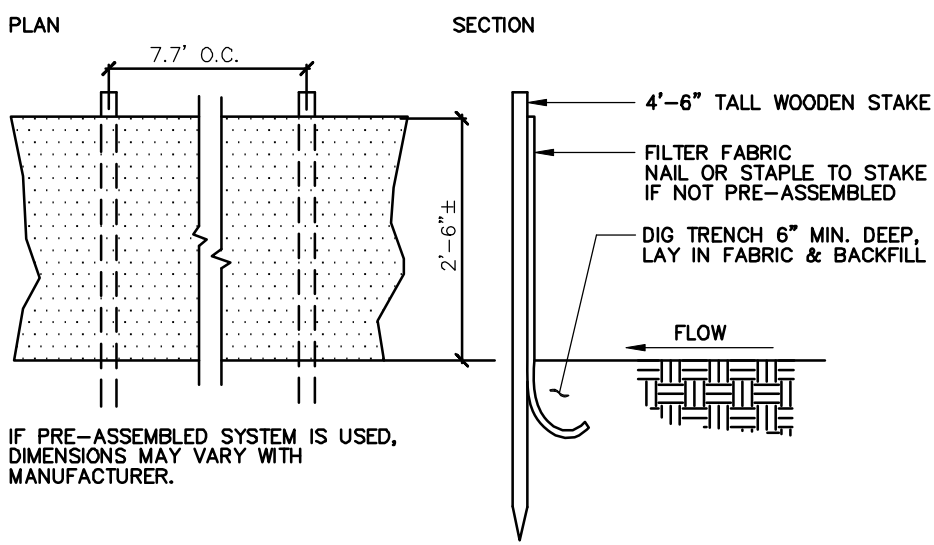
BREEZY MEADOW SUBDIVISION
EROSION AND SEDIMENTATION CONTROL PLAN
PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC
GRANBY, CONNECTICUT
188 DAY STREET

