

AGENDA
Regular Hybrid Meeting
Town of Granby
Planning & Zoning Commission
Tuesday, July 8, 2025, at 7:00 pm
Town Hall Meeting Room

Live Stream under “Shows and Spotlight”: www.gctv16.org

Zoom: <https://us02web.zoom.us/j/81561159780?pwd=pGaRIgFW5AXVfCHYyabxLM9XE6Bjws.1>

Call-In: 1-929-205-6099

Meeting ID: 815 6115 9780

Passcode: 919418

1. Call to Order
2. Pledge of Allegiance
3. Seating of Alternates, if applicable
4. Public session
5. Action on the minutes of June 24, 2025
6. Public Hearings
 - a. Application seeking a 7-lot subdivision, Breezy Meadow, for property located at 188 Day Street, R30 and R50 Zones: File P-1-25.
 - b. Application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation for properties located at 67/87/95B Notch Road, R50 Zone: File Z-11-25.
 - c. Application seeking a Special Permit under Zoning Regulations Sections 8.3 and 8.16 for a restaurant serving alcoholic beverages for property located at 9 Bank Street, Unit H, COCE Zone: File Z-13-25.
 - d. Application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation for property located at 536 Salmon Brook Street, I/R30/R50 Zone: File Z-14-25.
7. Application seeking a Site Plan Modification to install a 160 square foot recycling station for property located at 124 Salmon Brook Street, Stop and Shop, C2 Zone: File Z-12-25.
 - a. Applicant presentation
 - b. Public comment
 - c. Commission consideration
8. Receive applications and schedule public hearing (if applicable)
9. Consideration of applications, where the Commission has concluded the public hearing
10. Commission discussion: Plan of Conservation and Development Committee, member composition
11. Staff Report and Correspondence
12. Commissioner Reports and Correspondence
13. Adjourn

Please note: The Town of Granby invites any resident who wishes to provide materials to this Commission to provide them to the Office of Community Development by noon on the prior Thursday of the scheduled meeting. In the event you are unable to meet that deadline but still wish to provide the Commission with materials, the Town of Granby respectfully asks that you provide sufficient copies of your materials to the Office prior to the meeting so the materials may be distributed to the Commission. Thank you in advance for your cooperation.

MEETING MINUTES
Town of Granby
Planning & Zoning Commission
Tuesday, June 24, 2025, at 7:00 pm

Present: Eric Lukingbeal, Robert Lavitt, Steve Muller, Christine Chinni, Brennan Sheahan, and Paula Johnson

Absent: Mark Lockwood, Eric Myers, and Meg Jabaily

Also Present: Director of Community Development Abigail Kenyon

1. Call to Order

Acting Chair C. Chinni called the meeting to order at 7:00 p.m.

2. Pledge of Allegiance

3. Seating of Alternates, if applicable

P. Johnson was seated.

4. Public Session

None

5. Action on the minutes of June 10, 2025

ON A MOTION by R. Lavitt seconded by E. Lukingbeal, the Commission voted (4-0-2) to approve the June 10, 2025, minutes as presented. B. Sheahan and P. Johnson abstained.

6. Public Hearings

- a. **Application seeking a Site Plan and Special Permit under Zoning Regulations Sections 3.5.4.3, 8.6.14 and 8.21.4 for a commercial building in the Aquifer Protection Overlay Zone with an illuminated freestanding directory sign and outdoor storage, for property located at 14 Mill Pond Drive, C2 Zone: File Z-7-25.**

P. Johnson stated that she watched the meeting recording. B. Sheahan stated that he also watched the meeting recording but would recuse himself from voting on the application.

Applicant and Landscape Architect Biff Schechinger was present to discuss the application, along with property owner Steve Briggs. The owner is seeking permission to construct a new commercial building just under 5,000 square feet on the vacant parcel at 14 Mill Pond Drive. It was explained that since the last meeting, the narrative has been revised to address the aquifer protection overlay regulations; 6 parking spaces for equipment/trucks has been added to the north of the building; the building elevation has been updated to add an overhang over the door that will face Mill Pond Drive; and minor updates to the stormwater management system were made to address comments from the Town Engineer.

In response to Commission questions, it was explained that there will be one five-gallon container of hydraulic fluid, one case of motor oil, and one case of hydraulic lubricant tubes (24 tubes total). These will be stored in a locked metal cabinet that will be located on the west side of the building, away from the overhead doors. The applicant stated that there are no floor drains and the narrative outlines the procedure to clean up spills. The Commission asked for clarification about oil changes and equipment maintenance, and what was planned for the property. The property owner stated that there would be top offs of fluid for the equipment and an occasional oil change, but all other maintenance and repair work would be done off site. In response to a question about the waste oil,

it was stated that the waste oil from any oil change would be stored in a five-gallon container, which would then be stored in the metal cabinet located on the west site of the building, before being properly disposed. It was clarified that the occasional oil change would be on the property owner's equipment. In response to question about other outstanding comments, the applicant noted that the building elevation would be modified to relocate the pedestrian of the third unit so it was in the correct location, as it is currently shown to exit into the landscaped island. The Commission had questions about the proposed outdoor storage. It was clarified that aside from the one materials storage bin and the six parking spaces for vehicles/equipment, there would be no other outdoor storage on the property.

The Commission reviewed the proposed conditions of approval outlined in the staff review memo dated June 24, 2025. It was noted that two additional conditions would be needed to address the occasional oil change and the correction of the building elevations.

There was no public comment and the public hearing closed.

- b. **Application seeking a Site Plan Modification to allow access to abutting lot, for property located at 18 Mill Pond Drive, C2 Zone: File Z-8-25.**

This application was discussed as part of the above application: File Z-7-25.

7. **Receive applications and schedule public hearing**

- a. **Application seeking a Site Plan Modification to install a 160 square foot recycling station for property located at 124 Salmon Brook Street, Stop and Shop, C2 Zone: File Z-12-25.**

The Commission will consider this application at the July 8th meeting. There was no public hearing scheduled as it is a minor site plan modification.

- b. **Application seeking a Special Permit under Zoning Regulations Sections 8.3 and 8.16 for a restaurant serving alcoholic beverages for property located at 9 Bank Street, Unit H, COCE Zone: File Z-13-25.**

The above application was scheduled for a public hearing on July 8, 2025, at 7 PM.

A. Kenyon reported that an Application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation for Tilcon (536 Salmon Brook Street) was also received. The public hearing was scheduled for July 8, 2025, at 7 PM.

8. **Consideration of applications, where the Commission has concluded the public hearing**

- a. **Application seeking a Site Plan and Special Permit under Zoning Regulations Sections 3.5.4.3, 8.6.14 and 8.21.4 for a commercial building in the Aquifer Protection Overlay Zone with an illuminated freestanding directory sign and outdoor storage, for property located at 14 Mill Pond Drive, C2 Zone: File Z-7-25.**

ON A MOTION by P. Johnson seconded by E. Lukingbeal, the Commission voted (5-0-1), B. Sheahan abstained, to approve an application seeking a Site Plan and Special Permit under Zoning Regulations Sections 3.5.4.3, 8.6.14 and 8.21.4 for a commercial building in the Aquifer Protection Overlay Zone with an illuminated freestanding directory sign and outdoor storage, for property located at 14 Mill Pond Drive, C2 Zone: File Z-7-25, subject to the following:

1) Erosion and sedimentation control measures must be installed as depicted on the subject plans and maintained during the construction period and until such time that the soil is permanently

stabilized. An erosion and sediment control bond of \$2,000 in the form of cash or check shall be deposited with the Town of Granby prior to the execution of the mylars.

2) The applicant shall reimburse the Town of Granby for all payments made to the Town Engineer for monitoring the development for compliance with this approval. The applicant shall reimburse the Town at a rate of \$120 per hour for the services of the Town Engineer. The applicant shall deposit with the Town of Granby the sum of \$1,500 in the form of cash or check to be applied to the costs as described herein prior to the execution of the mylars. Should the costs exceed this amount, the applicant will be billed the difference. Any funds not used for this project will be remitted to the applicant at the conclusion of the project. The term Town Engineer includes any person or firm so designated by the Town Engineer or the Director of Community Development.

3) Prior to the start of construction, the applicant shall attend a pre-construction meeting with the Town Engineer and Director of Community Development to review the process.

4) Due to the close proximity of the building to the side yard setback, prior to pouring the foundation, its location shall be staked in the field by a licensed surveyor. The Building Official shall be notified when this is complete for inspection.

5) Upon completion of the development and prior to Certificate of Occupancy, an Improvement Location Survey (as-built) shall be prepared, approved by the Town Engineer, and filed with the Town Clerk. The design professional shall also provide a letter stating that the site was constructed in accordance with the approved plans.

6) All outstanding site work must be completed or bonded prior to Certificate of Occupancy.

7) The development is within the Town's sewer service area and the Town has sufficient capacity to accommodate the proposal. However, the final mylars shall not be filed until such time that the Granby Water Pollution Control Authority approves the sewer allocation.

8) There shall be no outside storage beyond the materials storage bin and the six parking spaces on the north side of the building designated as licensed commercial vehicle/equipment parking bays shown on the approved plans. All other equipment and vehicles shall be stored and parked inside the building.

9) The illuminated freestanding sign is approved as presented.

10) This approval is for the occupancy of the southern building unit, shown as Unit #1 on the approved plans, only by the applicant. Special Permit approval is required prior to occupancy of the other two building units, this includes either expansion by the current applicant into those units or occupancy by other tenants.

11) Easements for shared parking per Zoning Regulation Section 7.3.1, access, utilities, and any other applicable items between 14 and 18 Mill Pond Drive must be filed on the Land Records and shown on the plan prior to filing the mylars.

12) The proposed infiltration system should have capacity to accommodate at least the 10-year storm event without flow entering the street. Revisions and modifications to the system, including an additional chamber(s) or any other changes to address this, shall be submitted for review and approval by the Town Engineer prior to filing the mylars.

13) The chambers specified shall be designed for stormwater detention/infiltration. Revisions and modifications shall be submitted for review and approval by the Town Engineer prior to filing the mylars.

14) Occasional oil changes on the applicant's equipment are permitted. All waste oil generated from these oil changes is to be stored in a single five-gallon waste container prior to proper disposal off site.

15) The building elevations shall be updated to show the correct location of the pedestrian door prior to filing the mylars.

b. Application seeking a Site Plan Modification to allow access to abutting lot, for property located at 18 Mill Pond Drive, C2 Zone: File Z-8-25

ON A MOTION by P. Johnson seconded by E. Lukingbeal, the Commission voted (5-0-1), B. Sheahan abstained, to approve an application seeking a Site Plan Modification to allow access to abutting lot, for property located at 18 Mill Pond Drive, C2 Zone: File Z-8-25, subject to the following:

Easements for shared parking per Zoning Regulation Section 7.3.1, access, utilities, and any other applicable items between 14 and 18 Mill Pond Drive must be filed on the Land Records and shown on the plan prior to filing the mylars.

9. Staff Report and Correspondence

A. Kenyon stated that six applications were received for the POCD Subcommittee.

10. Commissioner Reports and Correspondence

None

11. Adjourn

ON A MOTION by E. Lukingbeal seconded by S. Muller, the Commission voted (6-0-0) to adjourn the meeting at 7:41 PM.

Respectfully submitted,

Abby Kenyon

TOWN OF GRANBY
Public Hearing
Planning & Zoning Commission (PZC)

There will be a public hearing conducted by the PZC on Tuesday, July 8, 2025, at 7:00 p.m. in the Granby Town Hall Meeting Room, 15 North Granby Road to hear and consider the following items:

- Application seeking a 7-lot subdivision, Breezy Meadow, for property located at 188 Day Street, R30 and R50 Zones: File P-1-25.
- Application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation for properties located at 67/87/95B Notch Road, R50 Zone: File Z-11-25.
- Application seeking a Special Permit under Zoning Regulations Sections 8.3 and 8.16 for a restaurant serving alcoholic beverages for property located at 9 Bank Street, Unit H, COCE Zone: File Z-13-25.
- Application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation for property located at 536 Salmon Brook Street, I/R30/R50 Zone. File Z-14-25.

At the hearing interested persons may appear and be heard and written communications will be received. Copies of the proposals are on file in the Community Development Office.

TOWN OF GRANBY

MEMORANDUM

TO: Planning and Zoning Commission

CC: Kirk MacNaughton, Skip Alford

FROM: Abby Kenyon, Director of Community Development

DATE: July 3, 2025

RE: Application seeking a 7-lot subdivision, Breezy Meadow, for property located at 188 Day Street, R30 and R50 Zones: File P-1-25.

The applicant is applying for a 7-lot subdivision at 188 Day Street. The property is just over 15.5 acres and is in the R30 and R50 Zones, with frontage along both Day Street and North Granby Road. As shown on the subdivision plans, there would be five lots with access onto Day Street and two lots with access onto North Granby Road. For the lots along Day Street, one of the lots (lot 5) would have two driveways located on it. One of the driveways would serve the house on lot 5 and the other driveway would be a shared driveway to serve both lots 6 and 7, which are located to the south. The primary reason for this proposed driveway configuration is because of the mapped wetlands area which extends along the front of lots 6 and 7 and a portion of lot 5. It is noted that all lots would have a well and septic.

Please refer to the following for further consideration:

Open Space

To comply with the open space requirement, which requires 20% of the property be dedicated open space, the applicant is proposing 3.748 acres of dedicated open space. This dedicated open space would be located to the east of the proposed lots and as outlined in the applicant's letter, is proposed to be deeded to the Town.

Visual Streetscape Buffer

Subdivision Regulations Section 3.1.4.1.5 requires a visual streetscape buffer. Specifically, "A visual streetscape buffer shall be established whenever subdivisions are proposed which have access or create new lots on any street, existing within the Town on 1/1/2000. The streetscape buffer shall stretch along the entire street frontage of the property, adjacent to the through street. The streetscape buffer shall extend from the street line, back into the property to a minimum depth equal to the lesser of 50% of the depth (as measured perpendicular from the street line to the furthest point of the rear property line), or a distance of 500 feet. The depth of the buffer shall be computed based on the configuration of the entire parcel, prior to subdivision. Within the

streetscape buffer all existing vegetation shall be preserved, the removal and depositing of earth and other materials shall be prohibited, and all construction activity shall be prohibited, except as specifically approved by the Commission.....

The Commission may reduce the depth of the streetscape buffer where conditions exist which, while preserving the streetscape, lessen the required depth of the buffer. These conditions include, but are not limited to:

- The vertical and horizontal alignment of the roads,
- The quality and quantity of the existing vegetation,
- The quality and quantity of proposed vegetation,
- The existence of natural and geological features, which serve as a buffer,
- The existence of man made and historical features, which serve as a buffer.

The streetscape buffer shall be permanently preserved through the creation of a conservation or similar easement, shown on the approved subdivision map and/or by deeded the fee or easement to an approved entity.”

The applicant met informally with the Commission a few months ago to discuss the streetscape buffer. The submitted plans show a proposed buffer of 30 feet along lots 1, 2, 3, and 4. It should be noted that Lot 3 also shows a 20-foot buffer adjacent to Day Street. Lots 5, 6, and 7 have a conservation restriction area associated with the mapped wetlands. This area extends more than 30-feet into the lots. Therefore, the actual buffer area for those three lots is greater. The Commission is asked to consider the proposed streetscape buffer and the applicability of the conditions outlined in Section 3.1.4.1.5 of the Subdivision Regulations to reduce the depth.

Easements

It should be noted that there are several easements shown in the subdivision plans, including the conservation easement restriction, visual streetscape buffer, access and utilities easement (lots 5, 6, and 7), drainage easement, and unrestricted right to drain. There will also need to be a shared driveway agreement between lots 6 and 7, if the Commission approves the proposed driveway configuration.

Staff Comments

Below are staff comments / items for further discussion:

1. Subdivision Regulations Section 2.2.18: Report from the Farmington Valley Health District is needed.
2. Subdivision Regulations Sections 2.2.22 and 3.1.4: Visual preservation planting plan is required. Show wooded area on site. Area to be cleared. Minimum three trees in front yard to be planted or preserved. Where is this included?
3. Subdivision Regulations Section 3.1.4.1.5: Commission discussed informally the visual streetscape buffer. Now that an application has formally been submitted, the Commission will review the proposed buffer depth of 30’ and discuss further. Per the regulations also note “the streetscape buffer shall be permanently preserved through the creation of a conservation or similar easement, shown on the approved subdivision map and/or by deeding the fee or easement to an approved entity.” Refer to the information above about

- the streetscape buffer.
4. Proposed language for the following has been submitted for review:
 - a. Conservation easement restriction / Visual streetscape buffer
 - b. Access and utilities easement (lots 5, 6, and 7) / Shared driveway agreement (lots 6 and 7)
 - c. Unrestricted right to drain to Town of Granby
 5. Drainage easement language required to be submitted for review.
 6. The plan set addresses conservation placards to be installed prior to C/O on the lot. However, requirements for marking the streetscape buffer should also be noted on the plan set.

Conditions

Below are typical provisions outlined in a subdivision approval as well as some provisions specific to this application:

1. All easement language must be finalized, approved, and filed on the land records prior to the filing of the mylars.
2. All easements shall be shown on individual plot plans and referenced in the deeds.
3. No building permit for any lot shall be issued until the open space as shown on the approved subdivision plan is deeded to the Town of Granby.
4. Conservation/Streetscape Buffer placards shall be installed prior to C/O on each lot. The design of the placards shall be submitted to the Director of Community Development for review and approval. The placards shall be located approximately 50-feet apart, or at closer intervals if needed, to clearly delineate the easement area on each lot. The placards are to be affixed to a 4" x 4" wooden post. If the placards are to be affixed to an existing or proposed tree, or displayed in some other manner, the proposal must be submitted to the Director of Community Development for review and approval prior to installation.
5. The applicant shall reimburse the Town of Granby for all payments made to the Town Engineer for monitoring the construction for compliance with this approval. The applicant will reimburse the Town at a rate of \$120 per hour for the services of the Town Engineer. The applicant shall deposit with the Town of Granby the sum of \$3,000 to be applied to the costs as described herein. Should the costs exceed this amount the applicant will be billed for the difference. Any funds not used for the project will be remitted to the applicant at the conclusion of the project. As used in this condition, the term Town Engineer includes any person or firm so designated by the Town Engineer or the Director of Community Development. The required funds shall be deposited with the Town of Granby prior to the filing of the mylars.
6. An access, inspection and repair agreement and a \$1,000 cash bond for each lot shall be required to ensure that the Erosion and Sediment Control Plan is installed, maintained and functions as proposed for each individual building lot as outlined in Section 8.7.7 of the

Zoning Regulations.

7. All Town Engineer comments outlined in the June 27, 2025 plan review memo must be addressed and resolved, and the plans updated accordingly prior to finalization.
8. The final mylar shall be modified to comply with the requirements outlined herein, prior to execution by the Commission.

Kevin Clark, PEL
Town Engineer
Town of Granby
15 North Granby Road
Granby, CT 06035

CT: (860) 844-5318
Cell (860) 559-1902
E-MAIL: townengineer@granby-ct.gov

Subdivision Application Plan Review
June 27, 2025

Breezy Meadow Subdivision, Prepared for Peak Mountain Development, LLC, 188 Day Street, December 23, 2024, Sheets: SD-1, GR-1, GR-2 E&SC-1, E&SC-2, Notes-1, Alford Associates, Inc., last revised 6/04/25.”

Sheets SUB-1 & SUB-2

1. Show angle to chord(s) for the street line curve on Day Street so that the lots can be mathematically closed.
2. Map legend required.
3. Show street line on west side of road. Are there any surveys or property markers? Want to keep the new street line on the east side of the road parallel to any established line on the west side.
4. Are the rectangles shown on the west street line, monuments to be set?

Sheets GR-1, 2, &3

5. See drainage notes.
6. If possible, reduce the length of the swale on the west side of lot 3. Raising the house elevation may be beneficial. Long swales can be difficult for a homeowner to maintain.
7. The proposed house elevation for lot 5 should be elevated to reduce the length of the swales. The outlet for the swale should be rotated toward the lot 5 symbol to reduce the intrusion into the woods line.
8. The proposed house elevation for lot 6 should be elevated to reduce the length of the swales. The elevation shown creates a low point in the front yard that is difficult to drain. Fill may be required in the front yard.
9. Verify that the separation distances between all proposed swales and roof infiltration systems comply with the Health Code.

Sheets GR-1, 2, &3

10. Proposed swales may require temporary stabilization such as erosion control matting.
11. Refer to the latest copy of the Connecticut Guidelines.