Sheet
E&SC-1

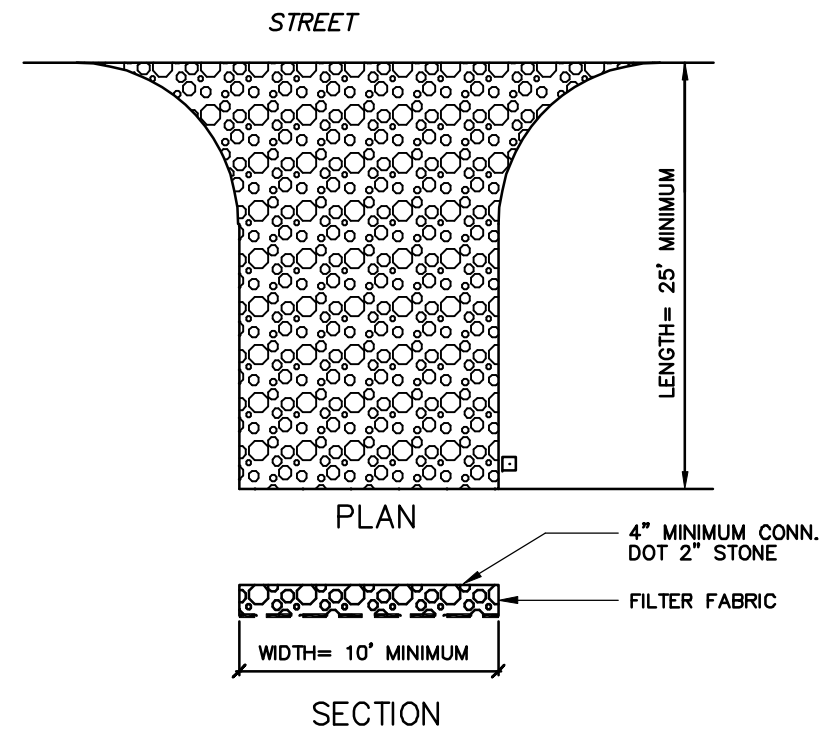
YARD DRAIN DETAIL –
NOT TO SCALE



FILTER FABRIC FENCE
NOT TO SCALE

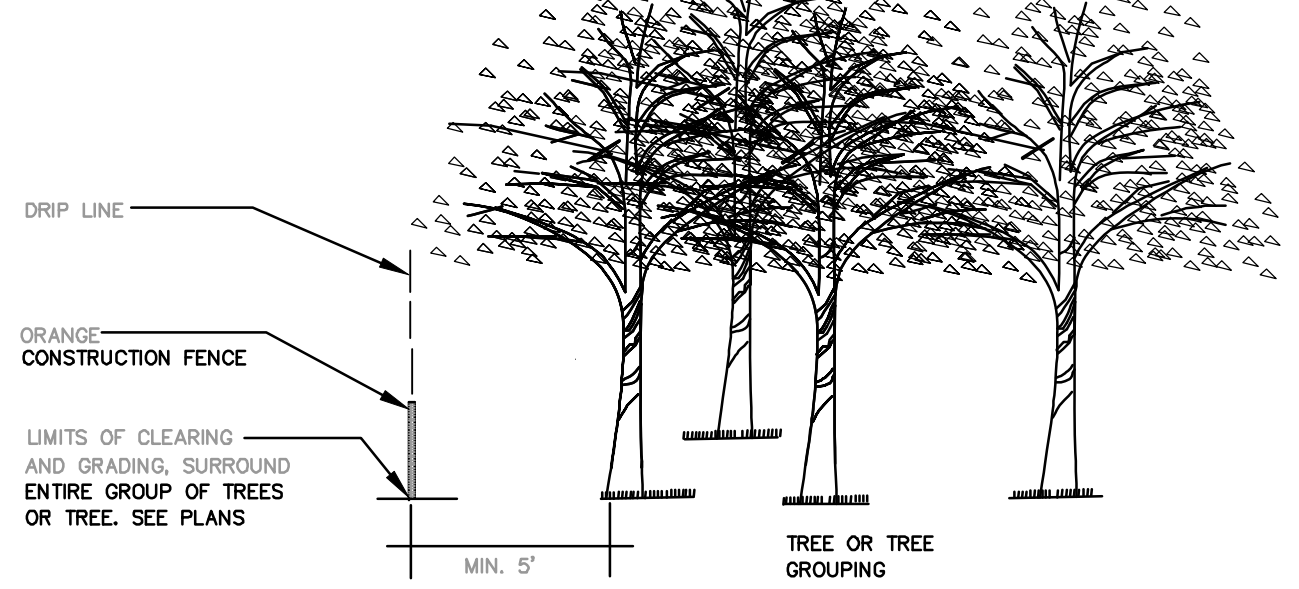


CONSTRUCTION ENTRANCE PAD –
NOT TO SCALE



- NOTES:
1. THE PURPOSE OF A STABILIZED CONSTRUCTION ENTRANCE IS TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO EXISTING PAVEMENT.
 2. BEFORE CONSTRUCTION ENTRANCE INSTALLATION, THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER UNDESIRABLE MATERIAL.
 3. THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO EXISTING PAVEMENT. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND.

TREE PROTECTION DETAIL –
NOT TO SCALE



INFILTRATOR CHAMBER

NOT TO SCALE
AS MANUFACTURED BY INFILTRATOR WATER TECHNOLOGIES OR APPROVED EQUAL
NOTE- INSTALL PER MANUFACTURER'S SPECIFICATIONS.

The Quick4® Plus High Capacity Chamber

Quick4 Plus™ Series

The Quick4 Plus High Capacity Chamber offers maximum strength through its two center structural columns. This chamber can be installed in a 36-inch-wide trench. Like the original line of Quick4 chambers, it offers advanced contouring capability with its Contour Swivel Connection™ which permits turns up to 15-degrees, right or left. It is also available in four-foot lengths to provide optimal installation flexibility. The Quick4 Plus All-in-One 12 Endcap, and the Quick4 Periscope are available with this chamber, providing increased flexibility in system configurations.

Quick4 Plus High Capacity Chamber Benefits:

- Two center structural columns offer increased stability and superior strength
- Advanced contouring connections
- Latching mechanism allows for quick installation
- Four-foot chamber lengths are easy to handle and install
- Supports wheel loads of 16,000 lbs/axle with 12" of cover

Quick4 Plus All-in-One 12 Endcap Benefits:

- May be used at the end of chamber row for an inlet/outlet or can be installed mid-trench
- Mid-trench connection feature allows construction of chamber rows with center feed, as an alternative to inletting at the ends of chamber rows
- Center-feed connection allows for easy installation of serial distribution systems
- Pipe connection options include sides, ends or top

Quick4 Plus All-in-One Periscope Benefits:

- Allows for raised invert installations
- 180° directional inletting
- 12" raised invert is ideal for serial applications

Quick4 Plus High Capacity Chamber Specifications

Size	34"W x 53"L x 14"H (864 mm x 1346 mm x 356 mm)
Effective Length	48" (1219 mm)
Louver Height	12" (305 mm)
Storage Capacity	54 gal (204 L)
Invert Height	0.8" (20 mm), 5.3" (135 mm), 8.0" (203 mm), 12.7" (323 mm)

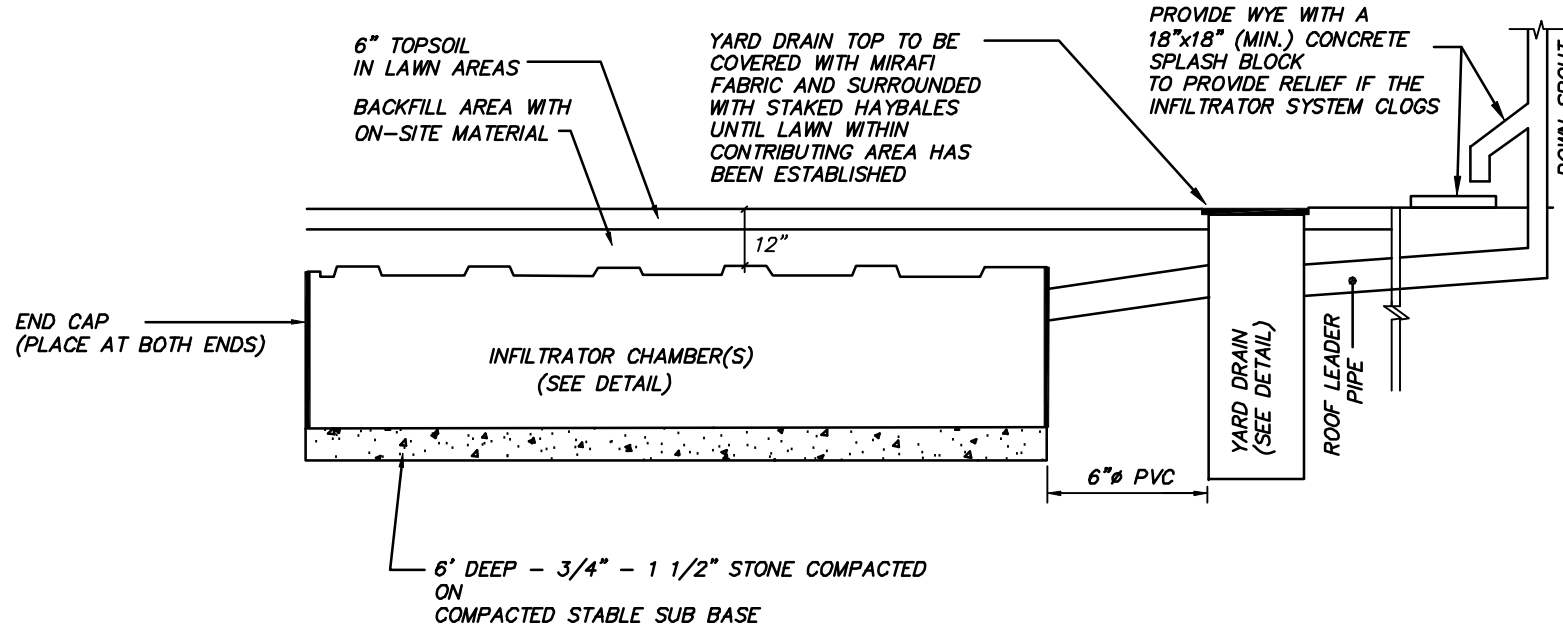
Maximum Strength

APPROVED BY

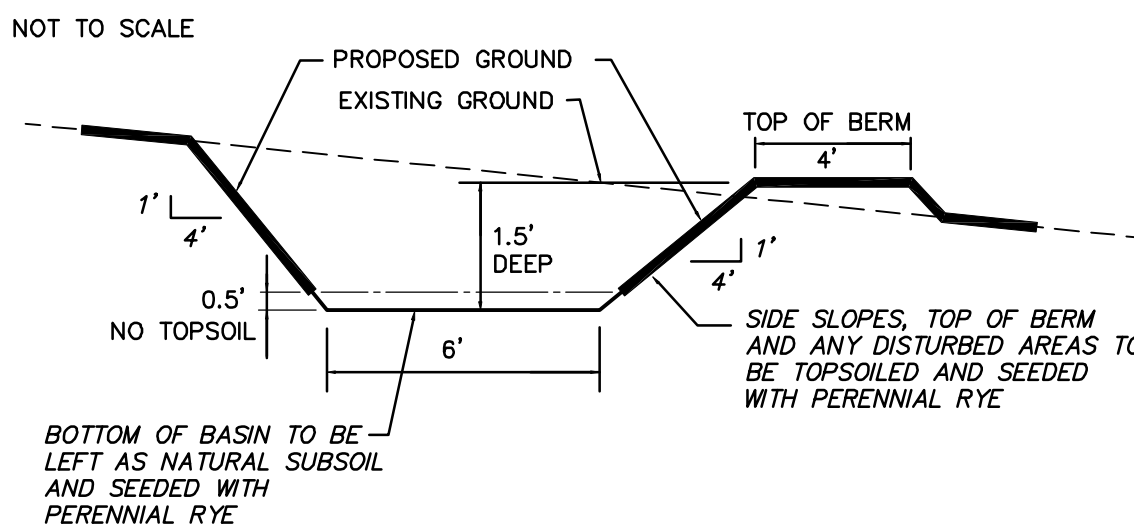
Certified by the International Association of Plumbing and Mechanical Officials (IAPMO)