Notes-1 and 2

12. Add a detail showing the construction of the driveways from the edge of road to the street line as described in section 4.13 of the subdivision regulations

Drainage:

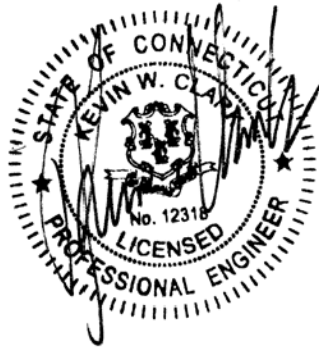
13. Reprint page 1 of the Hydraflow Report. The drainage schematic does not appear on the sheet.
14. Eliminate the rain garden/basins shown on lots 1,2,3,5, and 6. Stormwater from non-impervious areas should be allowed to sheet drain. Infiltration systems for the roof drains shall be sized

Kevin Clark, PEL
Town Engineer
Town of Granby
15 North Granby Road
Granby, CT 06035

CT: (860) 844-5318
Cell (860) 559-1902
E-MAIL: townengineer@granby-ct.gov

according to the manufacturer's instructions. Soil test holes may be required at or in the vicinity of the infiltration areas if the excavation for the basements show a different soil profile.

by: Kevin Clark, PEL, Town Engineer



PEAK MOUNTAIN DEVELOPMENT LLC
P.O. BOX 270 - EAST GRANBY, CT 06026
860- 305-4445 - Kirk@MacBuilds.com

Abigale Kenyon
Director of Community Development
Town of Granby
15 North Granby Road
Granby, CT 06035

June 25, 2025

Re: 188 Day Street – Breezy Meadow Subdivision

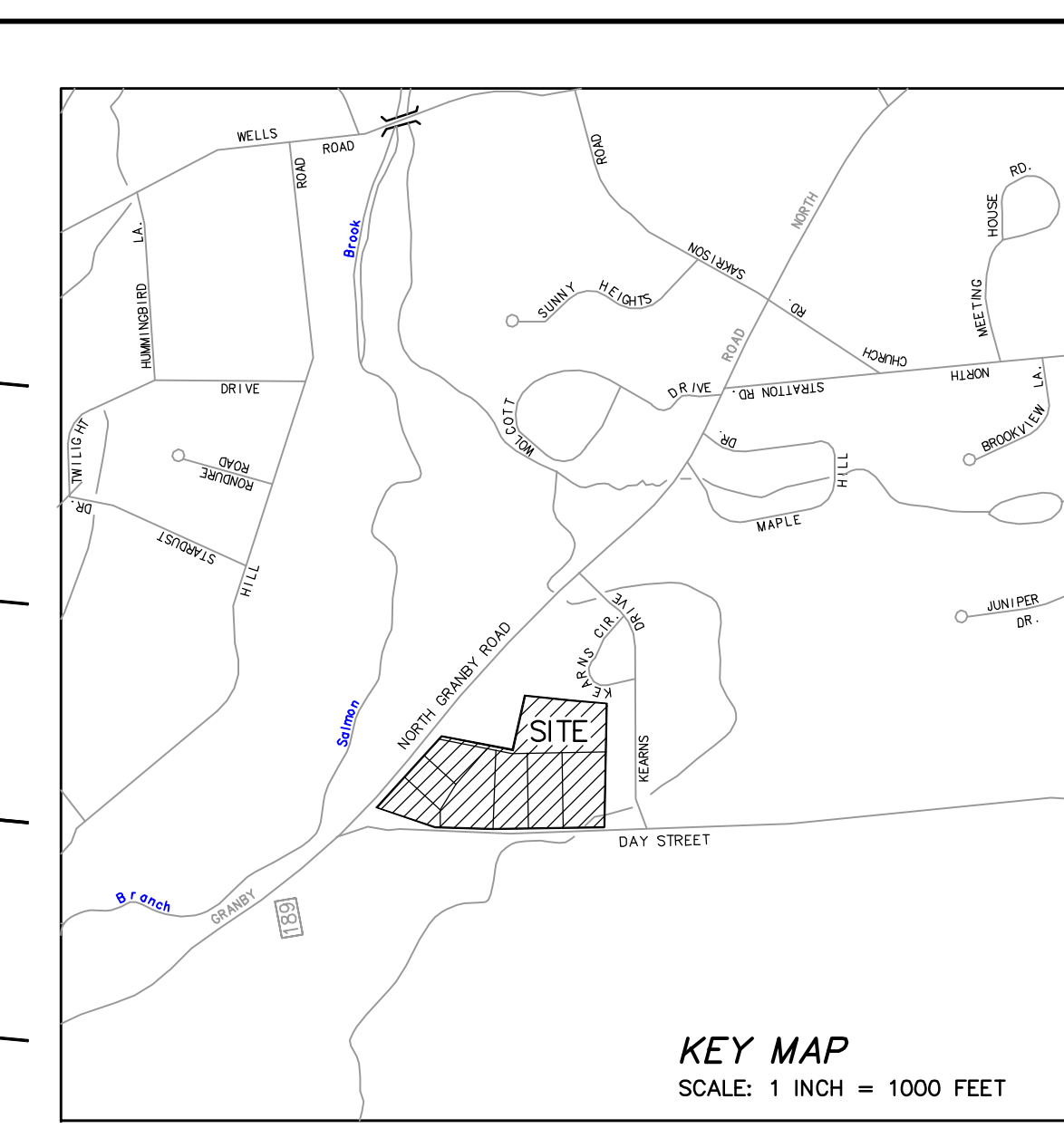
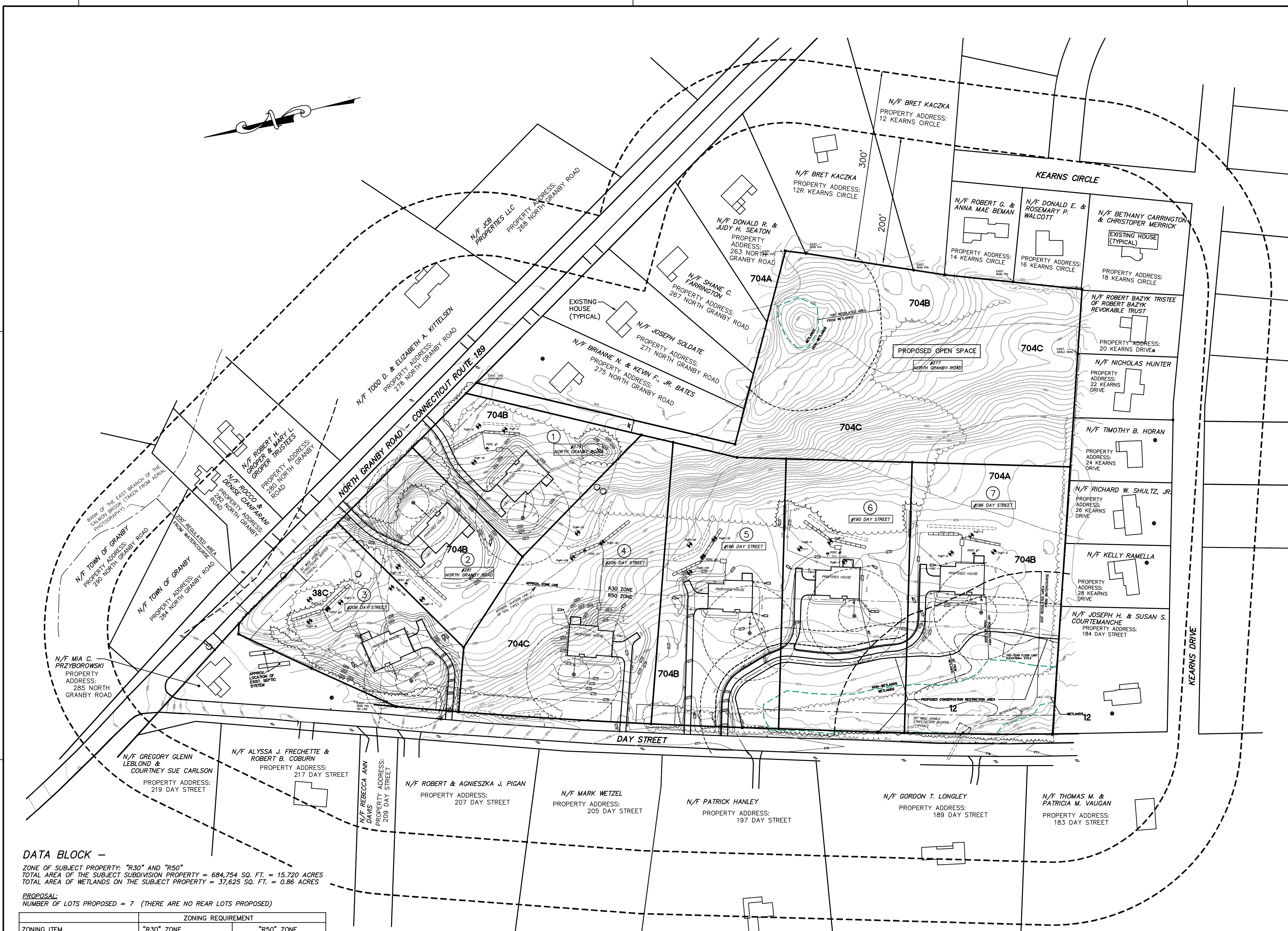
Dear Abby:

Please be advised that in accordance with Granby Subdivision Regulations 3.1.3.1., we will be deeding the 3.748 Open Space Parcel, shown and designated on the Subdivision Plan as 277 North Granby Road to the Town of Granby in order for the parcel to be permanently preserved as Open Space.

Please provide confirmation that the Town of Granby agrees to take title to this deeded Open Space parcel.

Sincerely,

Kirk MacNaughton, Manager



SOIL TYPES -

SOIL TYPES ARE TAKEN FROM THE WEB SOIL SURVEY, PREPARED BY USDA NATURAL RESOURCES CONSERVATION SERVICE

Map Unit Symbol	Map Unit Name
12	Raycol silt loam, 0 to 3 percent slopes
38C	Hinkley loamy sand, 3 to 15 percent slopes
704A	Enfield silt loam, 0 to 3 percent slopes
704B	Enfield silt loam, 3 to 8 percent slopes
704C	Enfield silt loam, 8 to 15 percent slopes

LEGEND:
38C
SOIL TYPE
APPROX. DIVISION LINE OF SOIL TYPES

SHEET INDEX

SHEET TITLE	SHEET NUMBER
SITE DEVELOPMENT PLAN	SCALE: 1" = 80' SD-1
RECORD SUBDIVISION MAP	SCALE: 1" = 40' SUB-1 & SUB-2
GRADING AND UTILITIES PLAN	SCALE: 1" = 40' GR-1 & GR-2
GRADING PLAN	SCALE: 1" = 20' GR-3
FOR AREA ADJACENT TO WETLANDS ON LOTS 6 AND 7	
EROSION AND SEDIMENTATION CONTROL PLAN	SCALE: 1" = 40' E&SC-1 & E&SC-2
NOTES AND DETAILS	NOTES-1
NOTES AND DETAILS	NOTES-2
INCLUDES INVASIVE SPECIES MANAGEMENT PLAN	

DATA BLOCK -

ZONE OF SUBJECT PROPERTY: "R30" AND "R50"

TOTAL AREA OF THE SUBJECT SUBDIVISION PROPERTY = 684,754 SQ. FT. = 15.720 ACRES

TOTAL AREA OF WETLANDS ON THE SUBJECT PROPERTY = 37,625 SQ. FT. = 0.86 ACRES

PROPOSAL:

NUMBER OF LOTS PROPOSED = 7 (THERE ARE NO REAR LOTS PROPOSED)

ZONING ITEM	"R30" ZONE	"R50" ZONE
MINIMUM LOT AREA	30,000 SQ. FT. MINIMUM	50,000 SQ. FT. MINIMUM
CONTIGUOUS DEVELOPABLE AREA	30,000 SQ. FT. MINIMUM	35,000 SQ. FT. MINIMUM

NOTES:

1. CONTIGUOUS DEVELOPABLE AREA IS DEFINED AS AN UNINTERRUPTED CONTIGUOUS AREA, WHICH DOES NOT CONTAIN WETLANDS, WATERCOURSES, WATER BODIES, LEDGE OUTCROPPINGS GREATER THAN 20 SQUARE FEET, OR AREAS WITH SLOPES IN EXCESS OF 20% THAT EXTEND 50 LINEAR FEET OR MORE.

2. THERE ARE NO LEDGE OUTCROPPINGS ON THE PROPERTY.

LOT SUMMARY

LOT	LOT AREA (SQ. FT./ACRES)	WETLANDS & WATERCOURSES (SQ. FT)	20%+ SLOPES** (SQ. FT)	TOTAL "UNDEVELOPABLE" LAND (WET/WC + SLOPES) (SQ. FT)	CONTIGUOUS DEVELOPABLE AREA* (SQ. FT)
1	48,090 / 1.104	0	130	130	47,960
2	44,350 / 1.018	0	2280	2280	42,070
3	57,875 / 1.329	0	0	0	57,875
4	99,273 / 2.279	0	720	720	98,553
5	83,253 / 1.911	1045	10,535	11,580	71,673
6	85,879 / 1.972	12,530	2465	14,995	70,884
7	104,053 / 2.389	20,185	0	20,185	83,864

* CONTIGUOUS DEVELOPABLE AREA = LOT AREA MINUS TOTAL "UNDEVELOPABLE LAND"

** AREA OF 20%+ SLOPES IS APPROXIMATE

OPEN SPACE SUMMARY -

REQUIREMENT: 20% OR GREATER OF THE COMBINED ACREAGE OF THE LOTS PROPOSED WITHIN THE SUBDIVISION

CALCULATION: TOTAL AREA OF PROPOSED LOTS= 11,968 ACRES

11,968 x 20% = 2,394 ACRES

AT LEAST 50% OF THE OPEN SPACE SHALL BE PRESERVED AS USEABLE OPEN SPACE. USEABLE OPEN SPACE SHALL CONTAIN NO WETLANDS, NO SLOPES IN EXCESS OF 20% THAT EXTEND 50 LINEAR FEET OR MORE AND NO STORM WATER DETENTION FACILITIES.

WETLANDS WITHIN OPEN SPACE= 3870 SQ. FT.

20% SLOPES WITH THE OPEN SPACE= 15,830± SQ. FT.

THERE IS NO STORM WATER DETENTION WITHIN THE OPEN SPACE

3870 + 15,830 = 19,700 SQ. FT.= 0.45± ACRES "NOT USEABLE LAND"

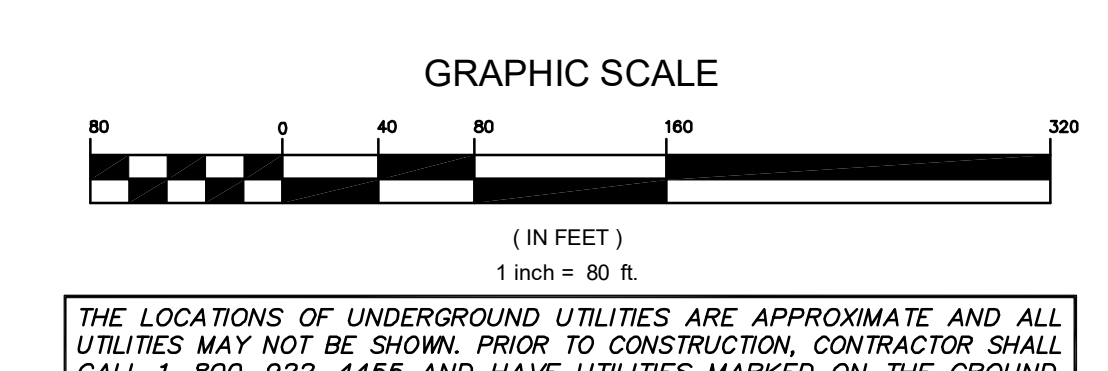
PROVIDED:

OPEN SPACE PARCEL= 3.748 ACRES TOTAL

PORTION WHICH IS CONSIDERED "NOT USEABLE"= 0.45 ACRES

3.748 AC. - 0.45= 3.30± ACRES

CONSERVATION RESTRICTION AREA= 1.42 ACRES



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

OWNER OF RECORD

BARBARA BRAEM JENSEN
MAILING ADDRESS:
45 BUGBEE ROAD, SOUTHWICK, MA 01077-9707

APPLICANT

PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK MacNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: KIRK@macBuilds.com

INCORPORATED TOWN STAFF COMMENTS	DATE	REVISION
7-2-25		
6-3-25		
5-12-25		
4-29-25		
4-2-25		
2-10-25		

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

Alford ASSOCIATES, INC.

CIVIL ENGINEERS
WINDSOR, CONNECTICUT
WILSON H. ALFORD, JR., P.E. & L.S.

DATE: DECEMBER 23, 2024

SCALE: 1 IN. = 80 FT.

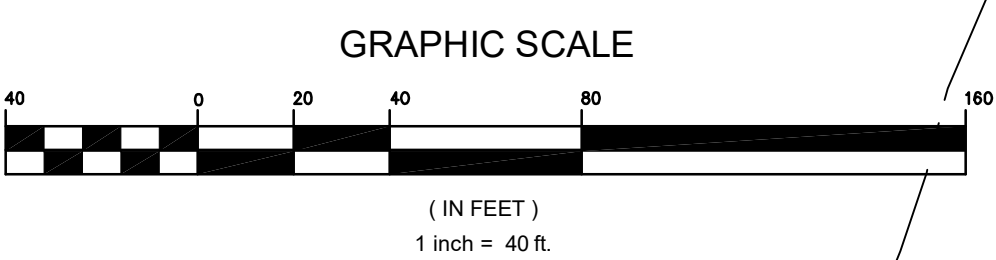
BREEZY MEADOW SUBDIVISION
SITE DEVELOPMENT PLAN
PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC
GRANBY, CONNECTICUT
188 DAY STREET

Sheet
SD-1

LEGEND —
PROPOSED:
STANDARD CONCRETE MERESTONE
METAL IRON PIN
UNLESS OTHERWISE SHOWN AS A MERE
STONE, ALL PROPOSED LOT CORNERS
ARE TO BE MARKED WITH A METAL PIN
(3/4" DIA. x 30" LONG)
NOTE— ALL MERESTONES AND METAL PINS ARE TO BE
SET PRIOR TO CERTIFICATE OF OCCUPANCY.
CERTIFICATION FROM A LICENSED LAND SURVEYOR STATING
THAT ALL REQUIRED MERESTONES AND PINS HAVE BEEN
INSTALLED AS REQUIRED MUST BE SUBMITTED TO THE
TOWN.

OWNER OF RECORD
BARBARA BRAEM JENSEN
MAILING ADDRESS:
45 BUGBEE ROAD, SOUTHWICK, MA 01077-9707
APPLICANT
PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK McNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: Kirk@MacBuilds.com

SUBDIVISION APPROVAL BLOCK
APPROVED BY THE PLANNING AND ZONING COMMISSION
OF THE TOWN OF GRANBY
AT ITS MEETING ON _____
SIGNED BY _____ DATE _____
CHAIRMAN
SECRETARY _____ DATE _____
AS DELIVERED TO THE APPLICANT ON
DATE _____
IN ACCORDANCE WITH STATE STATUE 8-26.
WORK IN CONNECTION WITH THIS SUBDIVISION
MUST BE COMPLETED BY _____



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL
UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL
CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

N/F TODD D. & ELIZABETH A. KITTELSEN
N/F JOSEPH SOLDATE
N/F BRIANNE N. & KEVIN F., JR. BATES
N/F SHANE C. FARRINGTON
N/F DONALD R. & JUDY H. SEATON
N/F JOB PROPERTIES LLC

N/F ROBERT H. GROPER & MARY L. GROPER TRUSTEES
N/F ROCCO & DENISE CIANFARANI

BANK OF THE EAST BRANCH OF THE
SALMON BROOK (TAKEN FROM AERIAL
PHOTOGRAPHY)
N/F TOWN OF GRANBY
N/F TOWN OF GRANBY

C. ROWSKI

N/F MIA C. PRZYBOROWSKI
PROPERTY ADDRESS:
285 NORTH GRANBY ROAD

N/F GREGORY GLENN
LEBLOND &
COURTNEY SUE CARLSON

N/F ALYSSA J. FRECHETTE &
ROBERT B. COBURN

WEST STREET LINE OF DAY STREET IS PER REFERENCE PLAN #6
SHOWN ON SHEET "SUB-2". EAST STREET LINE TO BE ADJUSTED
TO BE 50 FEET AND PARALLEL TO THE WEST STREET LINE.

NORTH GRANBY ROAD — CONNECTICUT ROUTE 189

#279 NORTH GRANBY ROAD
48,090 sq.ft.
1.104 acres

#281 NORTH GRANBY ROAD
44,350 sq.ft.
1.018 acres

#208 DAY STREET
57,875 sq.ft.
1.329 acres

#206 DAY STREET
99,273 sq.ft.
2.279 acres

#196 DAY STREET
83,253 sq.ft.
1.911 acres

#190 DAY STREET
85,879 sq.ft.
1.972 acres

ALONG DRAINAGE ESMT.:
L=10.27'
R=80.00'
Δ=71°21'44"
Tan=5.14'

ALONG DRAINAGE ESMT.:
L=10.06'
R=80.00'
Δ=71°21'07"
Tan=5.03'

ALONG DRAINAGE ESMT.:
L=22.59'
R=80.00'
Δ=43°08'54"
Tan=11.86'

ALONG DRIVE ESMT.:
L=15.42'
R=50.00'
Δ=17°40'27"
Tan=7.77'

ALONG DRIVE ESMT.:
L=32.59'
R=50.00'
Δ=23°20'34"
Tan=16.53'

ALONG DRIVE ESMT.:
L=19.84'
R=50.00'
Δ=19°52'44"
Tan=9.97'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

ALONG LOT:
R=9975.00'
L=25.00'
Δ=0°49'52"
L=144.67'
CHORD BRG. N 12°03'50"
CHORD DIST.= 144.67'

Sheet
SUB-1

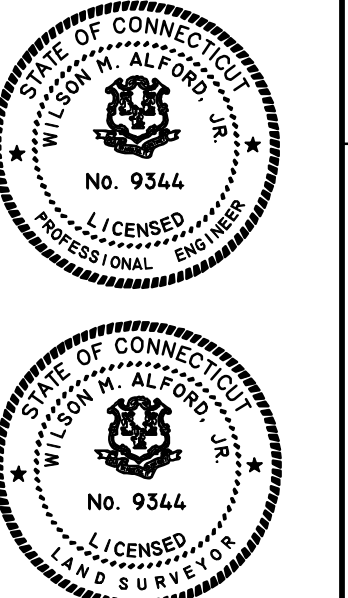
BREEZY MEADOW SUBDIVISION
RECORD SUBDIVISION MAP
PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC
GRANBY, CONNECTICUT
188 DAY STREET

DATE: JUNE 3, 2025
SCALE: 1 IN. = 40 FT.

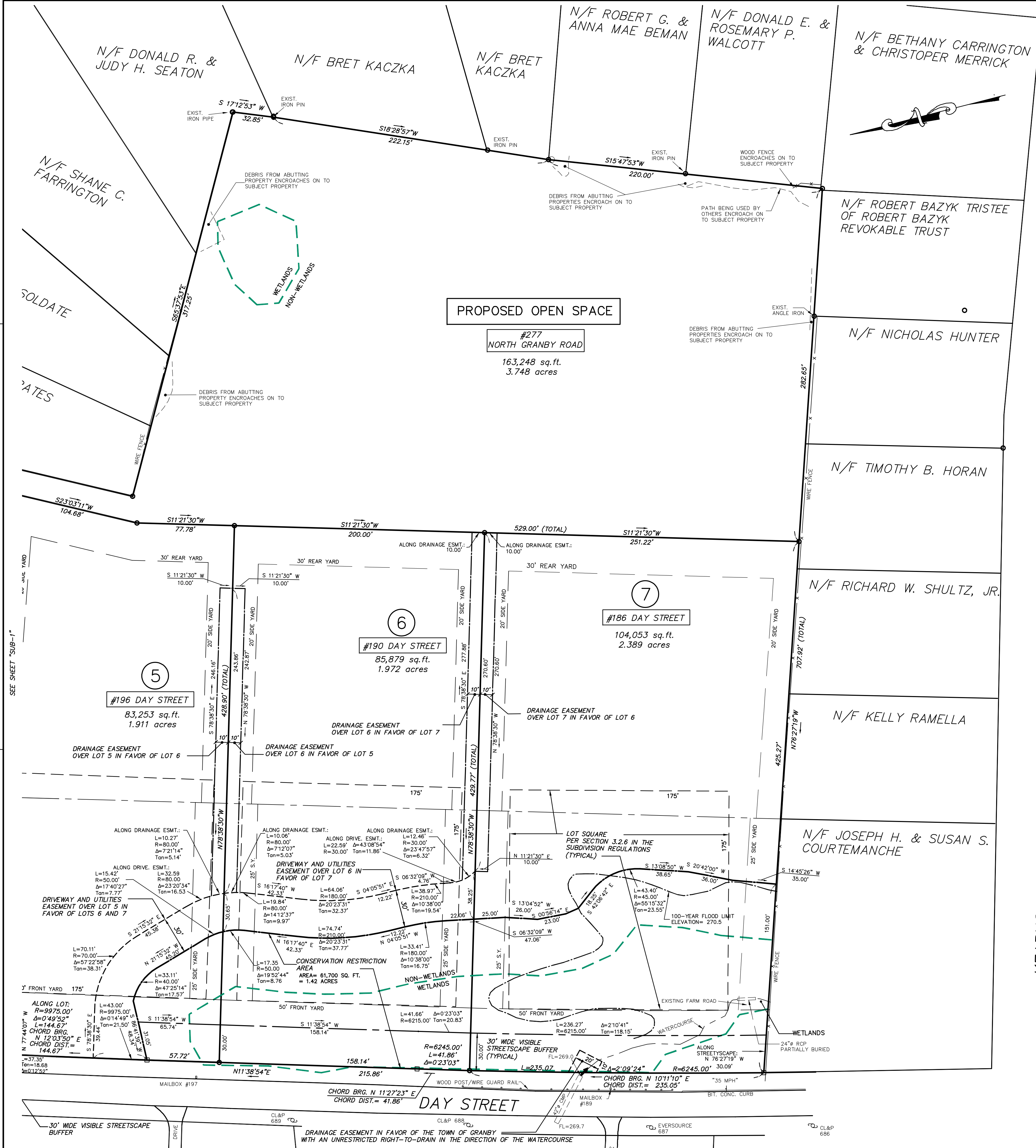
NOT VALID WITHOUT A LIVE
SIGNATURE AND EMBOSSED SEAL

Alford
ASSOCIATES, INC.
CIVIL ENGINEERS
WINDSOR, CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S.

TO THE BEST OF MY
KNOWLEDGE AND BELIEF
THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.



REVISION	DATE	INCORPORATED TOWN STAFF COMMENTS
7-2-25		



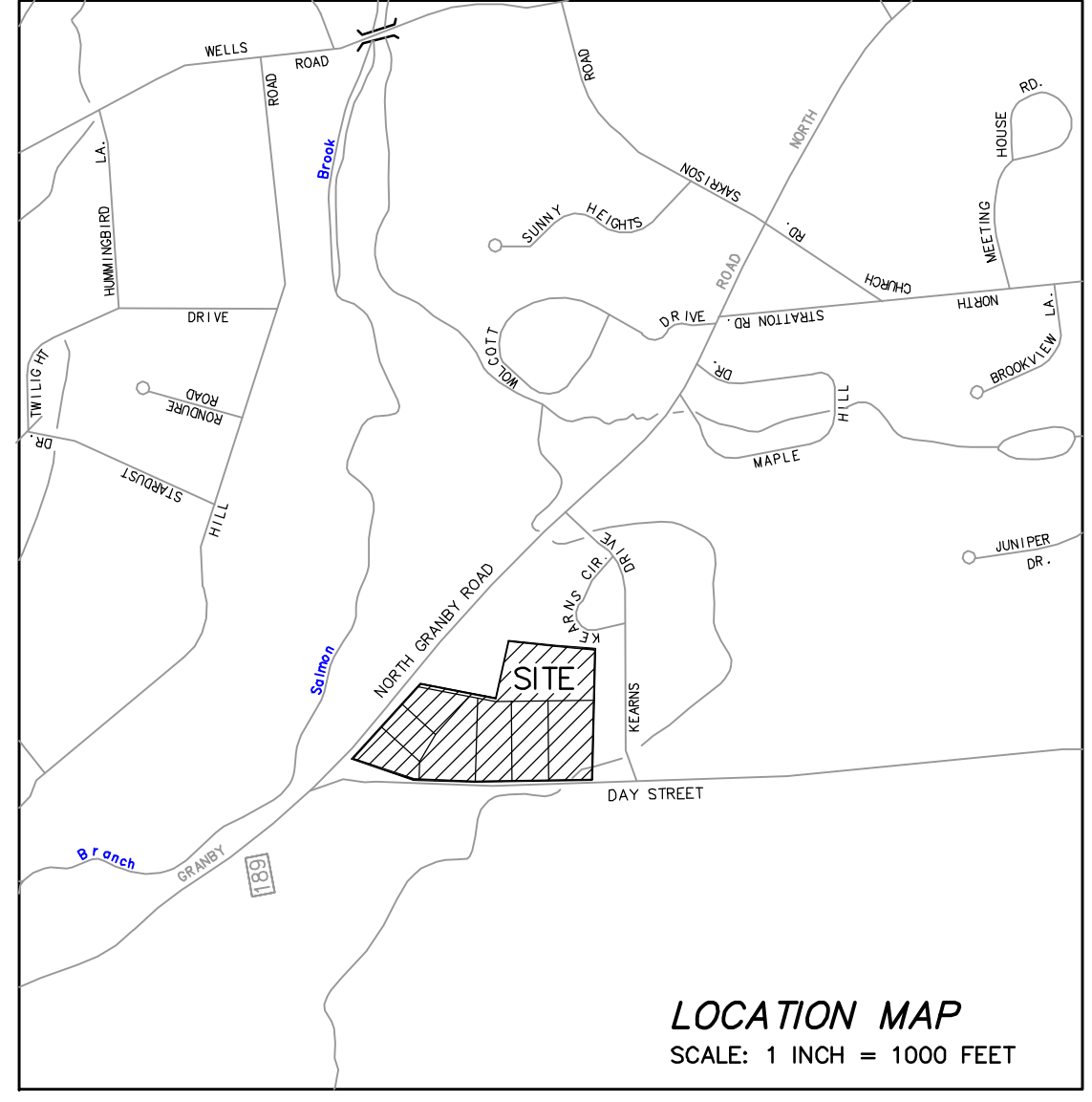
LEGEND —

PROPOSED:

- STANDARD CONCRETE MERESTONE
- METAL IRON PIN

UNLESS OTHERWISE SHOWN AS A MERE STONE, ALL PROPOSED LOT CORNERS ARE TO BE MARKED WITH A METAL PIN (3/4" DIA. x 30" LONG)

NOTE— ALL MERESTONES AND METAL PINS ARE TO BE SET PRIOR TO CERTIFICATE OF OCCUPANCY. CERTIFICATION FROM A LICENSED LAND SURVEYOR STATING THAT ALL REQUIRED MERESTONES AND PINS HAVE BEEN INSTALLED AS REQUIRED MUST BE SUBMITTED TO THE TOWN.



- NOTES** —
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES — "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS AN ORIGINAL SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.
 - EXISTING TOPOGRAPHY WITHIN THE AREA OF THE PROPOSED SEPTIC SYSTEMS AND EXISTING ROADWAYS HAS BEEN FIELD VERIFIED BY ALFORD ASSOCIATES, INC. IN DECEMBER OF 2024 AND CONFORMS TO VERTICAL ACCURACY CLASS T-2.
 - DAY STREET STREET LINE WAS ESTABLISHED BY HOLDING 25 FEET OFF THE CENTERLINE OF THE EXISTING PAVEMENT.
 - EXISTING PARCEL AREA = 15,720 ACRES. PARCEL IS SHOWN ON TAX ASSESSOR'S MAP E-30, BLOCK 37, PARCEL 2. REFERENCE DEED: VOLUME 150, PAGE 246.
 - ZONE OF PROPERTY: "R30" AND "R50".
 - THERE ARE WETLANDS LOCATED ON THE SUBJECT PROPERTY. IN OCTOBER, 2024 AND MARCH 15, 2025, WETLANDS WERE FLAGGED BY IAN COLE, LLC, PROFESSIONAL REGISTERED SOIL SCIENTIST/PROFESSIONAL WETLAND SCIENTIST FROM MIDDLETOWN, CONNECTICUT. FLAGS WERE LOCATED BY ALFORD ASSOCIATES, INC. AND ARE SHOWN ON THE PLAN.
 - WITH REGARDS TO WETLANDS #2, LOCATED ON THE EAST SIDE OF THE SUBJECT PROPERTY, THIS AREA IS TO BE SURVEYED FOR VERNAL POOL CHARACTERISTICS DURING THE SPRING MONTHS. IF THE AREA IS DEEMED A VIABLE VERNAL POOL, SIGNAGE IS RECOMMENDED AT THE EDGE OF THE POOL FOR EDUCATION PURPOSES AS IT IS LOCATED WITHIN THE PROPOSED OPEN SPACE PORTION OF THE DEVELOPMENT.
 - THE SUBJECT PROPERTY IS WITHIN "ZONE X", AN AREA OF MINIMAL FLOOD HAZARD, AS SHOWN ON A PLAN ENTITLED "NATIONAL FLOOD HAZARD LAYER FIRMETTE, FEMA, MAP 09003C0177 EFFECTIVE DATE 9-26-2008". "ZONE X" IS OUTSIDE OF 1.0% AND A 0.2% ANNUAL CHANCE FLOOD HAZARD AREAS.
 - THE SUBJECT PROPERTY IS NOT WITHIN AN AREA OF CONCERN AS SHOWN ON "NATURAL DIVERSITY DATA BASE AREAS" MAP FOR GRANBY, CT, DECEMBER 2024 PREPARED BY CONNECTICUT DEPARTMENT OF ENERGY & ENVIRONMENTAL PROTECTION.
 - THE VISUAL STREETSCAPE BUFFER SHALL BE PERMANENTLY PRESERVED THROUGH THE CREATION OF A CONSERVATION OR SIMILAR EASEMENT. THE VISUAL STREETSCAPE BUFFER PROVIDED SATISFIES SECTIONS 2.2.22 AND 3.1.4 OF THE GRANBY SUBDIVISION REGULATIONS.
 - ALL EASEMENTS ARE TO BE SHOWN ON INDIVIDUAL PLOT PLANS AND REFERENCED IN DEEDS.
 - THE OPEN SPACE PARCEL SHALL BE DEEDED TO THE TOWN OF GRANBY.

- REFERENCE PLANS** —
- "PROPOSED SEPTIC SYSTEM REPAIR FOR: DANIEL S. FREDERICK #285 NORTH GRANBY ROAD GRANBY, CONNECTICUT DATE: OCT. 30, 1996 SCALE: 1"=20' SHEET NO. 1 OF 1 PROJECT NO. 96-56", PREPARED BY DAVID F. WHITNEY, CONSULTING ENGINEERS, AVON, CONNECTICUT
 - "FINAL RE-SUBDIVISION PLAN OF PROPERTY OWNED BY DAVID D. AND CARMEN L. PERRY #257 NORTH GRANBY ROAD—GRANBY CONNECTICUT R-30 ZONE 1"=40' NOV. 8, 1989 REVISION DATES APRIL 10, 1990, 6-28-1990", PREPARED BY HENRY CHARLES COTTON, CONSULTANT & LAND SURVEYOR, GRANBY, CONN.. PLAN IS RECORDED IN GRANBY LAND RECORDS AS MAP 91-2.
 - "FINAL SUBDIVISION PLAN FOR HAROLD L. PIERCE AND SURVEY PORTION OF PROPERTY OWNED BY N/F LYMAN T. AND KATHRYN K. BURGESS NORTH GRANBY ROAD—CONN. RT. 189 GRANBY—CONNECTICUT SCALE: 1"=40' DATE 6-19-1969 REV. SUBD. PLAN NOV. 1969", PREPARED BY HENRY CHARLES COTTON, LAND SURVEYOR, 730 HOPMEADOW ST., SIMSBURY, CONN.. PLAN IS RECORDED IN GRANBY LAND RECORDS AS MAP 1108.
 - "MAP SHOWING BUILDING LOTS ON PROPERTY OF FRANK M. KEARNS ROUTE #189 GRANBY, CONN. SCALE 1"=50' APRIL 12, 1952 REVISIONS 4-5-55 3-3-56", PREPARED BY LAWRENCE E. GITHELL, REGISTERED LAND SURVEYOR 2786. PLAN IS RECORDED IN GRANBY LAND RECORDS AS MAP 610.
 - "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF GRANBY, GRANBY-NORTH GRANBY ROAD FROM THE CONGREGATIONAL CHURCH NORTHERLY TO SILVER STREET, ROUTE NO. 189 SCALE 1"=40', NUMBER 55-02, SHEET 3 OF 3", APPROVED BY JOHN A. MACDONALD, STATE HIGHWAY COMMISSIONER, DATE FEB. 28, 1933"
 - "CONVEYANCE MAP PROPERTY OWNED BY WILLIAM S. & PATRICIA C. JOY AND PATRICK HANLEY DAY STREET GRANBY — CONNECTICUT ZONE R-50 DATE: JULY 28, 2005", PREPARED BY HENRY C. COTTON & ASSOCIATES, LAND SURVEYORS & CONSULTANTS, GRANBY, CONNECTICUT, 06035, (860)853-6601. PLAN IS RECORDED IN GRANBY LAND RECORDS AS MAP NO. 2650.

- NOTES PERTAINING TO PROPOSED CONSERVATION RESTRICTION AREA**
- CONSERVATION RESTRICTION AREA SHALL BE MARKED BY MEDALLIONS OR PLACARDS MOUNTED TO A 4"x4" WOOD POST AT 3 FEET HIGH. POSTS TO BE PLACED APPROXIMATELY 50 FEET APART AROUND THE ENTIRE PERIMETER OF THE RESTRICTION AREA. MEDALLIONS OR PLACARDS SHALL BE WATERPROOF.
 - CONSERVATION RESTRICTION MARKERS ARE TO BE INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY ON THE LOT.
 - THE CONSERVATION RESTRICTION AREA AND ASSOCIATED ACTIVITIES SHALL BE COMPLETED, INCLUDING PLANTINGS, UPON OR BEFORE THE FIRST BUILDING PERMIT FOR THE SUBDIVISION IS ISSUED. THIS REQUIREMENT IS IN RESPONSE TO THE 2-YEAR MONITORING PERIOD OF THE AREA/PLANTINGS. THE GOAL OF THIS CONDITION OF APPROVAL, IS TO AID IN PREVENTING THE CONSERVATION RESTRICTION AREA ACTIVITIES NEEDING TO BE COMPLETED/COORDINATED BY THREE (3) SEPARATE HOMEOWNERS/CONTRACTORS, IF POSSIBLE.

SUBDIVISION APPROVAL BLOCK

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF GRANBY

AT ITS MEETING ON _____

SIGNED BY _____ DATE _____

CHAIRMAN _____

SECRETARY _____ DATE _____

AS DELIVERED TO THE APPLICANT ON _____ DATE _____

IN ACCORDANCE WITH STATE STATUE 8-26.

WORK IN CONNECTION WITH THIS SUBDIVISION

MUST BE COMPLETED BY _____

OWNER OF RECORD

BARBARA BRAEM JENSEN
MAILING ADDRESS:
45 BUGBEE ROAD, SOUTHWICK, MA 01077-9707

APPLICANT

PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK MACNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: Kirk@MacBuilds.com

GRAPHIC SCALE

40 0 20 40 60 80 100

(1 INCH = 40 FEET)

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

7-2-25

DATE

INCORPORATED TOWN STAFF COMMENTS

REVISION

STATE OF CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S.
No. 9344
LICENSED PROFESSIONAL ENGINEER

STATE OF CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S.
No. 9344
LICENSED LAND SURVEYOR

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

Alford ASSOCIATES, INC.

CIVIL ENGINEERS
WINDSOR, CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: JUNE 3, 2025

SCALE: 1 IN. = 40 FT.

BREEZY MEADOW SUBDIVISION
RECORD SUBDIVISION MAP
PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC
GRANBY, CONNECTICUT

188 DAY STREET

Sheet
SUB-2

P: SUBDIVISION MAP
R: B24054
D: B24054558
FOLDER: BLUE SKY

 *EDGE OF CLEARING*

Diagram illustrating a roof drainage system component layout:

- DOWNSPOUT
- ROOF LEADER LINE
- RL
- INFILTRATOR UNIT
- YARD DRAIN

NOTE -
 BASED ON CULTREC RESIDENTIAL
 DRAINAGE CALCULATOR, THERE ARE
 (9) RECHARGER 330XLHD UNITS
 REQUIRED FOR THE 3,200 SQUARE
 FEET OF ROOF TOP WITH NO INFILTRA-

NOTE -
BASED ON CULTEC RESIDENTIAL
DRAINAGE CALCULATOR, THERE ARE NINE
(9) RECHARGER 330XLHD UNITS
REQUIRED FOR THE 3,200 SQUARE FEET
OF ROOF TOP WITH NO INFILTRATION.
FINAL DESIGN TO BE BASED ON SIZE OF
HOUSE AND PERMEABILITY AT TIME OF
HOME CONSTRUCTION.

PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK MacNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: Kirk@MacBuilds.com

A diagram of a 100-foot race track. The track is represented by a horizontal bar with a checkered pattern. The bar is divided into segments of 40 feet each, with labels 40, 0, 20, 40, 80, and 100. Below the bar, the text "(IN FEET)" and "1 inch = 40 ft." is written.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

N/F TODD D. & ELIZABETH A. KITTELSEN
PROPERTY ADDRESS:
278 NORTH GRANBY ROAD

N/F JCB
PROPERTIES LLC
PROPERTY 1
268 NORTH

N/F DONALD R. &
JUDY H. SEATON
PROPERTY
ADDRESS:
263 NORTH
GRANBY ROAD

N/F SHANE C.
FARRINGTON
PROPERTY ADDRESS:
267 NORTH GRANBY

EXISTING—
HOUSE
(TYPICAL)

N/F JOSEPH SOLDATO
PROPERTY ADDRESS:
271 NORTH GRANBY R
? KEVIN F., JR
ADDRESS

N/F BRIANNE N. & KEVIN F. JR. BATES
 PROPERTY ADDRESS:
 271 NORTH GRANBY
 PROPERTY ADDRESS:
 275 NORTH GRANBY ROAD
 PROPOSED RAIN
 GARDEN #1
 TOP = 245.0

N/F ROBERT H.
GROPER & MARY L.
GROPER TRUSTEES
PROPERTY ADDRESS:
NORTH GRANBY

N/F ROCCO &
DENISE CIANFARANI
PROPERTY ADDRESS:
282 NORTH GRANBY
ROAD

TOWN OF GRANBY

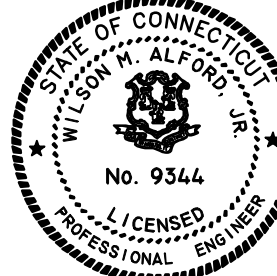
290 NORTH GRANBY ROAD

BANK OF THE EAST BRANCH OF THE
SALMON BROOK (TAKEN FROM AERIAL
PHOTOGRAPHY)

C. _____
 ROWSKI
 ERTY
 ESS:
 5 NORTH
 IBY ROAD

N/F ALYSSA J. FRECHETTE &
ROBERT B. COBURN
PROPERTY ADDRESS:

7-2-25	INCORPORATED TOWN STAFF COMMENTS
6-4-25	MISC. REVISIONS
5-12-25	STAFF COMMENTS
4-25-25	REVISED PER COMMENTS FROM KEVIN CLARK, TOWN ENGINEER
4-2-25	REVISED WETLANDS AND PROPOSED IMPROVEMENTS & GRADING FOR LOTS 5, 6, 8, & 9
2-10-25	REVISED TO INCORPORATE COMMENTS FROM INWIC WETLANDS AGENCY DATED 2-5-25
DATE	REVISION



TO THE BEST OF MY
KNOWLEDGE AND BELIEF
THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE
SIGNATURE AND EMBOSSED SEAL



CIVIL ENGINEERS
WINDSOR, CONNECTICUT
●
WILSON M. ALFORD, JR., P.E. & L.S.

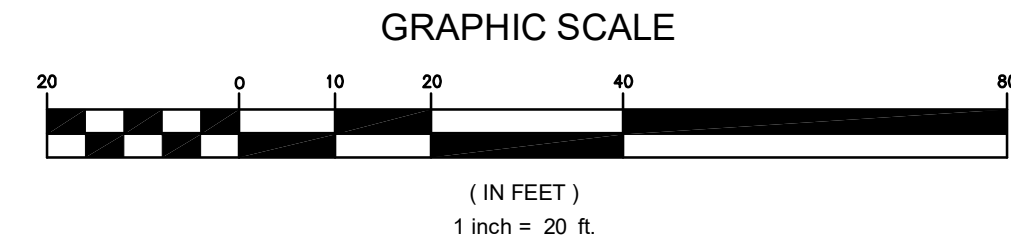
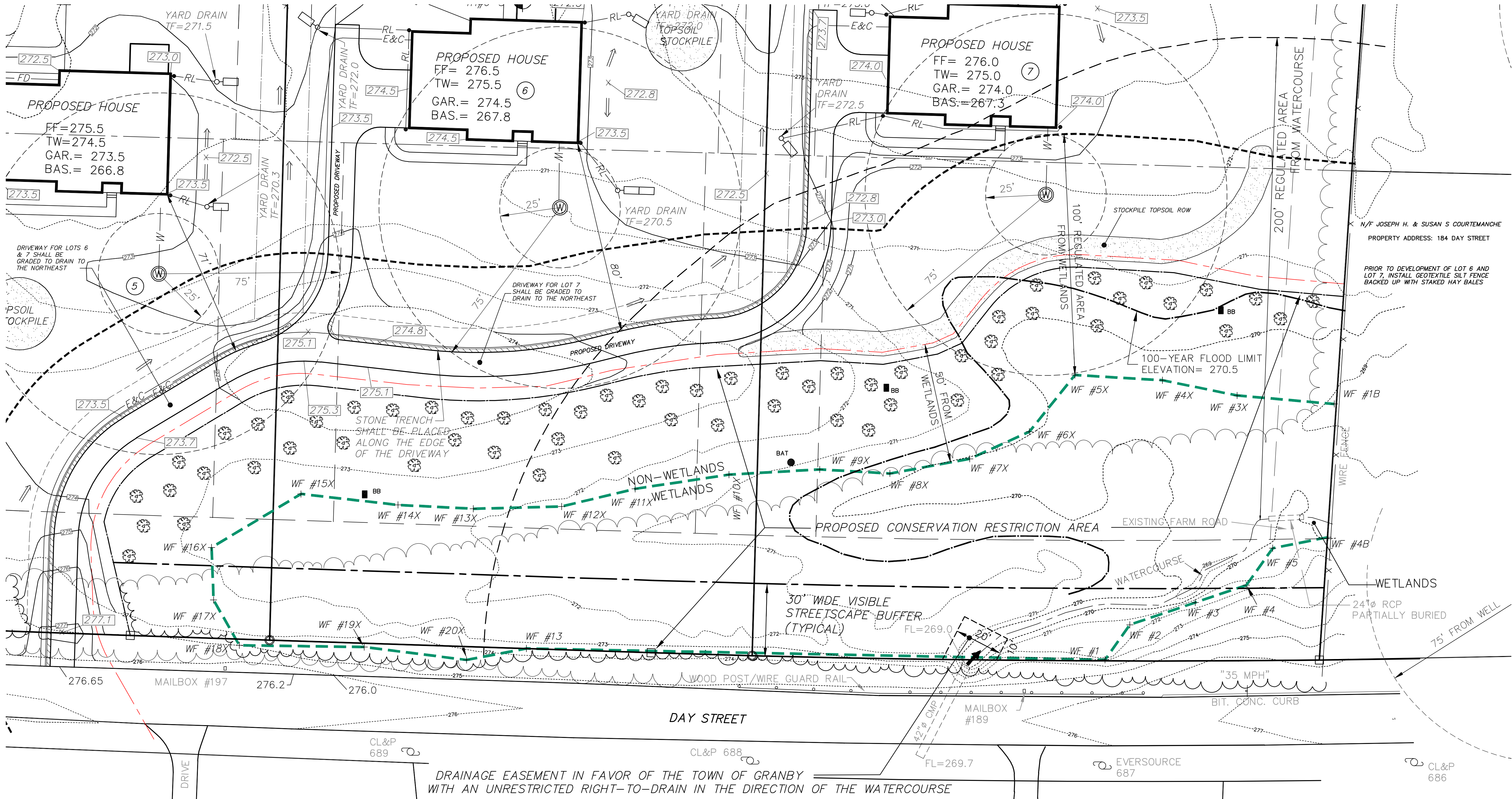
DATE: DECEMBER 23, 2024

SCALE: 1 IN. = 40 FT.