DETAIL OF INFILTRATOR AND YARD DRAIN
NOT TO SCALE

NOTE- INFILTRATOR/YARD DRAIN SYSTEMS TO BE INSTALLED AT TIME OF SITE GRADING



RAIN GARDEN SECTION –
NOT TO SCALE



- SEQUENCE OF CONSTRUCTION:
- NOTE- FOR EACH LOT WHERE RAIN GARDEN(S) ARE PROPOSED, RAIN GARDEN IS TO BE CREATED PRIOR TO ANY OTHER ON-LOT CONSTRUCTION.
1. INSTALL GEOTEXTILE SILT FENCE DOWNHILL OF THE PROPOSED RAIN GARDEN.
 2. GRADE RAIN GARDEN.
 3. AFTER GRADING FOR RAIN GARDEN, BOTTOM WILL REMAIN AS NATURAL SUBSOIL AND SEEDED WITH PERENNIAL RYE. THIS WILL ALLOW NATIVE VEGETATION TO OCCUR. SIDE SLOPES OF RAIN GARDENS AND ALL ADJACENT DISTURBED AREAS SHALL BE TOPSOILED AND SEEDED WITH PERENNIAL RYE SEED.
 4. AFTER SITE DEVELOPMENT, RAIN GARDEN SHALL BE LEFT UNDISTURBED TO ALLOW FOR NATIVE VEGETATION TO OCCUR OVER TIME.

Quick4 Plus™ Series

Quick4 Plus High Capacity Chamber

Quick4 Plus All-in-One 12 Endcap

Quick4 Plus All-in-One Periscope

INFILTRATOR WATER TECHNOLOGIES STANDARD LIMITED WARRANTY

(a) The structural integrity of each chamber, endcap and other accessory manufactured by Infiltrator ("Units"), when installed and operated in a household or in a commercial system in accordance with Infiltrator's instructions, is warranted to the original purchaser ("Holder") against defective materials and workmanship for one year from the date that the septic permit is issued for the septic system containing the Units provided, however, that if a septic permit is not required by applicable law, the warranty period will begin upon the date that installation of the septic system commences. To exercise its warranty rights, Holder must notify Infiltrator in writing at its Corporate Headquarters in Old Saybrook, Connecticut within fifteen (15) days of the alleged defect. Infiltrator will supply replacement Units for Units determined by Infiltrator to be covered by this Limited Warranty. Infiltrator's liability specifically excludes the cost of removal and/or installation of the Units.

(b) THE LIMITED WARRANTY AND REMEDIES IN SUBPARAGRAPH (a) ARE EXCLUSIVE. THERE ARE NO OTHER WARRANTIES WITH RESPECT TO THE UNITS, INCLUDING NO IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

(c) This Limited Warranty shall be void if any part of the chamber system is manufactured by anyone other than Infiltrator. The Limited Warranty does not extend to incidental, consequential, special or indirect damages. Infiltrator shall not be liable for penalties or liquidated damages, including loss of production and profits, labor and materials, overhead costs, or other losses or expenses incurred by the Holder or any third party. Specifically excluded from Limited Warranty coverage are damages to the Units due to ordinary wear and tear, alteration, accident, misuse, abuse or neglect of the Units, the Units being subjected to vehicle traffic or other conditions which are not permitted by the installation instructions, failure to maintain the minimum ground covers set forth in the installation instructions, the placement of improper materials into the system containing the Units, failure of the Units or the septic system due to improper siting or improper siting, excessive water usage, improper grease disposal, or improper operation; or any other event not caused by Infiltrator. This Limited Warranty shall be void if the Holder fails to comply with all of the terms set forth in this Limited Warranty. Further, in no event shall Infiltrator be responsible for any loss or damage to the Holder, the Units, or any third party resulting from installation or operation, or from any product liability claims of Holder or any third party. For this Limited Warranty to apply, the Units must be installed in accordance with all site conditions required by state and local codes, all other applicable laws, and Infiltrator's installation instructions.

(d) No representative of Infiltrator has the authority to change or extend this Limited Warranty. No warranty applies to any party other than the original Holder.

The above represents the Standard Limited Warranty offered by Infiltrator. A limited number of states and countries have different warranty requirements. Any purchase of Units should contact Infiltrator's Corporate Headquarters in Old Saybrook, Connecticut, prior to such purchase, to obtain a copy of the applicable warranty, and should carefully read that warranty prior to the purchase of Units.