T

BREEZY MEADOW SUBDIVISION
GRADING AND UTILITIES PLAN
PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC
Y STREET GRANBY, CONNECTICUT

Sheet
GR-1



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-522-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

NOTE PERTAINING TO PROPOSED CONSERVATION RESTRICTION AREA

CONSERVATION RESTRICTION AREA SHALL BE MARKED BY MEDALLIONS OR PLACARDS MOUNTED TO A 4"x4" WOOD POST AT 3 FEET HIGH. POSTS TO BE PLACED APPROXIMATELY 50 FEET APART AROUND THE ENTIRE PERIMETER OF THE RESTRICTION AREA. MEDALLIONS OR PLACARDS SHALL BE WATERPROOF.

PROPOSED PLANTS WITHIN THE CONSERVATION RESTRICTION AREA

TO BE A MIXTURE OF:
ILEX VERTICILLATA / WINTERBERRY
(INCLUDE AT LEAST ONE MALE PLANT)
MYRTICA PENSYLVANICA / BAYBERRY
VACCINIUM CORYMBOSUM / Highbush Blueberry
VIBURNUM LENTAGO / Nannyberry
ILEX GLABRA / INKBERY
CORNUS SERICEA / RED TWIG DOGWOOD
THUJA OCCIDENTALIS 'NIGRA' / DARK AMERICAN ARBORVITAE
PICEA ABIES / NORWAY SPRUCE

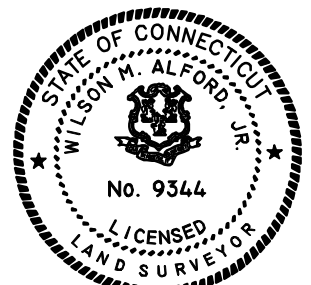
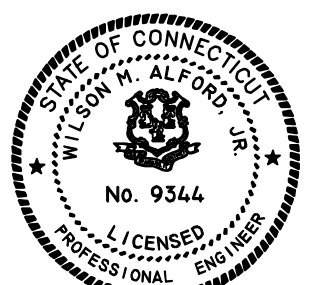
QUANTITY: 60 PLANTS
SIZE: 18" HIGH (MINIMUM)

LEGEND -

PROPOSED IMPROVEMENTS:

- BB BLUE BIRD HOUSE
- BAT BAT HOUSE

INCORPORATED TOWN STAFF COMMENTS			
7-2-25	MISC. REVISIONS		
6-4-25	REVISED PER TOWN STAFF COMMENTS		
5-12-25	REVISED PER TOWN STAFF COMMENTS		
4-25-25	REVISED PER COMMENTS FROM KEVIN CLARK, TOWN ENGINEER		
4-2-25	REVISED PER COMMENTS FROM KEVIN CLARK, TOWN ENGINEER		
DATE			REVISION



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.



CIVIL ENGINEERS
WINDSOR, CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: FEBRUARY 10, 2025

SCALE: 1 IN. = 20 FT.

BREEZY MEADOW SUBDIVISION
GRADING PLAN
FOR AREA ADJACENT TO WETLANDS ON LOTS 5, 6 AND 7
PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC
GRANBY, CONNECTICUT
188 DAY STREET

Sheet

GR-3

I HEREBY CERTIFY THAT THIS PLAN IS IN COMPLIANCE WITH THE TOWN GRANBY SOIL EROSION AND SEDIMENT CONTROL REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL DATED 2002, AS AMENDED.

WILSON M. ALFORD, JR.
CONNECTICUT LICENSED PROFESSIONAL ENGINEER NO. 9344

DATE

NOTE: THE WORD "CERTIFY", AS USED ON THIS PLAN, IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE PROFESSIONAL ENGINEER, WHICH IS BASED ON HIS KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH IT CONSTITUTES NEITHER A GUARANTY OR WARRANTY.

THE PLANNING AND ZONING COMMISSION OF THE TOWN OF GRANBY CERTIFIES THAT THIS SOIL EROSION AND SEDIMENT CONTROL PLAN COMPLIES WITH THE TOWN'S SOIL EROSION AND SEDIMENT CONTROL REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL DATED 2002, AS AMENDED.

DATE OF APPROVAL

THE TOWN ENGINEER OR ZONING ENFORCEMENT OFFICER OF THE TOWN OF GRANBY CERTIFIES THAT THIS SOIL EROSION AND SEDIMENT CONTROL PLAN COMPLIES WITH THE TOWN'S SOIL EROSION AND SEDIMENT CONTROL REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL DATED 2002, AS AMENDED.

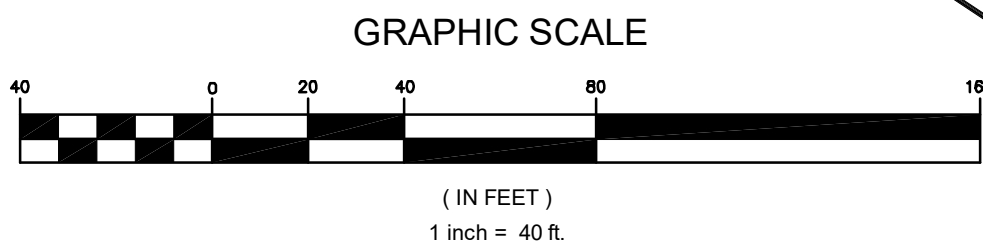
DATE OF APPROVAL

OWNER OF RECORD

BARBARA BRAEM JENSEN
MAILING ADDRESS:
45 BUGBEE ROAD, SOUTHWICK, MA 01077-9707

APPLICANT

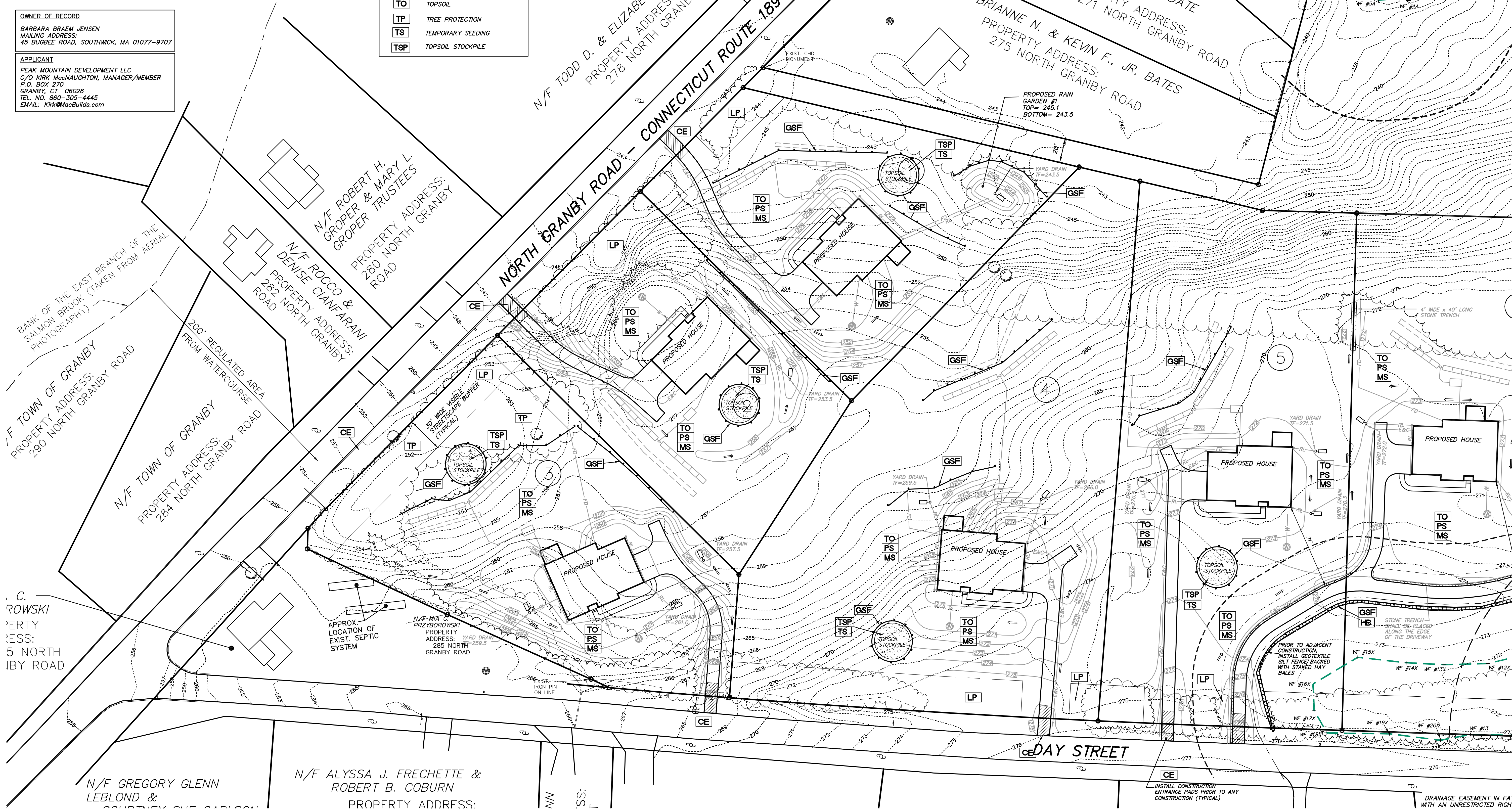
PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK MacNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: Kirk@MacBuilds.com



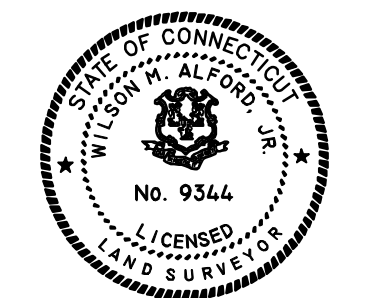
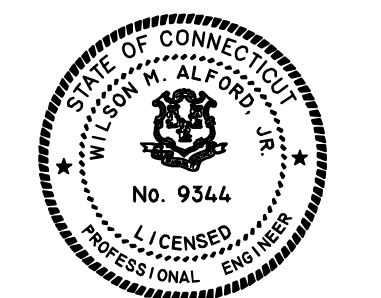
THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4453 AND HAVE UTILITIES MARKED ON THE GROUND.

EROSION CONTROL SYMBOLS -

- | | |
|------------|---------------------------|
| CE | CONSTRUCTION ENTRANCE PAD |
| FES | FLARED END STRUCTURE |
| GSF | GEOTEXTILE SILT FENCE |
| HB | HAY BALE |
| LP | LANDSCAPE PLANTING |
| MS | MULCH FOR SEED |
| OP | OUTLET PROTECTION |
| PS | PERMANENT SEEDING |
| TO | TOPSOIL |
| TP | TREE PROTECTION |
| TS | TEMPORARY SEEDING |
| TSP | TOPSOIL STOCKPILE |



INCORPORATED TOWN STAFF COMMENTS	REVISION
7-2-25	
6-4-25	
5-12-25	
4-25-25	
4-2-25	
2-10-25	



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



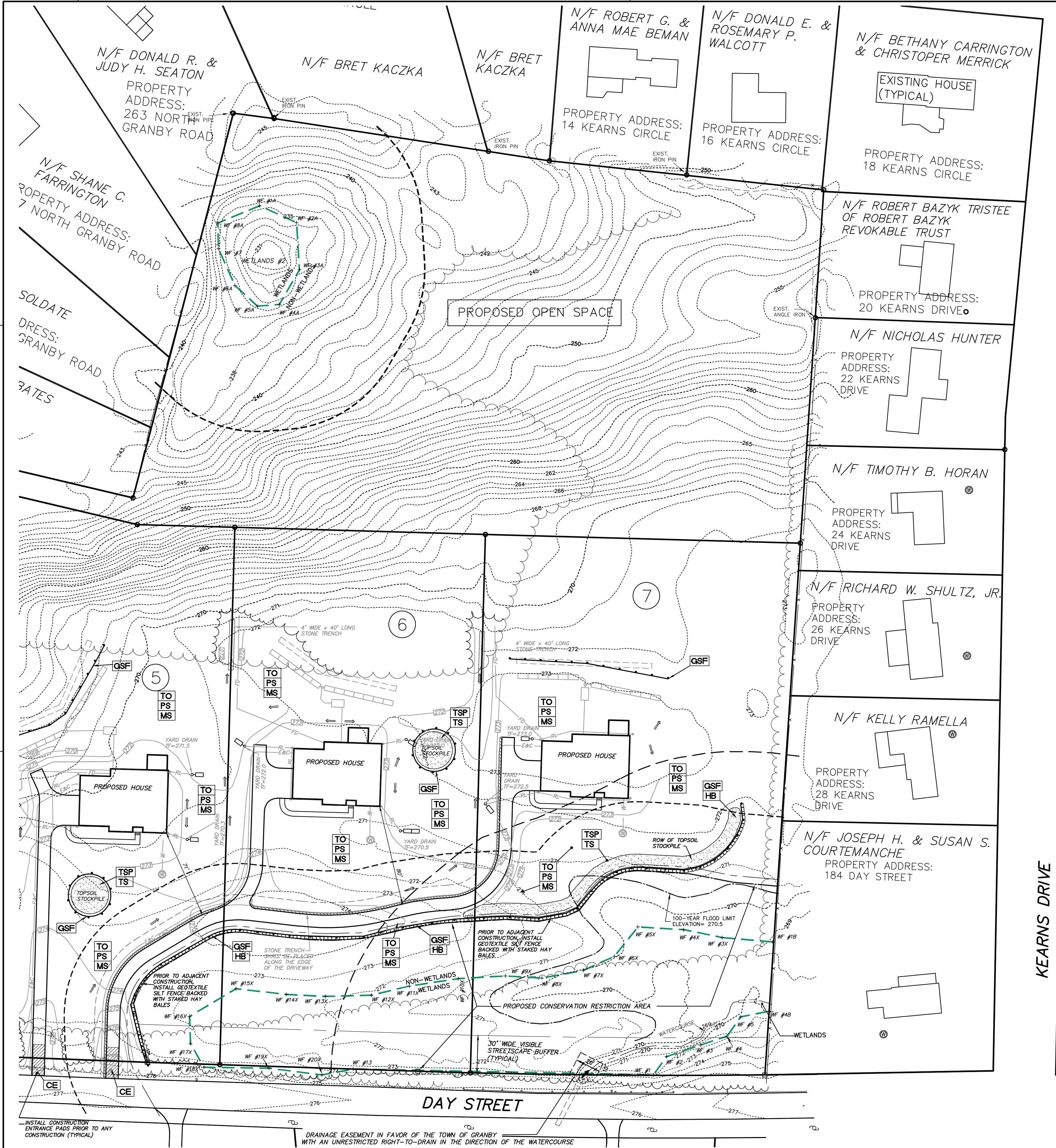
CIVIL ENGINEERS
WINDSOR, CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: DECEMBER 23, 2024

SCALE: 1 IN. = 40 FT.

BREEZY MEADOW SUBDIVISION
EROSION AND SEDIMENTATION CONTROL PLAN
PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC
GRANBY, CONNECTICUT
188 DAY STREET

Sheet
E&SC-1



EROSION AND SEDIMENTATION CONTROL NARRATIVE -

1. THE PROPERTY IS A 15.63± ACRE PARCEL LOCATED AT 188 DAY STREET BEING ON THE EAST SIDE OF DAY STREET AND THE SOUTH SIDE OF NORTH GRANBY ROAD, IN GRANBY, CONNECTICUT. THERE ARE SOME WETLANDS LOCATED AT THE SOUTHWEST CORNER AND THE EASTERLY SIDE OF THE PARCEL. THE PARCEL IS VACANT AND PREVIOUSLY USED FOR AGRICULTURAL PURPOSES. THE PARCEL IS ZONED "R50" AND "R30".

2. THE PROPOSAL IS TO DEVELOP SEVEN (7) RESIDENTIAL LOTS, EACH ONE WITH A SINGLE FAMILY HOME WITH A PRIVATE WELL AND SEPTIC SYSTEM AND RELATED UTILITIES AND IMPROVEMENTS. EACH LOT WILL HAVE FRONTAGE AND ACCESS OFF OF AN EXISTING PUBLIC ROAD. NO NEW ROAD IS PROPOSED.

3. THE ANTICIPATED START OF CONSTRUCTION IS PLANNED FOR THE SUMMER OF 2025 WITH FINAL COMPLETION DEPENDING ON DEMAND.

NARRATIVE FOR INDIVIDUAL HOUSE CONSTRUCTION -

A. INSTALL CONSTRUCTION ENTRANCE.

B. INSTALL FILTER FABRIC FENCE AND/OR FILTER FABRIC FENCE WITH HAYBALE BACK-UP WHERE SHOWN ON THE PLANS.

C. CLEAR AND STUMP LOT IN AREA OF PROPOSED HOUSE AND DRIVEWAY.

D. ON LOTS WHERE A RAIN GARDEN IS PROPOSED, THE RAIN GARDEN SHALL BE CONSTRUCTED AND SEEDED PRIOR TO ANY OTHER SITE IMPROVEMENT.

E. STRIP TOPSOIL AND STOCKPILE WHERE SHOWN ON THE PLAN.

F. EXCAVATE FOR FOUNDATION, GRADE AND PREPARE DRIVEWAY BASE. STOCKPILE EXCESS MATERIAL.

G. CONSTRUCT HOUSE AND DRIVEWAY. INSTALL ASSOCIATED UTILITIES. INSTALL SEPTIC SYSTEM.

H. FINE GRADE LOT. REMOVE EXCESS MATERIAL.

I. LOAM AND SEED FOR PERMANENT COVER.

IF PERMANENT COVER IS NOT DESIRED AT TIME OF THE SEEDING, USE TEMPORARY SEEDING PER VEGETATIVE COVER SCHEDULE.

GENERAL NOTES-

1. MAINTAIN DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER AT ALL TIMES DURING CONSTRUCTION.

2. ANY DISCARDED LITTER, DEBRIS AND DISCARDED CONSTRUCTION MATERIALS SHALL BE DISCARDED IN A PROPER MANNER.

3. THROUGHOUT CONSTRUCTION, INSPECT GEOTEXTILE SILT FENCE AND/OR TEMPORARY VEGETATIVE COVER. IF REQUIRED, PERFORM MAINTENANCE AND REPAIRS TO INSURE PROPER WORKING ORDER. GEOTEXTILE SILT FENCE IS TO REMAIN IN PROPER WORKING ORDER UNTIL ALL VEGETATIVE COVER HAS BEEN ESTABLISHED.

BEFORE REMOVAL OF ANY SILT FENCE, EXISTING ACCUMULATED SILT IS TO BE REMOVED AND DISPOSED OF PROPERLY. ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDED TO ESTABLISH PERMANENT COVER.

4. THE OWNER OF THE PROPERTY AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION/MAINTENANCE/REPAIR/REPLACEMENT OF ALL EROSION CONTROL MEASURES UNTIL ALL CONTRIBUTING SURFACES HAVE BEEN ESTABLISHED.

5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE TOWN RESERVES THE RIGHT TO AMEND THE EROSION AND SEDIMENTATION CONTROL MEASURES AS FIELD CONDITIONS WARRANT.

6. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION & SEDIMENT CONTROL, PUBLICATION DATE: SEPTEMBER 30, 2023, EFFECTIVE DATE: MARCH 30, 2024". PREPARED BY THE COUNCIL ON SOIL AND WATER CONSERVATION IN COLLABORATION WITH CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION.

7. WHERE NECESSARY, PROPOSED SWALES MAY REQUIRE TEMPORARY STABILIZATION SUCH AS EROSION CONTROL MATTING.

VEGETATIVE COVER SCHEDULE -

ALL DISTURBED AREAS NOT PAVED OR LANDSCAPED SHALL BE LOAMED WITH 6" MINIMUM OF TOPSOIL. SEED AS INDICATED BELOW. CONDITION SOIL WITH FERTILIZER AND LIMESTONE AS INDICATED BY SOIL TEST.

PERMANENT VEGETATIVE COVER:
SEEDING DATES: APRIL 1 TO JUNE 15 & SEPTEMBER 1 TO OCTOBER 15
OR AT OTHER TIMES, WEATHER PERMITTING

LAWN AREAS:
USE THE FOLLOWING MIXTURE OR EQUAL AS APPROVED BY DESIGN ENGINEER:
KENTUCKY BLUEGRASS 45%
CREEPING RED FESCUE 45%
PERENNIAL RYEGRASS 10%
APPLY 1-3 LBS./1000 S.F.

TEMPORARY VEGETATIVE COVER:
SEEDING DATES: MARCH 1 TO JUNE 15 & AUGUST 1 TO OCTOBER 15
OR AT OTHER TIMES, WEATHER PERMITTING
USE THE FOLLOWING SEED OR EQUAL AS APPROVED BY DESIGN ENGINEER -
ANNUAL RYEGRASS 100%
APPLY 1 LB./1000 S.F.

OWNER OF RECORD
BARBARA BRAEM JENSEN
MAILING ADDRESS:
45 BUGBEE ROAD, SOUTHWICK, MA 01077-9707

APPLICANT
PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK MacNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: Kirk@MacBuilds.com

GRAPHIC SCALE
40 0 20 40 80 160
(1 INCH = 40 FEET)

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

EROSION CONTROL SYMBOLS -

CE	CONSTRUCTION ENTRANCE PAD
FES	FLARED END STRUCTURE
GSF	GEOTEXTILE SILT FENCE
HB	HAY BALE
LP	LANDSCAPE PLANTING
MS	MULCH FOR SEED
OP	OUTLET PROTECTION
PS	PERMANENT SEEDING
TO	TOPSOIL
TP	TREE PROTECTION
TS	TEMPORARY SEEDING
TSP	TOPSOIL STOCKPILE

I HEREBY CERTIFY THAT THIS PLAN IS IN COMPLIANCE WITH THE TOWN GRANBY SOIL EROSION AND SEDIMENT CONTROL REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL DATED 2002, AS AMENDED.

WILSON M. ALFORD, JR. DATE
CONNECTICUT LICENSED PROFESSIONAL ENGINEER NO. 9344

NOTE - THE WORD "CERTIFY", AS USED ON THIS PLAN, IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE PROFESSIONAL ENGINEER, WHICH IS BASED ON HIS KNOWLEDGE, INFORMATION AND BELIEF. AS SUCH IT CONSTITUTES NEITHER A GUARANTY OR WARRANTY.

THE PLANNING AND ZONING COMMISSION OF THE TOWN OF GRANBY CERTIFIES THAT THIS SOIL EROSION AND SEDIMENT CONTROL PLAN COMPLIES WITH THE TOWN'S SOIL EROSION AND SEDIMENT CONTROL REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL DATED 2002, AS AMENDED.

DATE OF APPROVAL

THE TOWN ENGINEER OR ZONING ENFORCEMENT OFFICER OF THE TOWN OF GRANBY CERTIFIES THAT THIS SOIL EROSION AND SEDIMENT CONTROL PLAN COMPLIES WITH THE TOWN'S SOIL EROSION AND SEDIMENT CONTROL REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL DATED 2002, AS AMENDED.

DATE OF APPROVAL

INCORPORATED TOWN STAFF COMMENTS	7-2-25	MSC. REVISIONS	6-4-25	REVISED PER COMMENTS FROM KIRK CLARK, TOWN ENGINEER	5-12-25	REVISED PER COMMENTS FROM KIRK CLARK, TOWN ENGINEER	4-2-25	REVISED WETLANDS AND PROPOSED IMPROVEMENTS & GRADING FOR LOTS 5, 6, & 7	3-10-25	AGENT DATED 2-9-25	COMMENTS FROM INHC WETLANDS	2-10-25	DATE	REVISION
----------------------------------	--------	----------------	--------	---	---------	---	--------	---	---------	--------------------	-----------------------------	---------	------	----------

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

Alford ASSOCIATES, INC.

CIVIL ENGINEERS
WINDSOR, CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: DECEMBER 23, 2024

SCALE: 1 IN. = 40 FT.

BREEZY MEADOW SUBDIVISION
EROSION AND SEDIMENTATION CONTROL PLAN
PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC
188 DAY STREET
GRANBY, CONNECTICUT

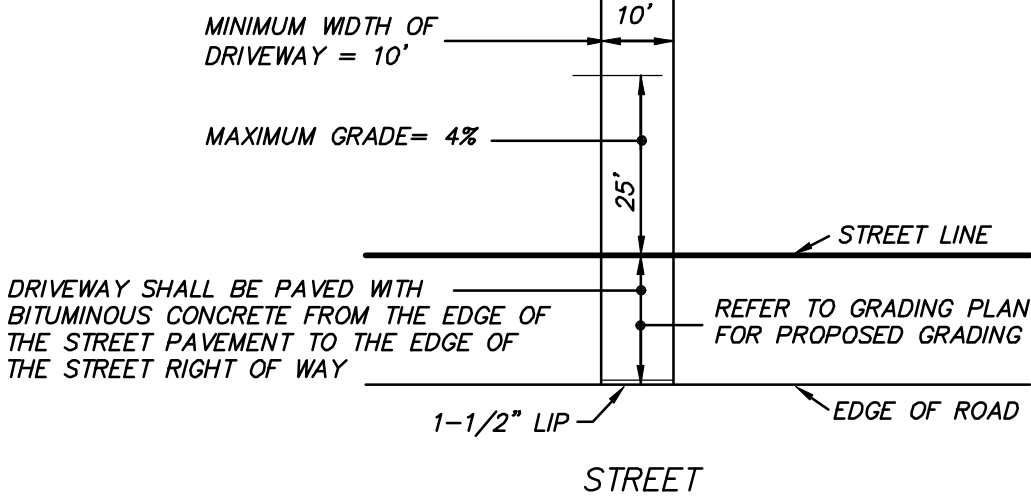
Sheet
E&SC-2

DRIVEWAY DETAIL

NOT TO SCALE

NOTES-

1. ONE DRIVEWAY SHALL ALLOW ACCESS TO NO MORE THAN TWO LOTS.
2. THE AVERAGE GRADE OF A DRIVEWAY SHALL BE NO MORE THAN 12%, MEASURED FROM THE STREET GUTTER TO THE BUILDING SERVED. NO PORTION OF A DRIVEWAY SHALL CONTAIN A GRADE IN EXCESS OF 15%.

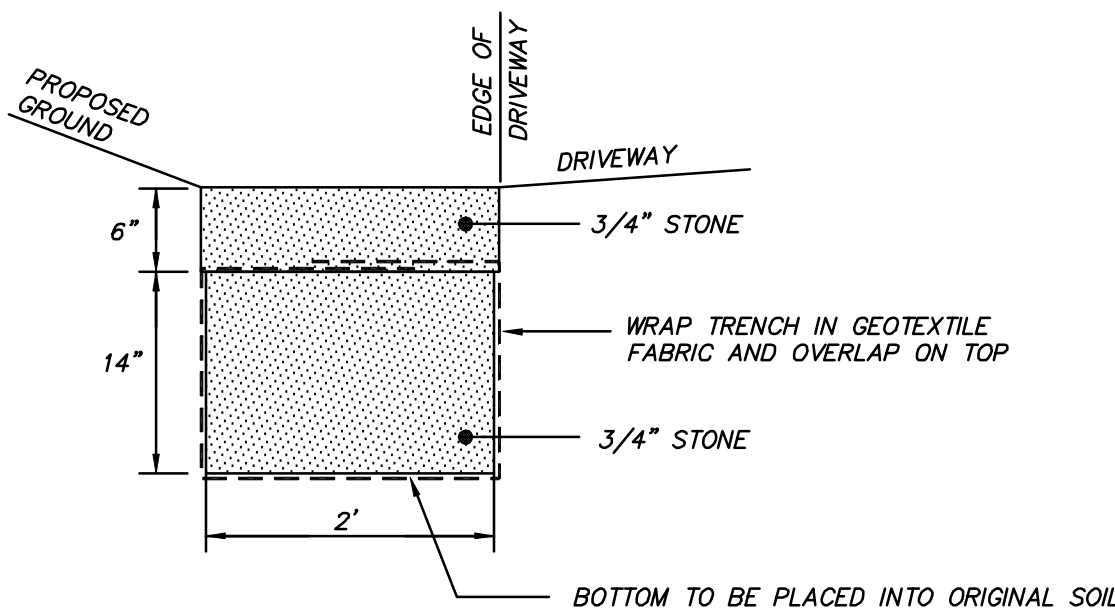


STONE TRENCH

NOT TO SCALE

TO BE PLACED ALONG EDGE OF DRIVEWAY FOR LOTS 5, 6 AND 7, WHERE SHOWN ON PLAN

NOTE -
INSTALL STONE TRENCH AFTER CONTRIBUTING AREAS ARE STABILIZED.

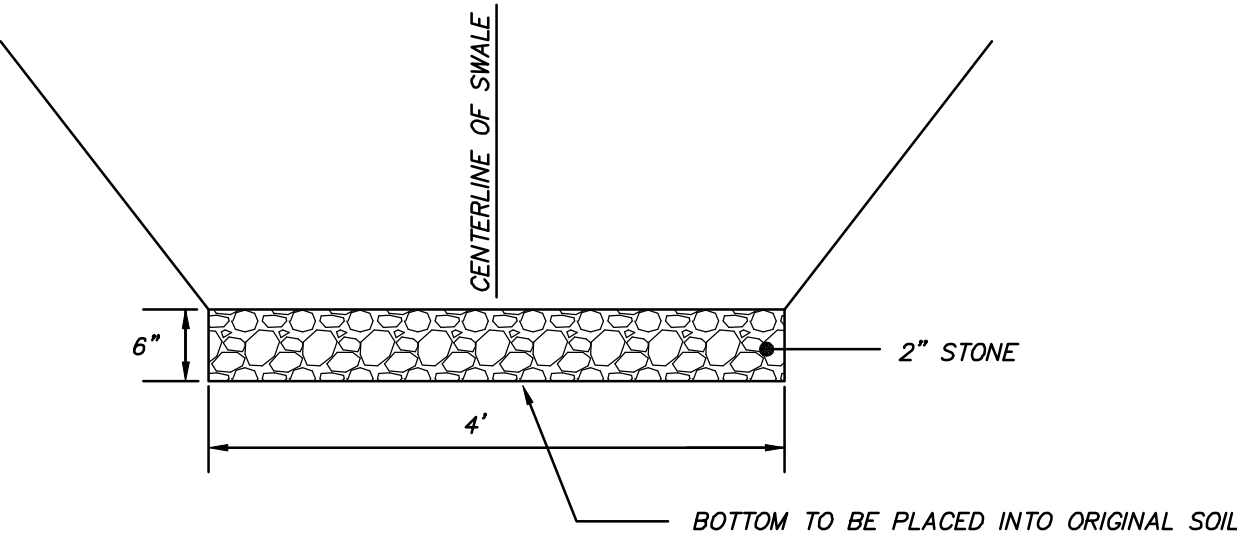


STONE TRENCH

NOT TO SCALE

TO BE PLACED WITHIN SWALES BETWEEN LOTS 5 AND 6 AND LOTS 6 AND 7

- NOTES -
1. STONE TRENCH TO BE 40 FEET LONG.
2. INSTALL STONE TRENCH AFTER CONTRIBUTING AREAS ARE STABILIZED.



INVASIVE SPECIES MANAGEMENT PLAN

NOTE- THE INVASIVE SPECIES MANAGEMENT PLAN HAS BEEN PREPARED BY IAN COLE, PROFESSIONAL REGISTERED SOIL SCIENTIST/PROFESSIONAL WETLAND SCIENTIST FROM MIDDLETOWN, CONNECTICUT.

INVASIVE SPECIES MANAGEMENT PLAN

188 DAY STREET SUBDIVISION – GRANBY

1.0 Invasive Species Management Plan Goal

The prime objective of this Invasive Species Management Plan is to avoid, minimize, and mitigate the introduction, spread, or the increased risk of invasion of invasive plant species on the project site, into new or disturbed areas, or areas adjacent to the project site caused by the site work shall be avoided.

Contractors will utilize established construction best management practices (BMPs) and measures that (1) do not contribute to the spread of, or (2) reduce the spread of target invasive plant species are the main objectives of this Plan. These measures are incorporated into the construction plans for the Project.

The removal of invasive shrubs/vines and herbaceous plants, including autumn olive, multiflora rose, Japanese barberry, garlic mustard, mugwort, Japanese knotweed and Asiatic bittersweet. This will open up areas for proper site stabilization and restoration. The protocols used for the eradication of invasive plants shall follow those promulgated by the Connecticut Invasive Plant Working Group (CIPWG), and notification to Town Staff. The removal methods may include excavation, smothering with black plastic /tarp, and/or targeted herbicide Treatments. However, only mechanical removal methods of invasives will occur within the wetland boundary.

Note: wetlands containing invasive plants extend well beyond the Project area and outside of areas in which any Project activities will be performed. Therefore, attempting to eradicate invasive species from portions outside the limits of disturbance is not considered a practical goal of this Plan. The main focus area for invasive species control is centered on the newly planted 45' buffer zone.

2.0 Invasive Species of Concern in Wetlands & Baseline Invasive Plant Survey

The CT DEEP, under PA 03-136 and in cooperation with the Connecticut Invasive Plants Council (through the Invasive Plant Atlas of New England [IPANE]), has compiled a State list of invasive plants. The species listed in the following table are likely found in wetlands in the Project area, based on field investigations.

Table 1-1 Invasive Species Found in Project Wetlands

Common Name	Latin Name
Multiflora rose*	<i>Rosa multiflora</i>
Asiatic bittersweet	<i>Celastrus orbiculatus</i>
Japanese barberry*	<i>Berberis thunbergii</i>
Morrow's honeysuckle	<i>Lonicera morrowii</i>
Autumn olive	<i>Elaeagnus umbellata</i>
Japanese Knotweed	<i>Fallopia japonica</i>
Garlic mustard	<i>Alliaria Petiolata</i>
Mugwort*	<i>Artemisa vulgaris</i>

*Indicates invasive species found in most abundance.

3.0 Invasive Species Management Areas

Invasive species management areas will target only the area within the proposed limits of disturbance.

- If deemed necessary to facilitate construction workspace, targeted areas of invasive non-native species shall be mechanically removed from the invasive species management areas during construction. The preferred method for initial removal is pulling the invasive shrubs and vines with a small machine (e.g., mini excavator) so that the roots are removed.
- Disposal of invasive plant material shall comply with CT DEEP guidelines.
- If required Any herbicide used for invasive eradication or control shall be applied by a Licensed Pesticide Applicator.
- These areas noted above will be subject to a 2-year guarantee that invasive species will be treated and removed to the satisfaction of the Town.
- The contractor shall guarantee a survival rate planted shrubs of 80% following the 2 year monitoring period.

4.0 Construction Phase Measures

The Project proposes to implement a series of procedures within the limits of the work area during the construction phase of the Project to meet the intended goals of this Plan. Care and consideration would be taken during all phases of Project construction to prevent the spread of target invasive species to areas that are currently devoid of them, and to prevent the spread of target invasive plant communities that currently exist.

Contractors will take precautionary measures to prevent and/or reduce the introduction or spread of target invasive species when clearing, placing, and moving equipment through areas containing said species. Equipment decontamination will be conducted at appropriate locations to the extent feasible to prevent spreading target invasive species.

Vegetation removal will be one of the first activities to occur, after the limits of disturbances is surveyed and staked. Vegetation clearing within the work area is necessary to provide access to structure locations, and to provide clearance to facilitate construction. To control the spread of target invasive plant species during construction, the following procedures will be implemented:

- All equipment, vehicles, and materials are to be clean and free of excess soil, debris, and vegetation prior to arrival at the Project site.
- Clearing of vehicles and other equipment will involve removal of visible dirt, debris and vegetation through the use of brooms, shovels, and, if needed, compressed air.
- Final restoration of the site to be carried out in accordance with the current plan requirements. If "hay bale" erosion controls are required on site, the contractor will be required to use alternative measures, to the extent practicable and if local sources are available, utilize straw bales, coconut rolls, wood chip bags or silt fence in lieu of traditional hay bales which may contain noxious or invasive seed stock or plant matter. This is especially important when erosion controls are installed adjacent to wetlands. Efforts will be made during construction, to the extent practicable, to minimize equipment mobility in areas containing invasive species so as to avoid dragging invasive plant material back and forth from established stands.

5.0 Monitoring & Reporting

- Upon completion of land clearing and restoration of the site, it is recommended that a follow-up assessment be completed to determine the success of any removal and if any recommended action items are warranted. The site shall be monitored for 2 years.

6.0 Resources:

- U.S. Army Corps of Engineers, New England District website, which includes disposal information www.nae.usace.army.mil/regulatory
- Invasive Species. Invasive Plant Atlas of New England www.ipane.org
- Cooperative Extension System Offices www.csrees.usda.gov/Extension

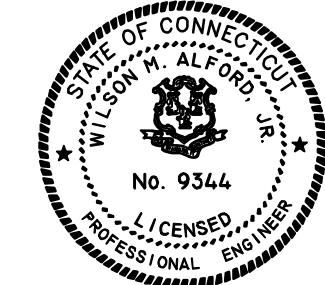
OWNER OF RECORD

BARBARA BRAEM JENSEN
MAILING ADDRESS:
45 BUGBEE ROAD, SOUTHWICK, MA 01077-9707

APPLICANT

PEAK MOUNTAIN DEVELOPMENT LLC
C/O KIRK MacNAUGHTON, MANAGER/MEMBER
P.O. BOX 270
GRANBY, CT 06026
TEL. NO. 860-305-4445
EMAIL: Kirk@MacBuilds.com

INCORPORATED TOWN STAFF COMMENTS	REVISION
7-2-25	
9-12-25	
DATE	



TO THE BEST OF MY
KNOWLEDGE AND BELIEF
THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE
SIGNATURE AND EMBOSSED SEAL



CIVIL ENGINEERS
WINDSOR, CONNECTICUT
•
WILSON H. ALFORD, JR., P.E. & L.S.

DATE: APRIL 25, 2025

SCALE: 1 IN. = 40 FT.

BREEZY MEADOW SUBDIVISION
NOTES AND DETAILS
PREPARED FOR
PEAK MOUNTAIN DEVELOPMENT LLC
GRANBY, CONNECTICUT
188 DAY STREET

Sheet
NOTES-2

TOWN OF GRANBY

MEMORANDUM

TO: Planning and Zoning Commission

CC: Brian Pierce, Chris Costello, Brian Denno, David Guarco

FROM: Abby Kenyon, Director of Community Development

DATE: July 3, 2025

RE: Application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation, for property located at 67, 87, and 95B Notch Road, R50 Zone: File Z-11-25.

The properties 67, 87 and 95B Notch Road, are located in the Residential R50 Zone. 87 Notch Road is owned by Notch Road Properties LLC and is 16.12 acres. There were two houses, several barns and other structures located on the property. The property is primarily used for farming. The other two properties that are the subject of this application, 67 and 95B Notch Road, are 29.9 and 20.1 acres respectively and are owned by Tilcon. These properties are used for farming and are also part of Tilcon's excavation project.

In 2021, the Commission approved a Special Permit for excavation under Zoning Regulations Section 9 to remove a total of 700,000 yards of material from the three properties (500,000 yards from 87 Notch Road and 200,000 yards from 67 and 95B Notch Road). There was a two-year time limit on the Special Permit, which was renewed in 2023. The applicant is before the Commission to renew the permit.

Since the 2023 Special Permit renewal, one of the houses, barn, and silage bin have been demolished and 86,400 yards of material removed, for a total of 237,800 yards removed to date. This current application is similar to what was re-approved in 2023 without two exceptions. First, the previous approvals showed the demolition of all structures on the property, including the two houses. The applicant is now proposing to keep one of the houses, which is the house closest to Notch Road. Second, there are grading changes proposed in the area adjacent to Notch Road. It is understood that the proposed grade shown on this current application as opposed to what was shown on the previous two approvals would be better for future farming activities. Even though grading changes are proposed, the overall total amount of material to be removed under this Special Permit would be the same (700,000 yards).

Town staff reviewed the plans. All items have been addressed with the exception of the Town Engineer comments. The Town Engineer had issued the comments below. However, he has not yet had time to review the revised plans submitted to verify the items have been addressed.

1. The narrative should be more descriptive as to what they have done and what is proposed.
2. I think that the plans should show what material has been removed along with the PE letter.
3. They should update the “Reference Map” of the Tilcon property to the latest one provided by Tilcon.

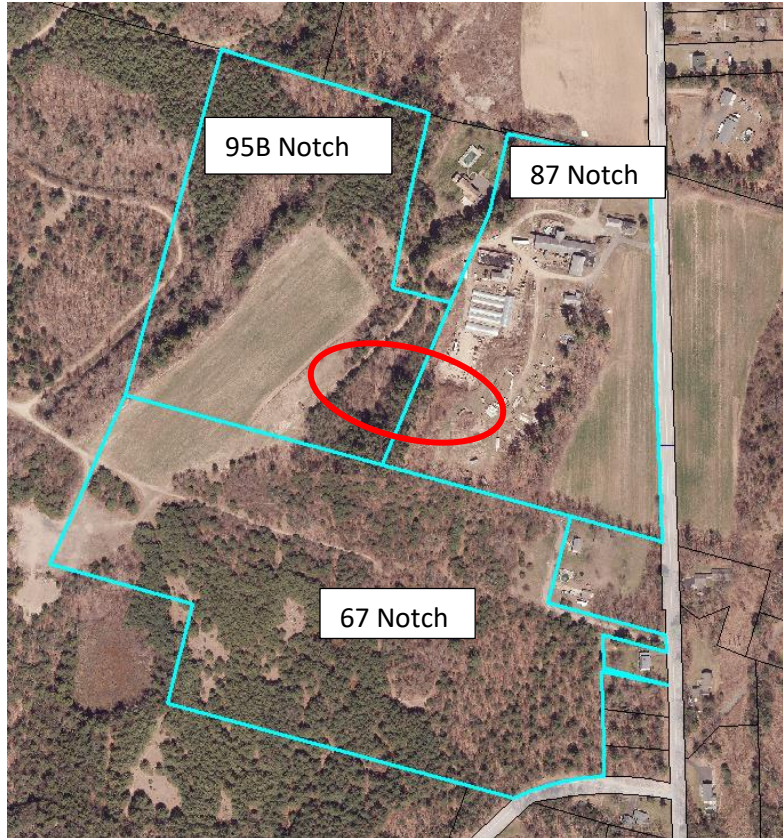
If the Commission is inclined to approve the application, the following is offered for consideration:

Approval subject to:

- 1) Resolution of Town Engineer comments in the July 3, 2025 staff review memo.
- 2) All previous conditions as noted in the Special Permit filed in the Granby Land Records in Volume 451 Page 881-883 remain in effect with the exception of the expiration date, which shall be July 8, 2026; and
- 3) The performance bond shall be extended for the duration of the permit.

The applicant will be at the hearing to present the application and answer any questions the Commission may have.

Property Location- Excavated Area Circled



Letter from PE



July 2, 2025

Abigail Kenyon, AICP
Community Development Director
Granby Town Hall
15 North Granby Road
Granby, CT 06035

RE: 67, 87, & 95B Notch Road Site Plan
Notch Road Properties LLC & Tilcon, Inc.

Ms. Kenyon,

I have reviewed the site plans entitled "SITE PLAN PREPARED FOR NOTCH ROAD PROPERTIES LLC & TILCON, INC 67, 87, & 95B NOTCH ROAD DATE 8/27/21 DENNO LAND SURVEYING & CONSULTING, LLC" SHEETS 1-8 OF 8 and revised through 9/19/23 – per town staff.

On Wednesday, July 2, 2025 I visited the subject parcel to inspect the work in progress for compliance with the approval plans.

Based on my observations of the site conditions and the information depicted on the approved reference plans, I hereby declare the project and site conditions are substantially built in accordance with the approved site plans.

If you have any questions, comments or concerns please do not hesitate to contact our office for additional information on this matter.

Sincerely,

Arthur P. Christian II P.E. CT #14865
Denno Land Surveying & Consulting, LLC



Narrative

Notch Road Properties, LLC., 87 Notch Road

Tilcon, Inc., 67 and 95B Notch Road

The Guarco Family has owned 87 Notch Road for many years. It has been kept as a farm for many different types of crops.

The property consists of farmland, 2 houses, and various barns. The smaller house, covered storage, and silage bin have been demolished and removed from the property under a building permit from the Town of Granby. The larger barn will be demolished under a building permit from the Town of Granby prior to finishing Phase 2. All debris will be disposed of offsite in accordance with all applicable rules and regulations. All unused farm equipment has been removed from the site. If any environmental issues arise, Pierce will contact Environmental Services, Inc. from South Windsor to handle them per all applicable rules and regulations.

Tilcon, Inc. has owned 67 and 95B Notch Road for many years. It has always been used as part of an earth excavation and farming project since before they owned it.

There were 86,400 yards of material removed in 2024 since the last renewal. No material has been removed yet in 2025. This gives a total of 237,800 yards removed from the properties.

8.2.1

The request is to remove a total of approximately 500,000 yards of material from 87 Notch Road to allow them to get the most use of the land for crops. All material would leave the farm through the rear of the property onto 536 Salmon Brook St (the property of the buyer Tilcon CT, Inc.) They intend on using Pierce Builders, Inc. to remove the material.

The request is to remove a total of approximately 200,000 yards of material from 67 and 95B Notch Road. All material would leave the property through the rear of the property directly onto their property at 536 Salmon Brook St. They intend on using Pierce Builders, Inc. to remove the material.

87 Notch Road is a total of 16.12 acres. The area of disturbance for this project is approximately 13 acres.

67 Notch Road is a total of 29.9 acres. The area of disturbance for this project is approximately 4.5 acres.

95B Notch Road is a total of 20.1 acres. The area of disturbance for this project is approximately 3.3 acres.

8.2.2

Currently there is no plan for new structures. At completion if they decide to put up any, they will apply for a building permit with revised site plans.

8.2.3

The hours of operation proposed are 8:00AM – 4:00PM Monday through Friday. No work will take place on federal holidays.

Water will be used at all times for dust control via a water truck or water trailer.

No embankments shall be left at a slope greater than 1-1/2 feet horizontal to 1 foot vertical for longer than 2 weeks.

There shall be no screening or processing of the material on the properties. It will be loaded directly into our trucks and removed.

All the trucks and equipment used will be up to date with federal, state, and local regulations to reduce noise and emissions.

8.2.4

When each phase is completed, the area will be top soiled and seeded to match the surrounding land.

8.2.5/6

There will be no street access required to remove the material. All material will exit the rear of the property.