Quick4 Plus High Capacity Chamber Specifications

Size	34"W x 53"L x 14"H (864 mm x 1346 mm x 356 mm)
Effective Length	48" (1219 mm)
Louver Height	12" (305 mm)
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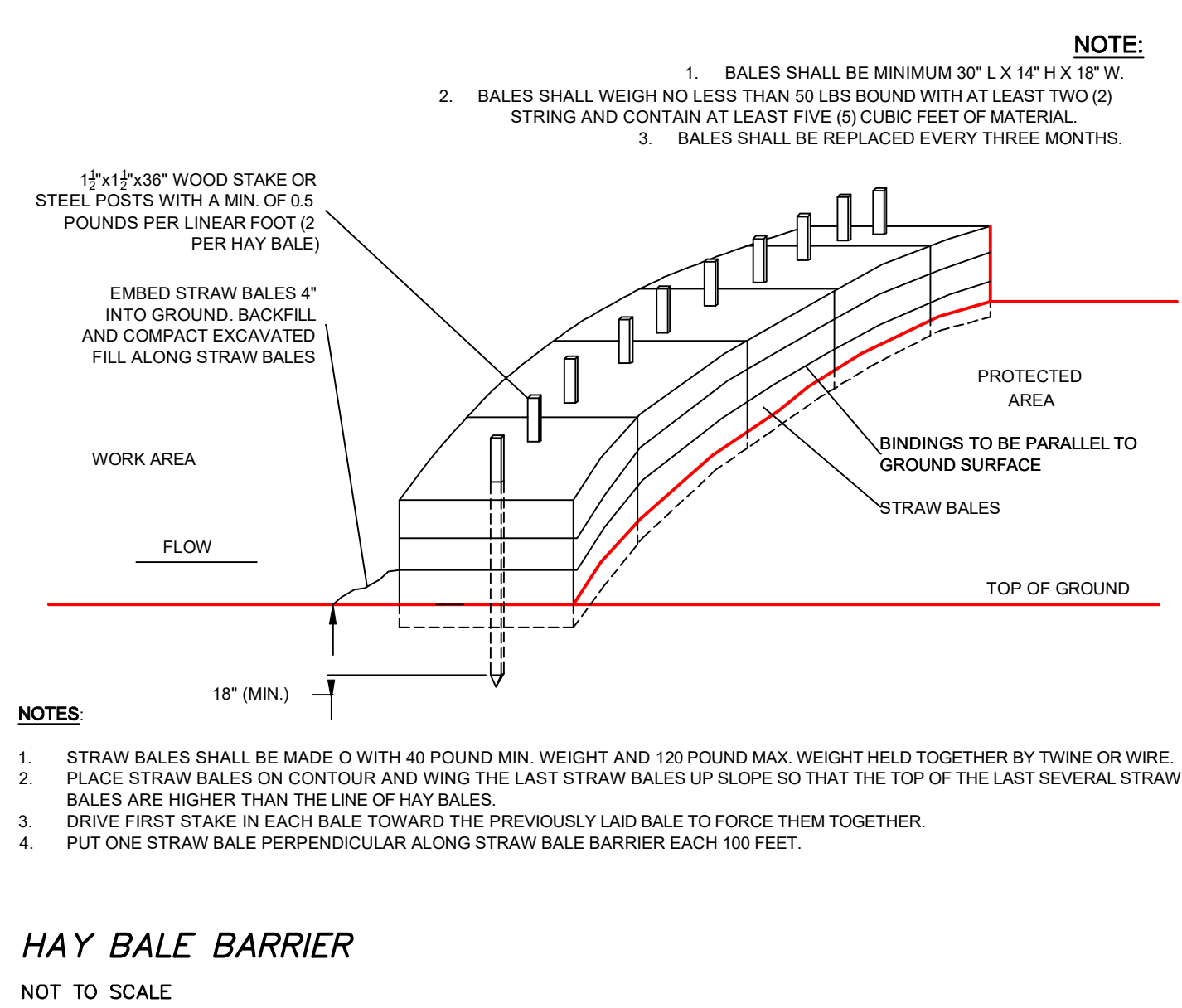
Maximum Strength

APPROVED BY

Certified by the International Association of Plumbing and Mechanical Officials (IAPMO)

CONSTRUCTION NOTES:

1. TOPOGRAPHY WITHIN THE AREAS OF EXISTING ROADS, BOUNDARY LINES, WETLANDS, AND PROPOSED SEPTIC SYSTEMS HAS BEEN FIELD VERIFIED BY ALFORD ASSOCIATES, INC. IN DECEMBER, 2024 AND CONFORMS TO VERTICAL ACCURACY CLASS 1-2. OTHER EXISTING CONTOURS HAVE BEEN TAKEN FROM CT ECO MAPS (CONNECTICUT ENVIRONMENTAL CONDITIONS ON-LINE), PROVIDED BY UCONN AND CT DEEP. LOCATION OF ABUTTING HOUSES ARE APPROXIMATE AND HAVE BEEN TAKEN FROM TOWN AERIAL MAPS. THE APPROXIMATE LOCATION OF EXISTING ABUTTING WELLS ARE TAKEN FROM RECORDS BY THE FARMINGTON VALLEY HEALTH DISTRICT.
2. FOR EACH PROPOSED HOUSE, PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL OF THE REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
3. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE TOWN OF GRANBY.
4. UNSPECIFIED CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF GRANBY. THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM B19, AS AMENDED AND MANUFACTURER'S SPECIFICATIONS.
5. ALL UNSUITABLE MATERIAL DISCOVERED DURING CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
6. MIRAFI FABRIC FENCE SHALL BE MAINTAINED UNTIL ALL CONTRIBUTING SURFACES HAVE BEEN STABILIZED.
7. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE 2002 CONNECTICUT EROSION AND SEDIMENTATION GUIDELINES.
8. NO STUMPS ARE TO BE BURIED ON THE PROPERTY.
9. FINAL LOCATION OF UTILITIES SERVING PROPOSED HOUSE SHALL BE DETERMINED BY THE UTILITY COMPANIES. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
10. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO ESTABLISHING FINAL GRADE OF PROPOSED FOOTINGS AND FOUNDATION. CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL MEASURES FOR STOCKPILED MATERIAL AND AT TOPS SLOPES DURING FOUNDATION EXCAVATION. MIRAFI FABRIC SILT FENCE AND/OR TEMPORARY VEGETATION IF PILES ARE TO REMAIN IN PLACE FOR EXTENDED PERIODS OF TIME.
11. WHERE SHOWN ON THE PLAN, PROPOSED ROOF LEADERS TO CONNECT INTO YARD DRAINS AND INFILTRATOR CHAMBERS. OTHERWISE, ROOF LEADERS CAN DISCHARGE ON TO SPLASH PADS SET ON THE GROUND. INFILTRATORS AND YARD DRAINS TO BE INSTALL AFTER THE MAJORITY OF THE LOT CONSTRUCTION IS COMPLETED AND STABILIZED. AS NEEDED, WRAP YARD DRAIN GRATE WITH MIRAFI FABRIC TO KEEP SEDIMENT OUT OF YARD DRAIN.
12. A STOCKPILE OF CRUSHED STONE, GEOTEXTILE SILT FENCE AND HAY BALES IS TO BE MAINTAINED ON SITE FOR USE DURING HEAVY RAINS OR OTHER EMERGENCIES.
13. WITHIN A CONTRIBUTING AREA, AFTER STABILIZATION AND ESTABLISHMENT OF VEGETATIVE COVER, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF PROPERLY.



HAY BALE BARRIER
NOT TO SCALE

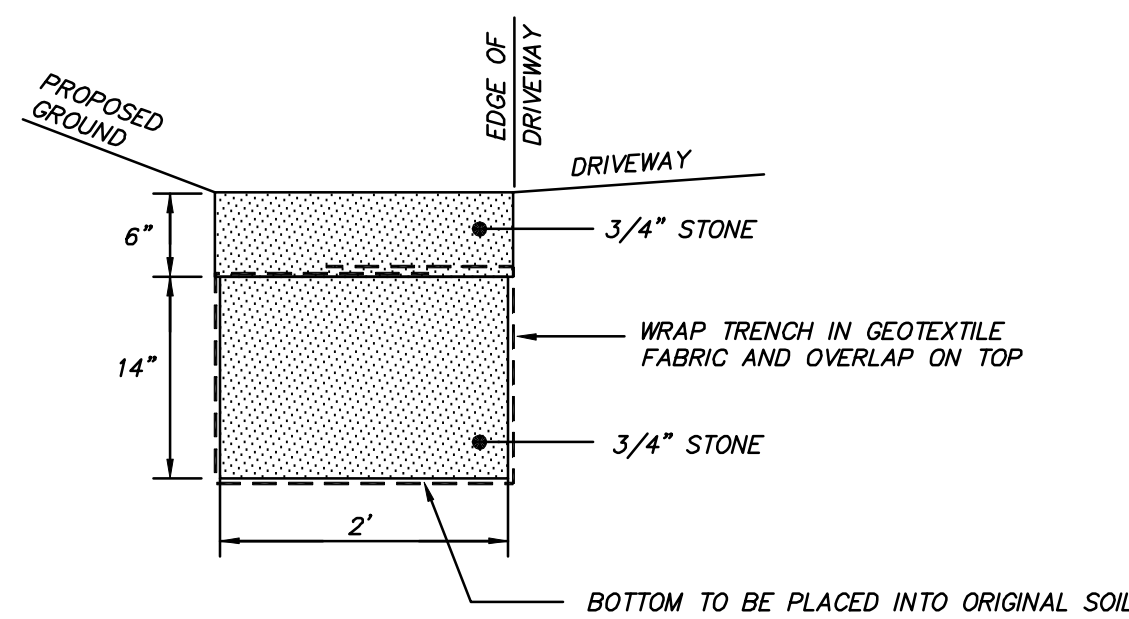
NOT TO SCALE

2. THE AVERAGE GRADE OF A DRIVEWAY SHALL BE NO MORE THAN 12%, MEASURED FROM THE STREET GUTTER TO THE BUILDING SERVED. NO PORTION OF A DRIVEWAY SHALL CONTAIN A GRADE IN EXCESS OF 15%.