8.2.7

The existing driveway from Notch Road will be maintained for any emergency access. There is also direct access from the Tilcon owned property.

8.2.8

Not Applicable

8.2.9

The plans show the area to developed to match the surrounding farmland. There is no impact on wetlands or the environment.

8.2.10

The proposed use of the property is continued to be used as farmland.

Special Permits



Doc ID: 001311250003 Type: LAN

BK **451** PG **881-883**

SPECIAL PERMIT

TO BE RECORDED WITH THE GRANBY TOWN CLERK IN ACCORDANCE WITH SECTIONS 8-3c, 8-26e, AND 8-3d OF THE CONNECTICUT GENERAL STATUTES FOR SPECIAL PERMIT.

NAME OF RECORD OWNER: Notch Road Properties, LLC & Tilcon, Inc
STREET ADDRESS OF PROPERTY 67, 87, 95B Notch Road
Granby, CT 06035

DEED REFERENCE	VOLUME: 250	PAGE: 0768	ZONE: R50
	VOLUME: 410	PAGE: 1184	ZONE: R50
	VOLUME: 250	PAGE: 0768	ZONE: R50

ORDINANCE: **Zoning** SECTION: **9** APPROVAL DATE: **10-26-21**

DESCRIPTION OF ACTION: Application seeking a Special Permit under Zoning Regulations Section 9 for earth excavation to remove 700,000 yards of material, for property located at 67, 87 and 95B Notch Road, R50 Zone. File Z-23-21, subject to the following:

1. The operation shall not deviate from the plan as specifically outlined in the applicant's narrative, except as noted herein. The conditions outlined below and the limitations outlined within the applicant's narrative are in addition to the requirements set forth within Section 9 of the Zoning Regulations and provide additional restrictions beyond those specified within Section 9.
2. All trucks shall use the temporary haul road shown on the plan. There shall be no use of Notch Road. This shall not apply to the removal of building materials, building debris, farming equipment or other materials not related to this earth removal project.
3. The operating hours are from 8:00 AM to 4:00 PM, Monday through Friday, excluding State and Federal Holidays. No machinery (trucks, excavators, graders, loaders, etc.) will be started before 8:00 AM and no machinery will remain running after 4:00 PM within the site. The note on the plan set shall be revised to reflect this condition.
4. There shall be no blasting on the site.
5. The haul road shall be temporary. Once the excavation activities are completed and the site restored, the haul road shall be restored with topsoil and seeded so that it matches the surrounding area.
6. Dust shall be controlled at all times through the use of water trucks and/or by other means as may be necessary.

Mr. Brian Pierce – Agent
Notch Road Properties, LLC / Tilcon, Inc.
November 1, 2021

RE: Application seeing a Special Permit under Zoning Regulations Section 9 to excavate and remove 700,000 yards of material for property located at 67-87-95B Notch Road, R50 Zone, File Z-23-21.
Page 2 of 3

7. All trucks and equipment used on the site shall be up to date with Federal, State, and Local Regulations to reduce noise and emissions.
8. The Director of Community Development shall be notified when excavation activities are to start on a particular phase and when the phase is completed. Excavation on the next phase may not begin until the prior phase is complete, which shall mean final grading is complete, topsoil spread, and the area seeded, as allowed based on the season and weather conditions.
9. The operation shall be overseen by the Granby Town Engineer. The Town Engineer shall visit the site to assure that the operation is proceeding in accordance with this approval. The Town Engineer may require updated surveys and grade stakes on the property. The applicant shall reimburse the Town of Granby for all payments made to the Town Engineer for overseeing this project at a rate of \$120 per hour. The applicant shall deposit with the Town of Granby the sum of \$3,000.00 to be applied to the costs as described herein. Should the costs exceed this amount, the applicant will be billed for the difference. Any funds not used for the project will be remitted to the applicant at the conclusion of the project. As used in this condition the term Town Engineer includes any person or firm so designated by the Town Engineer or the Director of Community Development.
10. The applicant shall file with the Town of Granby a \$30,000.00 cash bond to assure installation and maintenance of erosion and sediment control measures during the project.
11. The applicant shall file with the Town of Granby a \$171,412.50 performance bond to assure that the proposed excavation and removal will be undertaken as approved and to assure that the site will be fully restored as outlined within the plans.
12. Any violation of these conditions of approval may be grounds for an immediate halt to the operation.
13. Prior to the removal of any material from the site, payment for the Town Engineer, the erosion and sediment control bond, and the performance bond must be submitted to the Town and mylar copies of the complete map documents shall be signed by the Commission and filed in the Office of the Granby Town Clerk.

Mr. Brian Pierce – Agent
Notch Road Properties, LLC / Tilcon, Inc.
November 1, 2021

RE: Application seeking a Special Permit under Zoning Regulations Section 9 to
excavate and remove 700,000 yards of material for property located at 67-87-95B
Notch Road, R50 Zone, File Z-23-21.
Page 3 of 3

14. This approval shall expire on October 26, 2023.



SIGNATURE
CHAIRMAN GRANBY
PLANNING AND ZONING COMMISSION



DATE



SIGNATURE
APPLICANT OR OWNER



DATE



DATE FILED

THIS SPECIAL PERMIT MUST BE FILED IN THE OFFICE OF THE GRANBY TOWN
CLERK WITHIN 90 DAYS OF THE APPROVAL DATE, OR THE SPECIAL PERMIT
SHALL BECOME NULL AND VOID.

Please Return To:
Mr. Brian Pierce
c/o Notch Road Properties, LLC
& Tilcon, Inc
186 Notch Road
Granby, CT 06035



SPECIAL PERMIT

TO BE RECORDED WITH THE GRANBY TOWN CLERK IN ACCORDANCE WITH SECTIONS 8-3c, 8-26c, AND 8-3d OF THE CONNECTICUT GENERAL STATUTES FOR SPECIAL PERMIT.

NAME OF RECORD OWNER: Notch Road Properties, LLC & Tilcon, Inc.
STREET ADDRESS OF PROPERTY: 67, 87, and 95B Notch Road
Granby, CT 06035

DEED REFERENCES:	VOLUME: 250	PAGE: 0768	ZONE: R50
	VOLUME: 410	PAGE: 1184	ZONE: R50
	VOLUME: 250	PAGE: 0768	ZONE: R50

ORDINANCE: **Zoning** SECTION: **9** APPROVAL DATE: **06-27-23**

DESCRIPTION OF ACTION: Approval of the renewal of a Special Permit under Zoning Regulations Section 9 for earth excavation, for property located at 67, 87, and 95B Notch Road, R50 Zone: File Z-12-23; subject to the following conditions:

1. The phasing plan as noted in the June 14, 2023 staff memo to the Commission and as shown on the plan set is approved;
2. A report from a professional engineer certifying that the excavation already completed conforms to the plan of operations as approved must be submitted for staff review and approval;
3. All previous conditions as noted in the Special Permit filed in the Granby Land Records in Volume 451 Page 881-883 remain in effect with the exception of expiration date, which shall be June 27, 2025; and
4. The performance bond shall be extended for the duration of the permit.

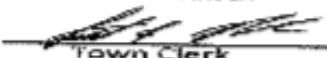

Mark Lockwood, PZC Chair

8/10/2023
Date


Applicant or Owner

7/27/2023
Date

Received for Record at Granby, CT
On 08/10/2023 At 10:14:13 am


Town Clerk

project narrative

The Guarco Family has owned 87 Notch Road for many years. It has been kept as a farm for many different types of crops. The property consists of farmland, 2 houses, and various barns. The smaller house, covered storage, and silage bin have been demolished and removed from the property under a building permit from the Town of Granby. The larger barn will be demolished under a building permit from the Town of Granby prior to finishing Phase 2. All debris will be disposed of offsite in accordance with all applicable rules and regulations. All unused farm equipment has been removed from the site. If any environmental issues arise, Pierce will contact Environmental Services, Inc. from South Windsor to handle them per all applicable rules and regulations. Tilcon, Inc. has owned 67 and 95B Notch Road for many years. It has always been used as part of an earth excavation and farming project since before they owned it. There were 86,400 yards of material removed in 2024 since the last renewal. No material has been removed yet in 2025. This gives a total of 237,800 yards removed from the properties.

8.2.1 The request is to remove a total of approximately 500,000 yards of material from 87 Notch Road to allow them to get the most use of the land for crops. All material would leave the farm through the rear of the property onto 536 Salmon Brook St (the property of the buyer Tilcon Ct, Inc.) They intend on using Pierce Builders, Inc. to remove the material.

8.2.2 The request is to remove a total of approximately 200,000 yards of material from 67 and 95B Notch Road. All material would leave the property through the rear of the property directly onto their property at 536 Salmon Brook St. They intend on using Pierce Builders, Inc. to remove the material.

8.2.3 87 Notch Road is a total of 16.12 acres. The area of disturbance for this project is approximately 13 acres.

8.2.4 67 Notch Road is a total of 29.9 acres. The area of disturbance for this project is approximately 4.5 acres.

8.2.5 95B Notch Road is a total of 20.1 acres. The area of disturbance for this project is approximately 3.3 acres.

8.2.6 Currently there is no plan for new structures. At completion if they decide to put up any, they will apply for a building permit with revised site plans.

8.2.7 The hours of operation proposed are 8:00AM - 4:00PM Monday through Friday. No work will take place on federal holidays.

8.2.8 Water will be used at all times for dust control via a water truck or water trailer.

8.2.9 No embankments shall be left at a slope greater than 1-1/2 feet horizontal to 1 foot vertical for longer than 2 weeks.

8.2.10 There shall be no screening or processing of the material on the properties. It will be loaded directly into our trucks and removed.

8.2.11 All the trucks and equipment used will be up to date with federal, state, and local regulations to reduce noise and emissions.

8.2.12 When each phase is completed, the area will be top soiled and seeded to match the surrounding land.

8.2.13 There will be no street access required to remove the material. All material will exit the rear of the property.

8.2.14 The existing driveway from Notch Road will be maintained for any emergency access. There is also direct access from the Tilcon owned property.

8.2.15 Not Applicable

8.2.16 The plans show the area to be developed to match the surrounding farmland. There is no impact on wetlands or the environment.

8.2.17 The proposed use of the property is continued to be used as farmland.

APPROVED BY THE PLANNING COMMISSION OF THE TOWN OF GRANBY AT ITS MEETING ON

DATE _____ AND SIGNED BY _____

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

AND DELIVERED TO THE APPLICANT ON _____

DATE _____

LEGEND:

ZONE LINE: _____

RESIDENCE ZONE 2A: R2A

RESIDENCE ZONE 30: R30

RESIDENCE ZONE 50: R50

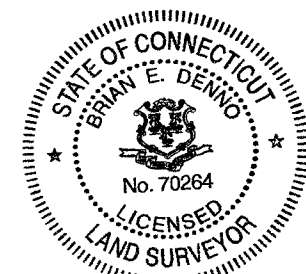
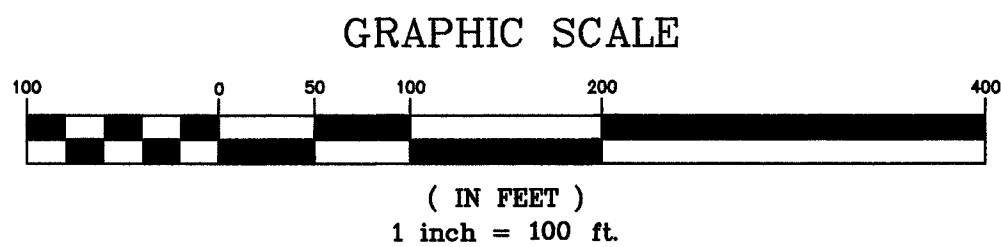
BUSINESS ZONE: C2

INDUSTRIAL ZONE: I

UTILITY STATEMENT

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

ORIGINAL INK ON MYLAR BY DENNO LAND SURVEYING



REVISIONS:

10/5/21 - PER TOWN STAFF
11/2/21 - CONDITIONS OF APPROVAL
5/26/23 - TOPOGRAPHY & PHASING
6/20/23 - PER TOWN STAFF
9/19/23 - CONDITIONS OF APPROVAL

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

NOT VALID UNLESS LIVE SIGNATURE AND EMBOSSED SEAL IS AFFIXED
DENNO LAND SURVEYING & CONSULTING, LLC
2 TUNXIS RD STE. 214 TARIFFVILLE, CT 06081

LOCATION PLAN

SITE PLAN
PREPARED FOR
NOTCH ROAD PROPERTIES, LLC & TILCON, INC
67, 87 & 95B NOTCH ROAD
GRANBY, CONNECTICUT

SCALE 1"=1,000'	DATE 8/27/21	SHEET NO. 1 OF 8
--------------------	-----------------	---------------------

DRAWING INDEX

SHEET 1 OF 8	LOCATION PLAN
SHEET 2 OF 8	PROPERTY SURVEY - TILCON (CLOSE, JENSEN & MILLER)
SHEET 3 OF 8	BOUNDARY & PHASING PLAN
SHEET 4 OF 8	GRADING PLAN 1
SHEET 5 OF 8	GRADING PLAN 2
SHEET 6 OF 8	GRADING PLAN 3
SHEET 7 OF 8	GRADING PLAN 4
SHEET 8 OF 8	SEDIMENTATION & EROSION CONTROL DETAILS

MAP REFERENCES:

- "PROPERTY OF TILCON MATERIALS TO BE CONVEYED TO GEORGE & DORIS E. CHAMBERLAIN NOTCH ROAD (REAR) GRANBY, CONNECTICUT SCALE 1"=100' DATE 12/20/95 CLOSE, JENSEN & MILLER WETHERSFIELD, CONNECTICUT."
- "PROPERTY OF JAMES C. CUMMINGS GRANBY, CONN. SCALE 1"=100' APRIL, 1948 GEORGE S. BAILEY."
- "PORTION OF PROPERTY OF JAMES C. CUMMINGS GRANBY, CONN. SCALE 1"=50' JAN. 1949 GEORGE S. BAILEY."
- "PROPERTY OF RONCARI INDUSTRIES, INC. ET AL NOTCH RD & SALMON BROOK STREET NORTH GRANBY, CONNECTICUT DATE JULY 22, 1969 SCALE 1"=200' CLOSE, JENSEN & MILLER WETHERSFIELD, CT."
- "LOCATION PLAN PROPERTY OF TILCON MINERALS NOTCH ROAD & SALMON BROOK STREET NORTH GRANBY, CONNECTICUT SCALE 1" = 1,000' DATE 4/17/03 SHEET 1 OF 1 CLOSE, JENSEN & MILLER". REVISED THROUGH 5/24/21.
- "PROPERTY SURVEY PROPERTY OF TILCON MINERALS NOTCH ROAD & SALMON BROOK STREET NORTH GRANBY, CONNECTICUT SCALE 1" = 200' DATE 07/22/1985 SHEET 1 OF 1 CLOSE, JENSEN & MILLER". REVISED THROUGH 5/24/21.
- "OPERATION PLAN PROPERTY OF TILCON MINERALS NOTCH ROAD & SALMON BROOK STREET NORTH GRANBY, CONNECTICUT SCALE 1" = 200' DATE 4/17/03 SHEET 1 OF 2 CLOSE, JENSEN & MILLER". REVISED THROUGH 6/10/21.
- "PROPOSED GRADING PLAN PROPERTY OF TILCON MINERALS NOTCH ROAD & SALMON BROOK STREET NORTH GRANBY, CONNECTICUT SCALE 1" = 200' DATE 4/17/03 SHEET 2 OF 2 CLOSE, JENSEN & MILLER". REVISED THROUGH 6/10/21.
- "PROPOSED SOIL REMOVAL PROPERTY OF TILCON MINERALS, INC. SALMON BROOK STREET (REAR) GRANBY, CONNECTICUT SCALE 1" = 80' DATE 4/17/03 SHEET 2 OF 2 CLOSE, JENSEN & MILLER". REVISED THROUGH 6/10/21.

SURVEY NOTES:

THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 28, 1996.

THE TYPE OF SURVEY PERFORMED IS AN IMPROVEMENT LOCATION SURVEY.

BOUNDARY DETERMINATION CATEGORY-RESURVEY BASED ON A DEPENDENT RESURVEY.

THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2, AND VERTICAL ACCURACY CLASS T-2.

HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 88. BOTH BASED UPON THE CT STATE PLANE COORDINATE SYSTEM FROM GPS OBSERVATIONS TAKEN 5/8/21.

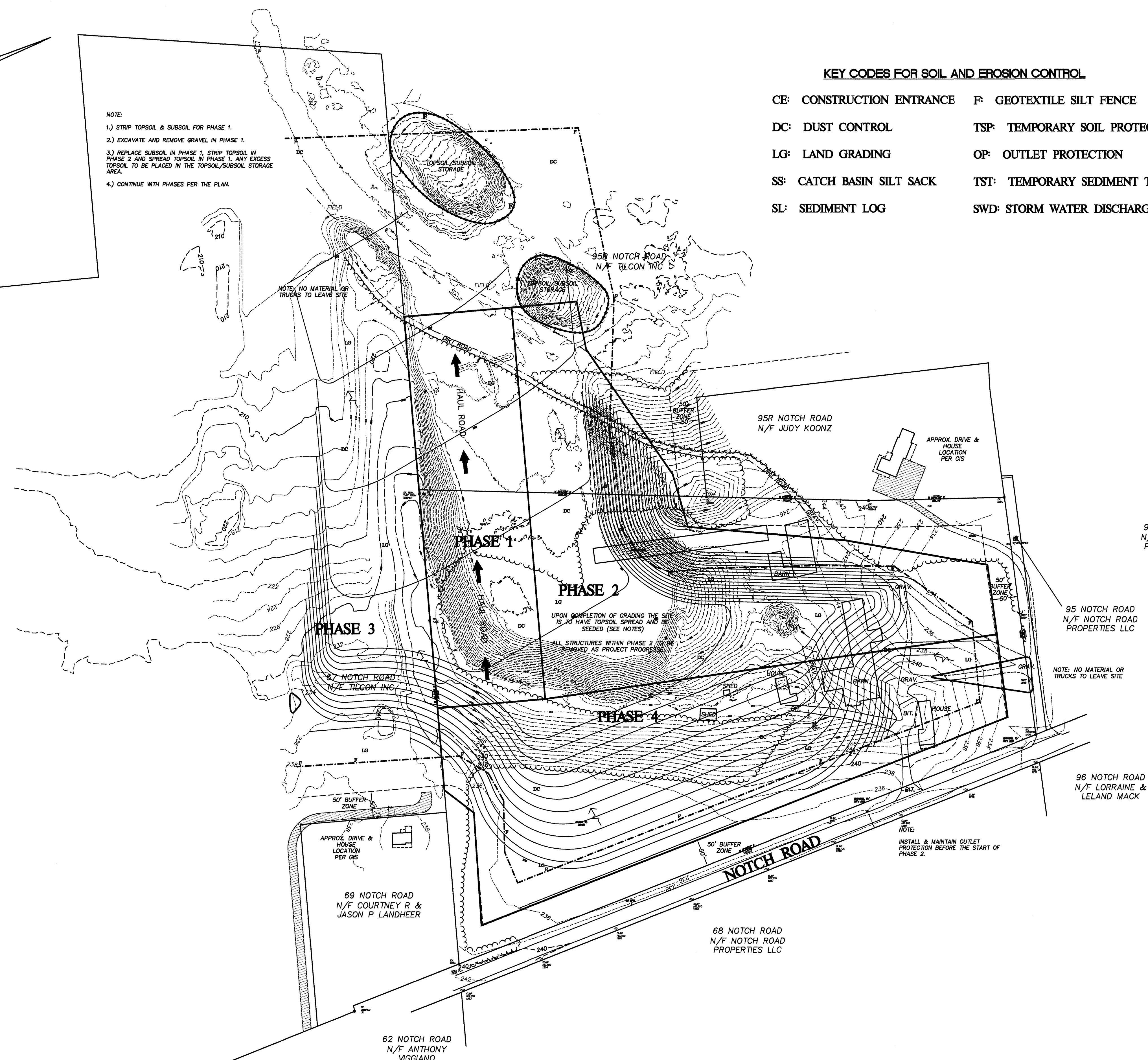
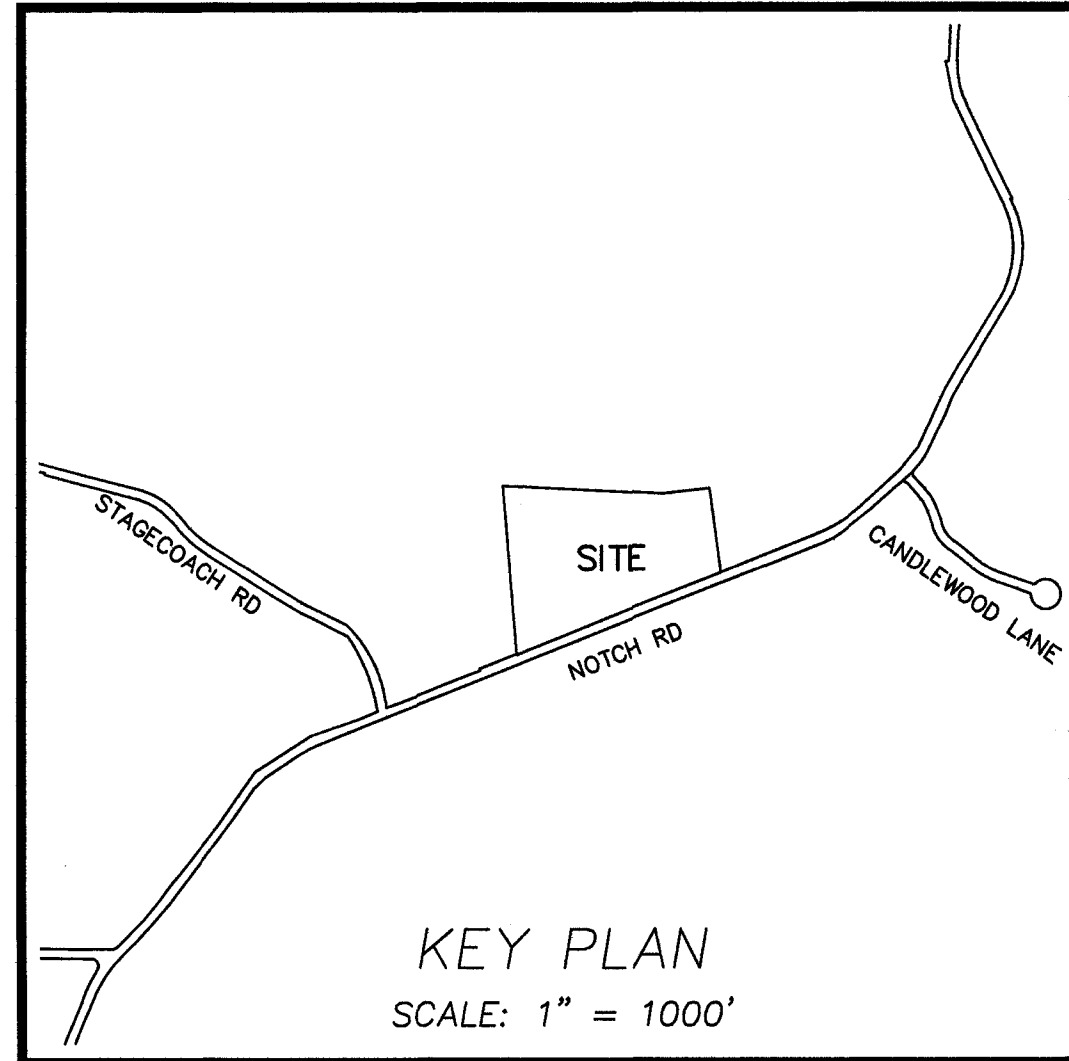
A-2/T-2 CERTIFICATION PERTAINS TO 85-87 NOTCH ROAD PROPERTIES.