NOT TO SCALE

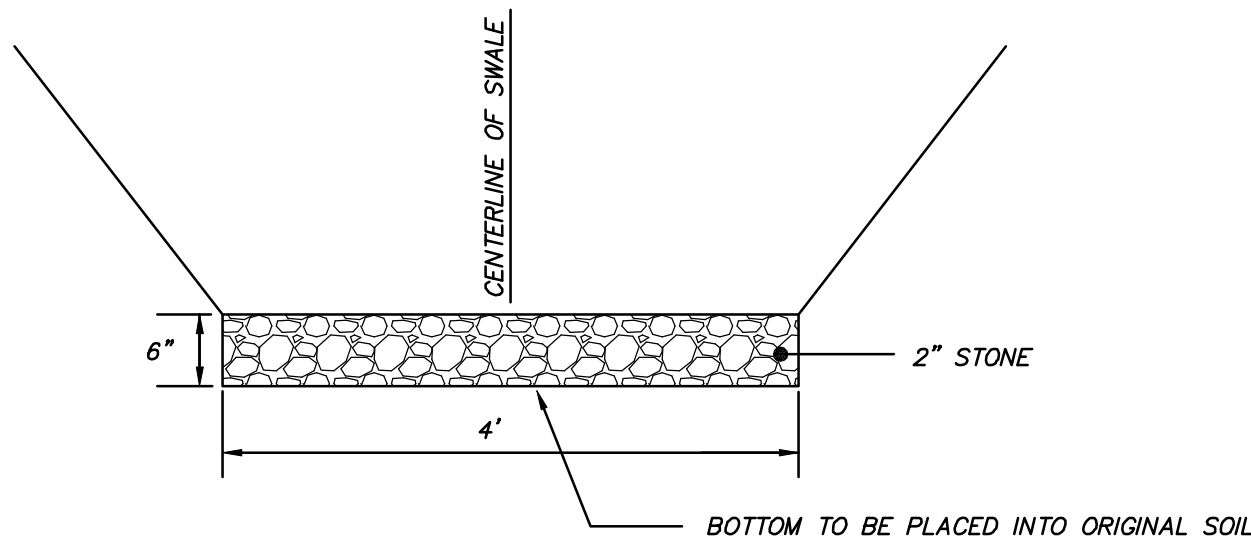
NOTE -
INSTALL STONE TRENCH AFTER CONTRIBUTING AREAS ARE STABILIZED.



NOT TO SCALE

NOTES -

1. STONE TRENCH TO BE 40 FEET LONG.
2. INSTALL STONE TRENCH AFTER CONTRIBUTING AREAS ARE STABILIZED.



NOTE- THE INVASIVE SPECIES MANAGEMENT PLAN HAS BEEN PREPARED BY IAN COLE, PROFESSIONAL REGISTERED SOIL SCIENTIST/PROFESSIONAL WETLAND SCIENTIST FROM MIDDLETOWN, CONNECTICUT.

188 DAY STREET SUBDIVISION – GRANBY

The prime objective of this Invasive Species Management Plan is to avoid, minimize, and mitigate the introduction, spread, or the increased risk of invasion of invasive plant species on the project site, into new or disturbed areas, or areas adjacent to the project site caused by the site work shall be avoided.

Contractors will utilize established construction best management practices (BMPs) and measures that (1) do not contribute to the spread of, or (2) reduce the spread of target invasive plant species are the main objectives of this Plan. These measures are incorporated into the construction plans for the Project.

The removal of invasive shrubs/vines and herbaceous plants, including autumn olive, multiflora rose, Japanese barberry, garlic mustard, mugwort, Japanese knotweed and Asiatic bittersweet, will open up areas for proper site stabilization and restoration. The protocols used for the eradication of invasive plants shall follow those promulgated by the Connecticut Invasive Plant Working Group (CIPWG), and notification to Town Staff. The removal methods may include excavation, smothering with black plastic /tarp, and/or targeted herbicide treatments. However, only mechanical removal methods of invasives will occur within the wetland boundary.

Note: wetlands containing invasive plants extend well beyond the Project area and outside of areas in which any Project activities will be performed. Therefore, attempting to eradicate invasive species from portions outside the limits of disturbance is not considered a practical goal of this Plan. The main focus area for invasive species control is centered on the newly planted 45' buffer zone.

The CT DEEP, under PA 03-136 and in cooperation with the Connecticut Invasive Plants Council (through the Invasive Plant Atlas of New England [IPANE]), has compiled a State list of invasive plants. The species listed in the following table are likely found in wetlands in the Project area based on field investigations.