TILCON MINERALS DATA TAKEN FROM REFERENCED AND APPROVED PLANS BY THE TOWN OF GRANBY AND LIMITED TOPOGRAPHY BY DENNO LAND SURVEYING.

CONDITIONS OF APPROVAL ON THE TILCON MINERALS PROPERTY ARE PART OF THIS PLAN.

NOTE:
1.) STRIP TOPSOIL & SUBSOIL FOR PHASE 1.
2.) EXCAVATE AND REMOVE GRAVEL IN PHASE 1.
3.) REPLACE SUBSOIL IN PHASE 1, STRIP TOPSOIL IN PHASE 2 AND SPREAD TOPSOIL IN PHASE 1. ANY EXCESS TOPSOIL TO BE PLACED IN THE TOPSOIL/SUBSOIL STORAGE AREA.
4.) CONTINUE WITH PHASES PER THE PLAN.

- KEY CODES FOR SOIL AND EROSION CONTROL
- | | |
|---------------------------|----------------------------------|
| CE: CONSTRUCTION ENTRANCE | F: GEOTEXTILE SILT FENCE |
| DC: DUST CONTROL | TSP: TEMPORARY SOIL PROTECTION |
| LG: LAND GRADING | OP: OUTLET PROTECTION |
| SS: CATCH BASIN SILT SACK | TST: TEMPORARY SEDIMENT TRAP |
| SL: SEDIMENT LOG | SWD: STORM WATER DISCHARGE POINT |



APPROVED BY THE PLANNING COMMISSION OF THE TOWN OF GRANBY AT ITS MEETING ON

DATE _____ AND SIGNED BY _____

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

AND DELIVERED TO THE APPLICANT ON

DATE _____

- MAP REFERENCES:
- "PROPERTY OF TILCON MATERIALS TO BE CONVEYED TO GEORGE & DORIS E. CHAMBERLAIN NOTCH ROAD (REAR) GRANBY, CONNECTICUT SCALE 1"=100' DATE 12/20/95 CLOSE, JENSEN & MILLER WETHERSFIELD, CONNECTICUT."
 - "PROPERTY OF JAMES C. CUMMINGS GRANBY, CONN. SCALE 1"=100' APRIL, 1948 GEORGE S. BAILEY."
 - "PORTION OF PROPERTY OF JAMES C. CUMMINGS GRANBY, CONN. SCALE 1"=50' JAN. 1949 GEORGE S. BAILEY."
 - "PROPERTY OF RONCARI INDUSTRIES, INC. ET AL NOTCH RD & SALMON BROOK STREET NORTH GRANBY, CONNECTICUT DATE JULY 22, 1969 SCALE 1"=200' CLOSE, JENSEN & MILLER WETHERSFIELD, CT."

SURVEY NOTES:

THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY PERFORMED IS AN IMPROVEMENT LOCATION SURVEY.

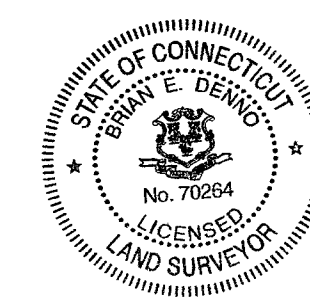
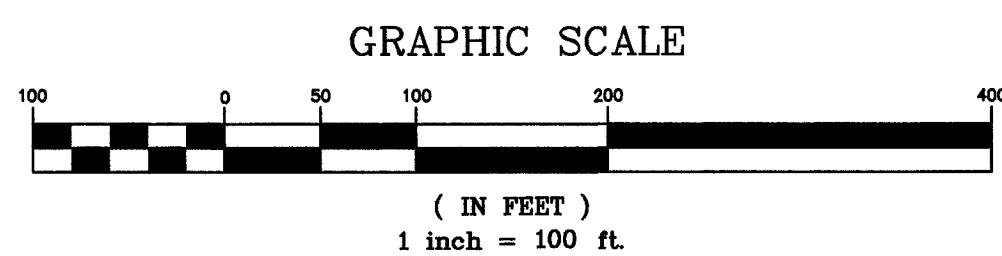
BOUNDARY DETERMINATION CATEGORY-RESURVEY BASED ON A DEPENDENT RESURVEY.

THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2, AND VERTICAL ACCURACY CLASS T-2.

HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 88. BOTH BASED UPON THE CT STATE PLANE COORDINATE SYSTEM FROM GPS OBSERVATIONS TAKEN 5/8/21.

UTILITY STATEMENT

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.



REVISIONS: 10/5/21 - PER TOWN STAFF 11/2/21 - CONDITIONS OF APPROVAL 5/26/23 - TOPOGRAPHY & PHASING 6/20/23 - PER TOWN STAFF 8/19/23 - CONDITIONS OF APPROVAL 8/24/25 - PROPOSED GRADING 7/31/25 - PER TOWN STAFF		BOUNDARY & PHASING PLAN	
TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.		SITE PLAN PREPARED FOR NOTCH ROAD PROPERTIES, LLC & TILCON, INC 67, 87 & 95B NOTCH ROAD GRANBY, CONNECTICUT	
NOT VALID UNLESS LIVE SIGNATURE AND EMBOSSED SEAL IS AFFIXED DENNO LAND SURVEYING & CONSULTING, LLC 2 TUNXIS RD STE. 214 TARIFFVILLE, CT 06081	SCALE 1"=100'	DATE 8/27/21	SHEET NO. 3 OF 8

KEY CODES FOR SOIL AND EROSION CONTROL

CE: CONSTRUCTION ENTRANCE F: GEOTEXTILE SILT FENCE
DC: DUST CONTROL TSP: TEMPORARY SOIL PROTECTION
LG: LAND GRADING OP: OUTLET PROTECTION
SS: CATCH BASIN SILT SACK TST: TEMPORARY SEDIMENT TRAP
SL: SEDIMENT LOG SWD: STORM WATER DISCHARGE POINT

- NOTES:
- UPON COMPLETION THE FOLLOWING SHALL BE COMPLETED:
- 1.) 6" SUBSOIL SHALL BE REPLACED AT ALL DISTURBED AREAS ANNUALLY
 - 2.) 6" TOPSOIL SHALL BE REPLACED AT ALL DISTURBED AREAS ANNUALLY
 - 3.) ALL AREAS SHALL BE RAKED AND SEEDED WITH PASTURE MAX MULTI-PURPOSE SEED ANNUALLY
 - 4.) EXISTING TOPSOIL SHALL BE RESPREAD ON SITE AS NECESSARY FOR THE RESTORATION OF THE PROPERTY UPON COMPLETION.
 - 5.) DURING ALL STAGES OF OPERATIONS, PROPER DRAINAGE SHALL BE PROVIDED TO PREVENT THE COLLECTION AND STAGNATION OF WATER AND TO PREVENT HARMFUL EFFECTS UPON SURROUNDING PROPERTIES.
 - 6.) THE EXCAVATED OR FILLED AREA SHALL BE GRADED SO THAT NO GRADIENTS IN DISTURBED EARTH SHALL BE STEEPER THAN A SLOPE OF 3:1 (HORIZONTAL/VERTICAL).
 - 7.) ACTIVITY ON SITE SHALL NOT COMMENCE BEFORE 8:00 AM AND SHALL TERMINATE NOT LATER THAN 4:00 PM.
 - 8.) NO OPERATIONS ARE PERMITTED ON WEEKENDS OR ESTABLISHED FEDERAL AND STATE OF CONNECTICUT HOLIDAYS.
 - 9.) PROPOSING TO REMOVE APPROXIMATELY 700,000 C.Y. OF MATERIAL FROM THE SITES KNOWN AS 87, 67 & 95B NOTCH ROAD.
 - 10.) REGRADE, REMOVAL OF MATERIAL AND STABILIZING THE SITE ESTIMATED AT 5 YEARS DEPENDING ON THE WEATHER.
 - 11.) A CASH BOND OF \$40,000 IS REQUIRED FOR SITE RESTORATION AND IS TO BE SUBMITTED BEFORE THE START OF WORK.

- MAP REFERENCES:
1. "PROPERTY OF TILCON MATERIALS TO BE CONVEYED TO GEORGE & DORIS E. CHAMBERLAIN NOTCH ROAD (REAR) GRANBY, CONNECTICUT SCALE 1"=100' DATE 12/20/95 CLOSE, JENSEN & MILLER WETHERSFIELD, CONNECTICUT."
 2. "PROPERTY OF JAMES C. CUMMINGS GRANBY, CONN. SCALE 1"=100' APRIL, 1948 GEORGE S. BAILEY."
 3. "PORTION OF PROPERTY OF JAMES C. CUMMINGS GRANBY, CONN. SCALE 1"=50' JAN. 1949 GEORGE S. BAILEY."
 4. "PROPERTY OF RONCARI INDUSTRIES, INC. ET AL NOTCH RD & SALMON BROOK STREET NORTH GRANBY, CONNECTICUT DATE JULY 22, 1989 SCALE 1"=200' CLOSE, JENSEN & MILLER WETHERSFIELD, CT."

SURVEY NOTES:

THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY PERFORMED IS AN IMPROVEMENT LOCATION SURVEY.

BOUNDARY DETERMINATION CATEGORY-RESURVEY BASED ON A DEPENDENT RESURVEY.

THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2, AND VERTICAL ACCURACY CLASS T-2.

HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 88. BOTH BASED UPON THE CT STATE PLANE COORDINATE SYSTEM FROM GPS OBSERVATIONS TAKEN 5/8/21.

APPROVED BY THE PLANNING COMMISSION OF THE TOWN OF GRANBY AT ITS MEETING ON

DATE _____ AND SIGNED BY _____

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

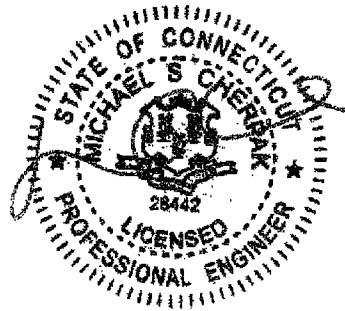
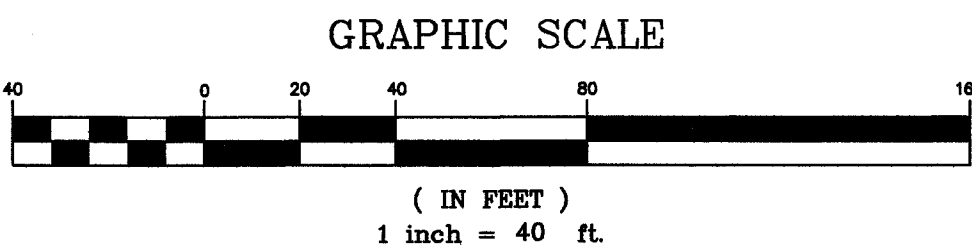
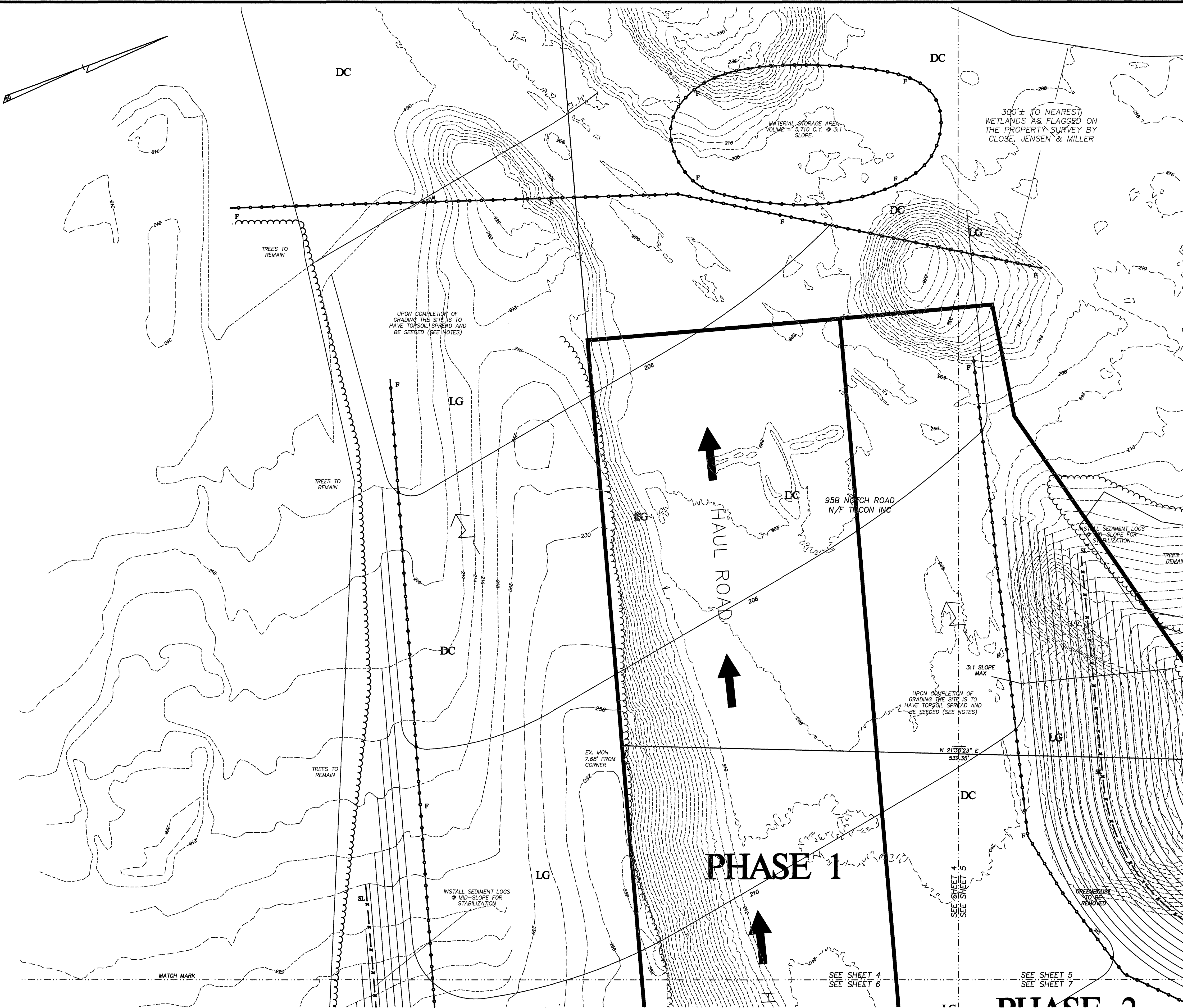
AND DELIVERED TO THE APPLICANT ON

DATE _____

UTILITY STATEMENT

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.

CALL BEFORE YOU DIG 1-800-922-4455.



REVISIONS:

10/6/21	PER TOWN STAFF
11/2/21	CONDITIONS OF APPROVAL
5/26/23	TOPOGRAPHY & PHASING
6/20/23	PER TOWN STAFF
8/19/23	CONDITIONS OF APPROVAL
9/24/23	PROPOSED GRADING
7/2/25	PER TOWN STAFF

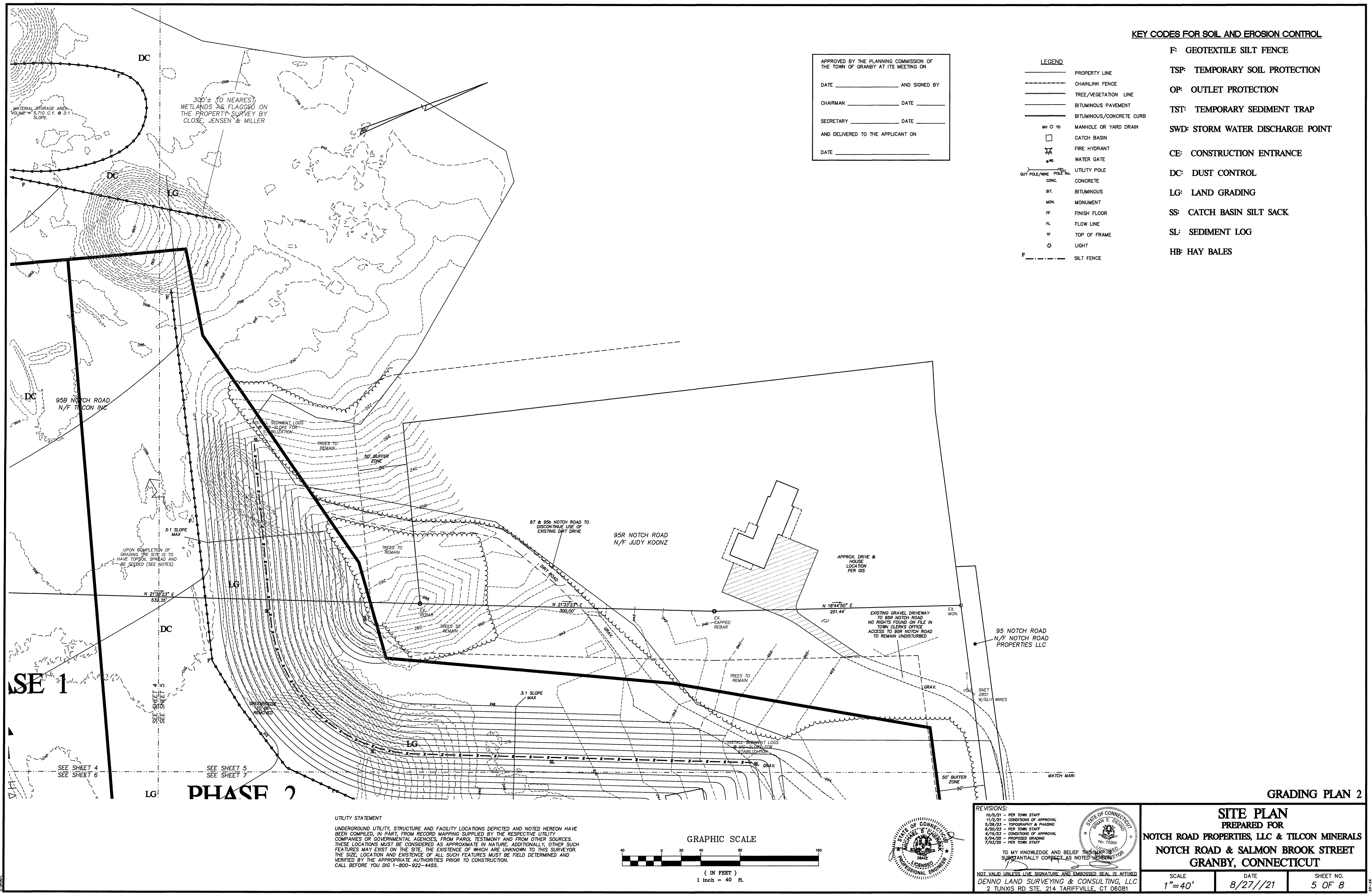
TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

NOT VALID UNLESS LIVE SIGNATURE AND EMBOSSED SEAL IS AFFIXED

DENNO LAND SURVEYING & CONSULTING, LLC
2 TUNXIS RD STE. 214 TARIFFVILLE, CT 06081

SITE PLAN
PREPARED FOR
NOTCH ROAD PROPERTIES, LLC & TILCON, INC
67, 87 & 95B NOTCH ROAD
GRANBY, CONNECTICUT

SCALE 1"=40'	DATE 8/27/21	SHEET NO. 4 OF 8
-----------------	-----------------	---------------------



KEY CODES FOR SOIL AND EROSION CONTROL

- F: GEOTEXTILE SILT FENCE
- TSP: TEMPORARY SOIL PROTECTION
- OP: OUTLET PROTECTION
- TST: TEMPORARY SEDIMENT TRAP
- SWD: STORM WATER DISCHARGE POINT
- CE: CONSTRUCTION ENTRANCE
- DC: DUST CONTROL
- LG: LAND GRADING
- SS: CATCH BASIN SILT SACK
- SL: SEDIMENT LOG
- HB: HAY BALES

APPROVED BY THE PLANNING COMMISSION OF THE TOWN OF GRANBY AT ITS MEETING ON

DATE _____ AND SIGNED BY

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

AND DELIVERED TO THE APPLICANT ON

DATE _____

- LEGEND
- PROPERTY LINE
 - CHAINLINK FENCE
 - TREE/VEGETATION LINE
 - BITUMINOUS PAVEMENT
 - BITUMINOUS/CONCRETE CURB
 - MANHOLE OR YARD DRAIN
 - CATCH BASIN
 - FIRE HYDRANT
 - WATER GATE
 - UTILITY POLE
 - CONCRETE
 - BITUMINOUS
 - MONUMENT
 - FINISH FLOOR
 - FLOW LINE
 - TOP OF FRAME
 - LIGHT
 - SILT FENCE

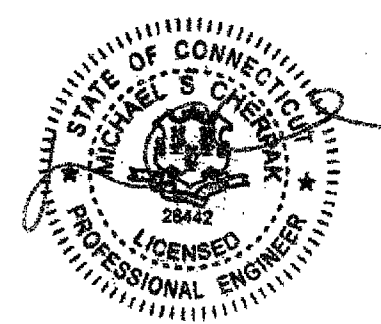
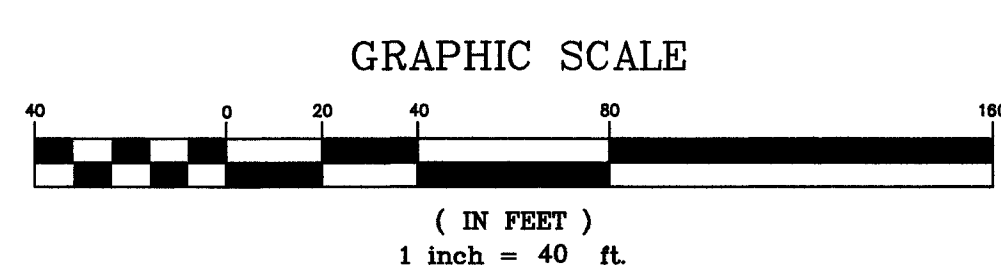
SE 1

PHASE 2

GRADING PLAN 2

UTILITY STATEMENT

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.