Common Name	Latin Name
Multiflora rose*	<i>Rosa multiflora</i>
Asiatic bittersweet	<i>Celastrus orbiculatus</i>
Japanese barberry*	<i>Berberis thunbergii</i>
Morrow's honeysuckle	<i>Lonicera morrowii</i>
Autumn olive	<i>Elaeagnus umbellata</i>
Japanese Knotweed	<i>Fallopia japonica</i>
Garlic mustard	<i>Alliaria Petiolata</i>
Mugwort*	<i>Artemisa vulgaris</i>

Invasive species management areas will target only the area within the proposed limits of disturbance.

1. If deemed necessary to facilitate construction workspace, targeted areas of invasive non-native species shall be mechanically removed from the invasive species management areas during construction. The preferred method for initial removal is pulling the invasive shrubs and vines with a small machine (e.g., mini excavator) so that the roots are removed.
2. Disposal of invasive plant material shall comply with CT DEEP guidelines.
3. If required Any herbicide used for invasive eradication or control shall be applied by a Licensed Pesticide Applicator.
4. These areas noted above will be subject to a 2-year guarantee that invasive species will be treated and removed to the satisfaction of the Town.
5. The contractor shall guarantee a survival rate planted shrubs of 80% following the 2 year monitoring period.

The Project proposes to implement a series of procedures within the limits of the work area during the construction phase of the Project to meet the intended goals of this Plan. Care and consideration would be taken during all phases of Project construction to prevent the spread of target invasive species to areas that are currently devoid of them, and to prevent the spread of target invasive plant communities that currently exist.

Contractors will take precautionary measures to prevent and/or reduce the introduction or spread of target invasive species when clearing, placing, and moving equipment through areas containing said species. Equipment decontamination will be conducted at appropriate locations to the extent feasible to prevent spreading target invasive species.

Vegetation removal will be one of the first activities to occur, after the limits of disturbances is surveyed and staked. Vegetation clearing within the work area is necessary to provide access to structure locations, and to provide clearance to facilitate construction. To control the spread of target invasive plant species during construction, the following procedures will be implemented:

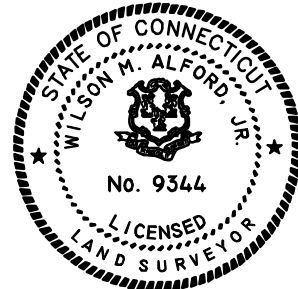
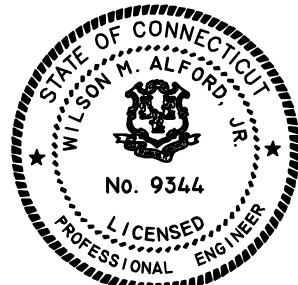
- All equipment, vehicles, and materials are to be clean and free of excess soil, debris, and vegetation prior to arrival at the Project site.
- Clearing of vehicles and other equipment will involve removal of visible dirt, debris and vegetation through the use of brooms, shovels, and, if needed, compressed air.
- Final restoration of the site to be carried out in accordance with the current plan requirements. If "hay bale" erosion controls are required on site, the contractor will be required to use alternative measures, to the extent practicable and if local sources are available, utilize straw bales, coconut rolls, wood chip bags or silt fence in lieu of traditional hay bales which may contain noxious or invasive seed stock or plant matter. This is especially important when erosion controls are installed adjacent to wetlands. Efforts will be made during construction, to the extent practicable, to minimize equipment mobility in areas containing invasive species so as to avoid dragging invasive plant material back and forth from established stands.

1. Upon completion of land clearing and restoration of the site, it is recommended that a follow-up assessment be completed to determine the success of any removal and if any recommended action items are warranted. The site shall be monitored for 2 years.

- U.S. Army Corps of Engineers, New England District website, which includes disposal information www.nae.usace.army.mil/regulatory
- Invasive Species. Invasive Plant Atlas of New England www.ipane.org
- Cooperative Extension System Offices www.csrees.usda.gov/Extension

COMMENTS	TS	REVISION
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2-25	12-25	DATE
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TO THE BEST OF MY
KNOWLEDGE AND BELIEF
THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON

L.S. NO. 9344

NOT VALID WITHOUT A LIVE
SIGNATURE AND EMBOSSED SEAL



CIVIL ENGINEERS
WINDSOR, CONNECTICUT
●
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: APRIL 25, 2025

SCALE: 1 IN. = 40 FT

BREEZY MEADOW SUBDIVISION
NOTES AND DETAILS

PEAK MOUNTAIN DEVELOPMENT LLC

Sheet
NOTES-2

OWNER OF RECORD

BARBARA BRAEM JENSEN
MAILING ADDRESS:
45 BUGBEE ROAD, SOUTHWICK, MA 01077-970

APPLICANT

PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK MacNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: Kirk@MacBuilds.com