REVISIONS:

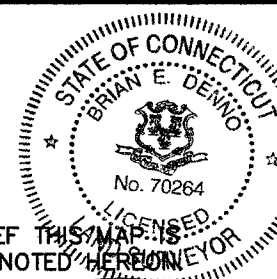
- 10/5/21 - PER TOWN STAFF
- 11/2/21 - CONDITIONS OF APPROVAL
- 5/28/23 - TOPOGRAPHY & PHASING
- 6/20/23 - PER TOWN STAFF
- 9/19/23 - CONDITIONS OF APPROVAL
- 9/04/25 - PROPOSED GRADING
- 7/03/25 - PER TOWN STAFF

TO MY KNOWLEDGE AND BELIEF THIS PLAN IS SUBSTANTIALLY CORRECT AS NOTED BY ME OR MY EMPLOYER

NOT VALID UNLESS LIVE SIGNATURE AND EMBOSSED SEAL IS AFFIXED

DENNO LAND SURVEYING & CONSULTING, LLC

2 TUNXIS RD. STE. 214 TARIFFVILLE, CT 06081



SITE PLAN
PREPARED FOR
NOTCH ROAD PROPERTIES, LLC & TILCON MINERALS
NOTCH ROAD & SALMON BROOK STREET
GRANBY, CONNECTICUT

SCALE 1"=40'	DATE 8/27//21	SHEET NO. 5 OF 8
-----------------	------------------	---------------------

KEY CODES FOR SOIL AND EROSION CONTROL

CE: CONSTRUCTION ENTRANCE F: GEOTEXTILE SILT FENCE
DC: DUST CONTROL TSP: TEMPORARY SOIL PROTECTION
LG: LAND GRADING OP: OUTLET PROTECTION
SS: CATCH BASIN SILT SACK TST: TEMPORARY SEDIMENT TRAP
SL: SEDIMENT LOG SWD: STORM WATER DISCHARGE POINT

TOWN OF GRANBY

Incorporated 1786
15 North Granby Road
Granby, Connecticut 06035-2102
860-844-5318

Aldy D. West Kenyon, AICP
Director of Community Development

Certified Mail # 91 7199 9991 7039 7646 3533

November 1, 2021

Mr. Brian Pierce - Agent
c/o Notch Road Properties, LLC / Tilcon, Inc.
186 Notch Road
Granby, CT 06035

Re: Application seeking a Special Permit under Zoning Regulations Section 9 for earth excavation to remove 700,000 yards of material, for property located at 67, 87 and 95B Notch Road, R50 Zone. File Z-23-21.

Dear Mr. Pierce:

Please be advised that on October 26, 2021 the Planning and Zoning Commission voted to approve your application seeking a Special Permit under Zoning Regulations Section 9 for earth excavation to remove 700,000 yards of material, for property located at 67, 87 and 95B Notch Road, R50 Zone. File Z-23-21. It was stated the application is in conformance with sections 9 and 8.2 of the Zoning Regulations. Approval of the application is in conformance with the objectives of the Zoning Regulations and the goals of the Plan of Conservation and Development primarily as they relate to the support of farming and agriculture, subject to the following:

- The operation shall not deviate from the plan as specifically outlined in the applicant's narrative, except as noted herein. The conditions outlined below and the limitations outlined within the applicant's narrative are in addition to the requirements set forth within Section 9 of the Zoning Regulations and provide additional restrictions beyond those specified within Section 9.
- All trucks shall use the temporary haul road shown on the plan. There shall be no use of Notch Road. This shall not apply to the removal of building materials, building debris, farming equipment or other materials not related to this earth removal project.
- The operating hours are from 8:00 AM to 4:00 PM, Monday through Friday, excluding State and Federal Holidays. No machinery (trucks, excavators, graders, loaders, etc.) will be started before 8:00 AM and no machinery will remain running after 4:00 PM within the site. The note on the plan set shall be revised to reflect this condition.

Mr. Brian Pierce - Agent
c/o Notch Road Properties, LLC / Tilcon, Inc.
November 1, 2021

Re: Application seeking a Special Permit under Zoning Regulations Section 9 for earth excavation to remove 700,000 yards of material, for property located at 67, 87 and 95B Notch Road, R50 Zone. File Z-23-21.

Page 2 of 3

- There shall be no blasting on the site.
- The haul road shall be temporary. Once the excavation activities are completed and the site restored, the haul road shall be restored with topsoil and seeded so that it matches the surrounding area.
- Dust shall be controlled at all times through the use of water trucks and/or by other means as may be necessary.
- All trucks and equipment used on the site shall be up to date with Federal, State, and Local Regulations to reduce noise and emissions.
- The Director of Community Development shall be notified when excavation activities are to start on a particular phase and when the phase is completed. Excavation on the next phase may not begin until the prior phase is complete, which shall mean final grading is complete, topsoil spread, and the area seeded, as allowed based on the season and weather conditions.
- The operation shall be overseen by the Granby Town Engineer. The Town Engineer shall visit the site to assure that the operation is proceeding in accordance with this approval. The Town Engineer may require updated surveys and grade stakes on the property. The applicant shall reimburse the Town of Granby for all payments made to the Town Engineer for overseeing this project at a rate of \$120 per hour. The applicant shall deposit with the Town of Granby the sum of \$3,000.00 to be applied to the costs as described herein. Should the costs exceed this amount, the applicant will be billed for the difference. Any funds not used for the project will be remitted to the applicant at the conclusion of the project. As used in this condition the term Town Engineer includes any person or firm so designated by the Town Engineer or the Director of Community Development.
- The applicant shall file with the Town of Granby a \$30,000.00 cash bond to assure installation and maintenance of erosion and sediment control measures during the project.
- The applicant shall file with the Town of Granby a \$171,412.50 performance bond to assure that the proposed excavation and removal will be undertaken as approved and to assure that the site will be fully restored as outlined within the plans.
- Any violation of these conditions of approval may be grounds for an immediate halt to the operation.

Mr. Brian Pierce - Agent
c/o Notch Road Properties, LLC / Tilcon, Inc.
November 1, 2021

Re: Application seeking a Special Permit under Zoning Regulations Section 9 for earth excavation to remove 700,000 yards of material, for property located at 67, 87 and 95B Notch Road, R50 Zone. File Z-23-21.

Page 2 of 3

- Prior to the removal of any material from the site, payment for the Town Engineer, the erosion and sediment control bond, and the performance bond must be submitted to the Town and mylar copies of the complete map documents shall be signed by the Commission and filed in the Office of the Granby Town Clerk.
- This approval shall expire on October 26, 2023.

The attached Special Permit form must be signed by the owner and returned to the Town Hall, Department of Community Development, with a filing fee of \$70.00, payable to the Town of Granby.

The fully executed Special Permit form will then be filed in the Office of the Town Clerk. This Special Permit form shall not become effective until the executed form is recorded in the land records of the Town of Granby. Any Special Permit not filed within 90 days of approval shall become null and void.

If you have any questions, please call me at your earliest convenience.

Sincerely,

Abigail Kenyon, AICP
Director of Community Development
File Z-23-21

TOWN OF GRANBY

Incorporated 1786
15 North Granby Road
Granby, Connecticut 06035-2102
860-844-5318

July 10, 2023

Certified Mail # 91 7199 9991 7038 8348 6106

Mr. Brian Pierce
c/o Notch Road Properties, LLC
& Tilcon, Inc.
186 Notch Road
Granby, CT 06035

Re: Application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation, for property located at 67, 87, and 95B Notch Road, R50 Zone: File Z-12-23.

Dear Mr. Pierce:

Please be advised that on June 27, 2023 the Planning and Zoning Commission voted to approve your application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation, for property located at 67, 87, and 95B Notch Road, R50 Zone: File Z-12-23.

The attached Special Permit form must be signed by the applicant or owner and returned to the Town Hall, Department of Community Development, with a filing fee of \$60 payable to the Town of Granby. The fully executed Special Permit form will then be filed in the Office of the Town Clerk. This Special Permit form shall not become effective until the executed form is recorded in the land records of the Town of Granby. Any Special Permit not filed within 90 days of approval shall become null and void. Mylars of the plan set must also be submitted for Chair signature and filed on the land records. The filing fee is \$20 per plan sheet.

If you have any questions, please call me at your earliest convenience.

Sincerely,

Abigail Kenyon, AICP
Director of Community Development
File Z-12-23

APPROVED BY THE PLANNING COMMISSION OF
THE TOWN OF GRANBY AT ITS MEETING ON

DATE _____ AND SIGNED BY _____

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

AND DELIVERED TO THE APPLICANT ON

DATE _____

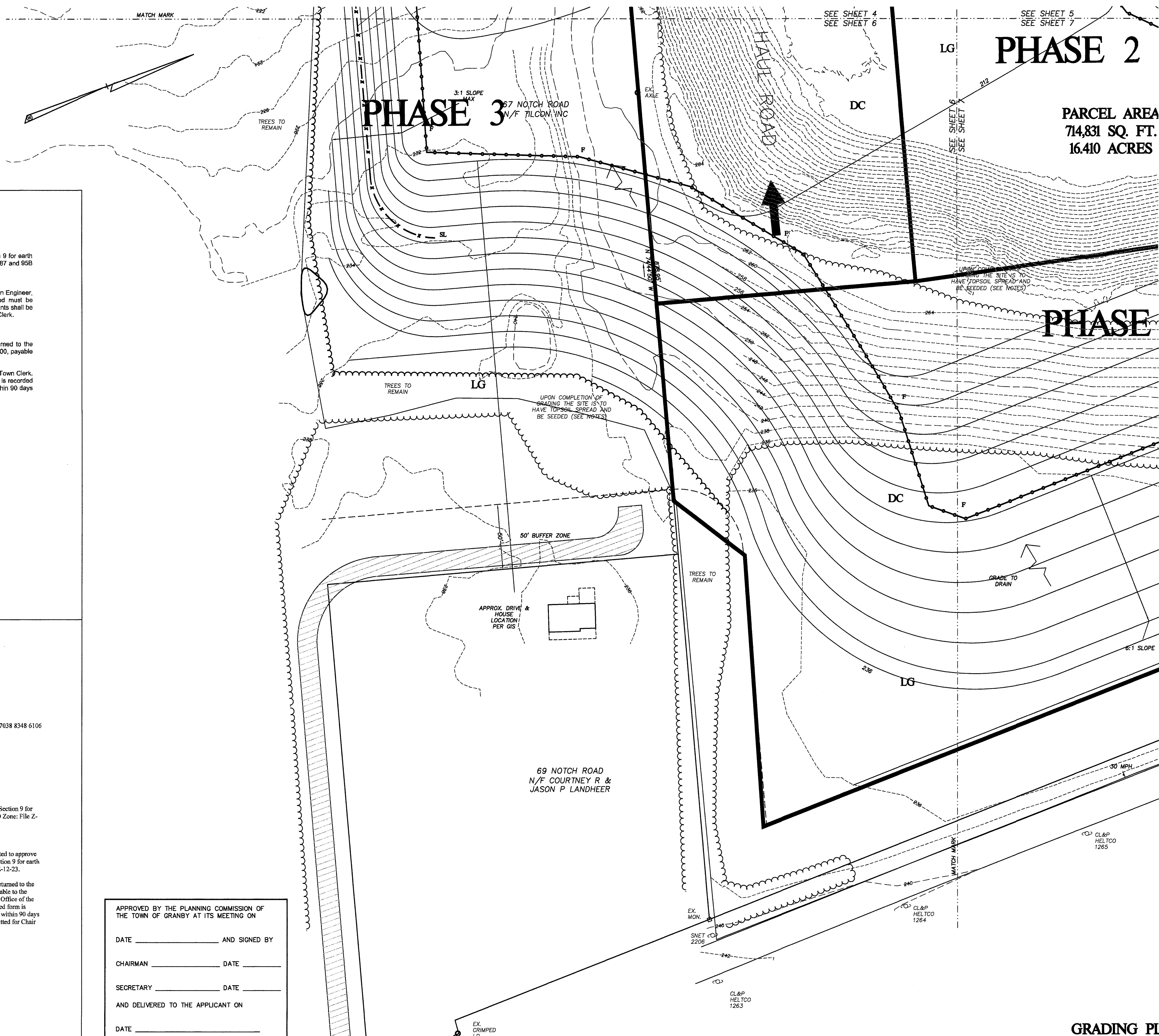
GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

UTILITY STATEMENT

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.



GRADING PLAN 3

SITE PLAN

PREPARED FOR

NOTCH ROAD PROPERTIES, LLC & TILCON MINERALS

NOTCH ROAD & SALMON BROOK STREET
GRANBY, CONNECTICUT

SCALE

1"=40'

DATE

8/27/21

SHEET NO.

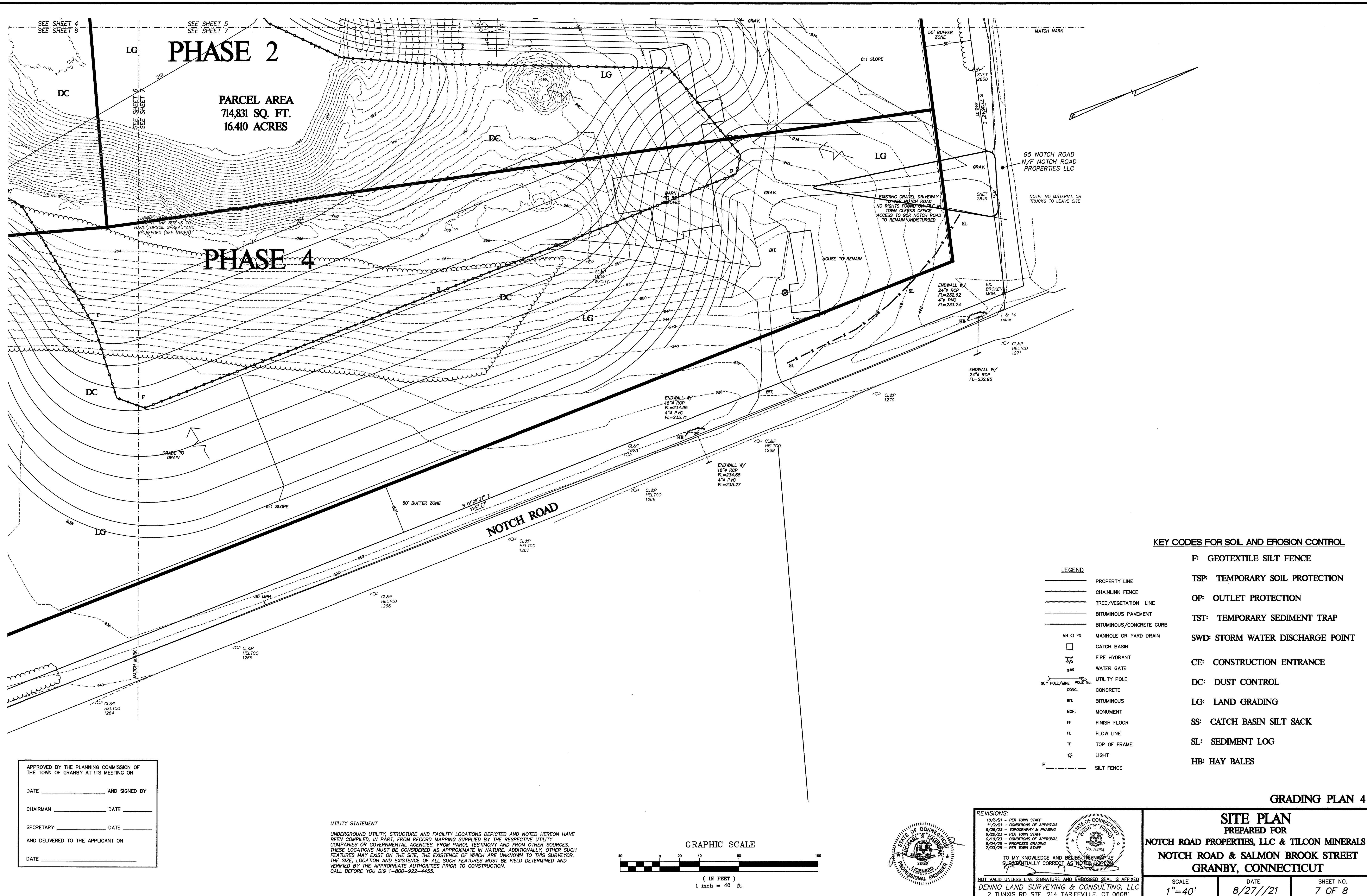
6 OF 8

REVISIONS:

10/26/21 - PER TOWN STAFF
11/2/21 - CONDITIONS OF APPROVAL
5/26/23 - TOPOGRAPHY & PHASING
6/20/23 - PER TOWN STAFF
9/19/23 - CONDITIONS OF APPROVAL
9/24/23 - PROPOSED GRADING
7/12/25 - PER TOWN STAFF

TO MY KNOWLEDGE AND BELIEF, THE WORK
SUBSTANTIALLY CORRECT AS NOTED HEREON

NOT VALID UNLESS LIVE SIGNATURE AND EMBOSSED SEAL IS AFFIXED
DENNO LAND SURVEYING & CONSULTING, LLC
2 TUNNIS RD. STE. 214 TARIFFVILLE, CT 06081



EROSION AND SEDIMENTATION CONTROL PLAN

REFERENCE IS MADE TO THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" (2002)AS AMENDED, AND TO THE TOWN HIGHWAY ENGINEERING STANDARDS AND SPECIFICATIONS. THE GUIDELINES ARE OBTAINABLE FROM THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION, STATE OFFICE BUILDING, HARTFORD, CONNECTICUT 06106, AND SHOULD BE USED AS A REFERENCE IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THESE PLANS.

IN ALL AREAS, REMOVAL OF TREES, BUSHES AND OTHER VEGETATION AS WELL AS DISTURBANCE OF THE SOIL IS TO BE KEPT TO AN ABSOLUTE MINIMUM WHILE ALLOWING PROPER DEVELOPMENT OF THE SITE.

DURING CONSTRUCTION, EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE FOR AS SHORT A TIME AS POSSIBLE.

AFTER CONSTRUCTION, GRADE, RESPADE TOPSOIL AND STABILIZE SOIL BY SEEDING AND MULCHING SO AS TO PREVENT EROSION.

THE CONTRACTOR SHALL NOTIFY THE COMMUNITY DEVELOPMENT DIRECTOR AT THE BEGINNING AND END OF EACH STEP OF THE CONSTRUCTION PROCEDURE AND SHALL NOT PROCEED WITH THE NEXT STEP UNTIL THE COMMUNITY DEVELOPMENT DIRECTOR HAS INSPECTED THE WORK.

THE STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION OF CONNECTICUT D.O.T. FORM 816 ARE THE OFFICIAL SPECIFICATIONS FOR CONSTRUCTION IN THE TOWN.

STRIPPING AND STOCKPILING

THE CONTRACTOR SHALL CAREFULLY STRIP ALL TOPSOIL, LOAM OR ORGANIC MATERIAL PRIOR TO TRENCHING OPERATIONS AND SHALL STORE THEM SEPARATELY FROM ALL OTHER MATERIALS DURING EXCAVATION. IN AREAS DESIGNATED AS REGULATED AREAS, THE UPPER STRATA TO A DEPTH OF 2 FEET SHALL BE STRIPPED AND STORED SEPARATELY. DURING BACKFILLING, THESE MATERIALS SHALL BE REPLACED AND FINISHED AS THEY EXISTED BEFORE CONSTRUCTION BEGAN, EXCEPT FOR SPECIAL ACCESS WAYS AS NOTED ON THE PLANS.

THE CONTRACTOR SHALL NOT INTRODUCE ANY QUANTITIES OF FILL MATERIALS INTO ANY AREAS DESIGNATED AS REGULATED AREAS EXCEPT AS SHOWN ON THE APPROVED GRADING PLANS.

THE CONTRACTOR SHALL MAINTAIN ALL BACK FILLED EXCAVATION IN PROPER CONDITION UNTIL EXPIRATION OF THE MAINTENANCE PERIOD. ALL DEPRESSIONS APPEARING IN THE BACK FILLED EXCAVATION SHALL BE PROPERLY FILLED AND RESEEDED IF NECESSARY.

DISPOSAL OF TREES AND BRUSH

ALL SAPLING TREES AND BRUSH CUT ON THE JOB SHALL BE CHIPPED FOR DISPOSAL. WOOD CHIPS SHALL BE 1/8 INCH NOMINAL THICKNESS WITH NOT LESS THAN 50 PERCENT OF THE CHIPS HAVING AN AREA NOT LESS THAN ONE (1) SQUARE INCH, NOR MORE THAN SIX (6) SQUARE INCHES. THE CHIPS SHALL BE DISPOSED OF BY UNIFORM SPREADING OVER THE PROJECT IN WOODED AREAS DESIGNATED BY THE ENGINEER.

ALL OTHER CUT TREES AND STUMPS SHALL BE REMOVED FROM THE REGULATED AREAS.

TRENCH EXCAVATION AND BACK FILL

CARE SHALL BE TAKEN TO EXCAVATE TO THE CORRECT LINE AND GRADE AND WIDTH AT ALL POINTS. THE METHODS AND EQUIPMENT USED FOR THE EXCAVATION MUST BE ADAPTED TO THE CONDITIONS AT THE SITE AND THE DIMENSIONS OF THE REQUIRED TRENCH. THE WIDTH OF THE DISTURBED GROUND OR STREET SURFACE, CUT OR DISTURBED, SHALL BE KEPT AS SMALL AS PRACTICABLE TO ACCOMMODATE THE WORK.

TRENCH EXCAVATION BELOW THE TWO FOOT DEPTH WHICH IS TO BE STRIPPED AND STORED SEPARATELY SHALL BE STOCKPILED AND SHALL BE USED AS THE TRENCH BACK FILL MATERIAL IN THE WETLANDS AREA, UNLESS THE ENGINEER DECLARES THAT THE EXCAVATED MATERIAL IS SUITABLE FOR SANDY SOIL. EXCESS EXCAVATED MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR IN AN AREA DESIGNATED BY THE ENGINEER.

DUST CONTROL

D.C., LIMIT THE AMOUNT OF EXPOSED SOIL BY PHASING CONSTRUCTION TO REDUCE THE AREA OF LAND DISTURBED AT ANY ONE TIME. USE TEMPORARY SOIL PROTECTION, SEEDING OR PERMANENT SEEDING TO PROTECT THE SITE DURING CONSTRUCTION. MAINTAIN AS MUCH OF THE NATURAL VEGETATION AS PRACTICAL TO PROTECT THE SITE. IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. LIMIT CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTS. PAVED SURFACES WILL REQUIRE MECHANICAL SWEEPERS TO KEEP THEM CLEAR OF SOIL FROM CONSTRUCTION VEHICLES IN UNPAVED TRAVEL WAYS AND CONSTRUCTION ACCESS AREAS USE ROAD CONSTRUCTION STABILIZATION MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP.

LAND GRADING

LOC., PROTECT ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THESE PLANS UNTIL THEY ARE PERMANENTLY STABILIZED. INSTALL AND MAINTAIN ALL SEDIMENTATION AND EROSION CONTROL MEASURES AS SHOWN OR DIRECTED ON THESE PLANS. CLEAR AND GRUB ALL AREAS TO BE GRADED, STRIP AND STOCKPILE TOPSOIL, PROTECT WILL EROSION CONTROLS AND/OR TEMPORARY SEEDING. ONLY CLEAN FILL IS TO BE USED, FREE OF BRUSH, RUBBISH, ROCKS AND OTHER OBJECTIONABLE MATERIAL. PLACE FILL IN LAYERS COMPACTING AS YOU GO TO REDUCE EROSION. PRIOR TO FINAL SEEDING ROUGHEN SLOPES 2:1 THROUGH 5:1 TO REDUCE RUNOFF. APPLY ALL PERMANENT SOIL STABILIZATION MEASURES SHALL BE DONE WITHIN 7 DAYS OF ESTABLISHING THE FINAL GRADE.

RESTORATION

THE FINAL RESTORATION AND RESEEDING SHALL BE DONE IN ACCORDANCE WITH OTHER SPECIFICATIONS IN THIS CONTRACT.

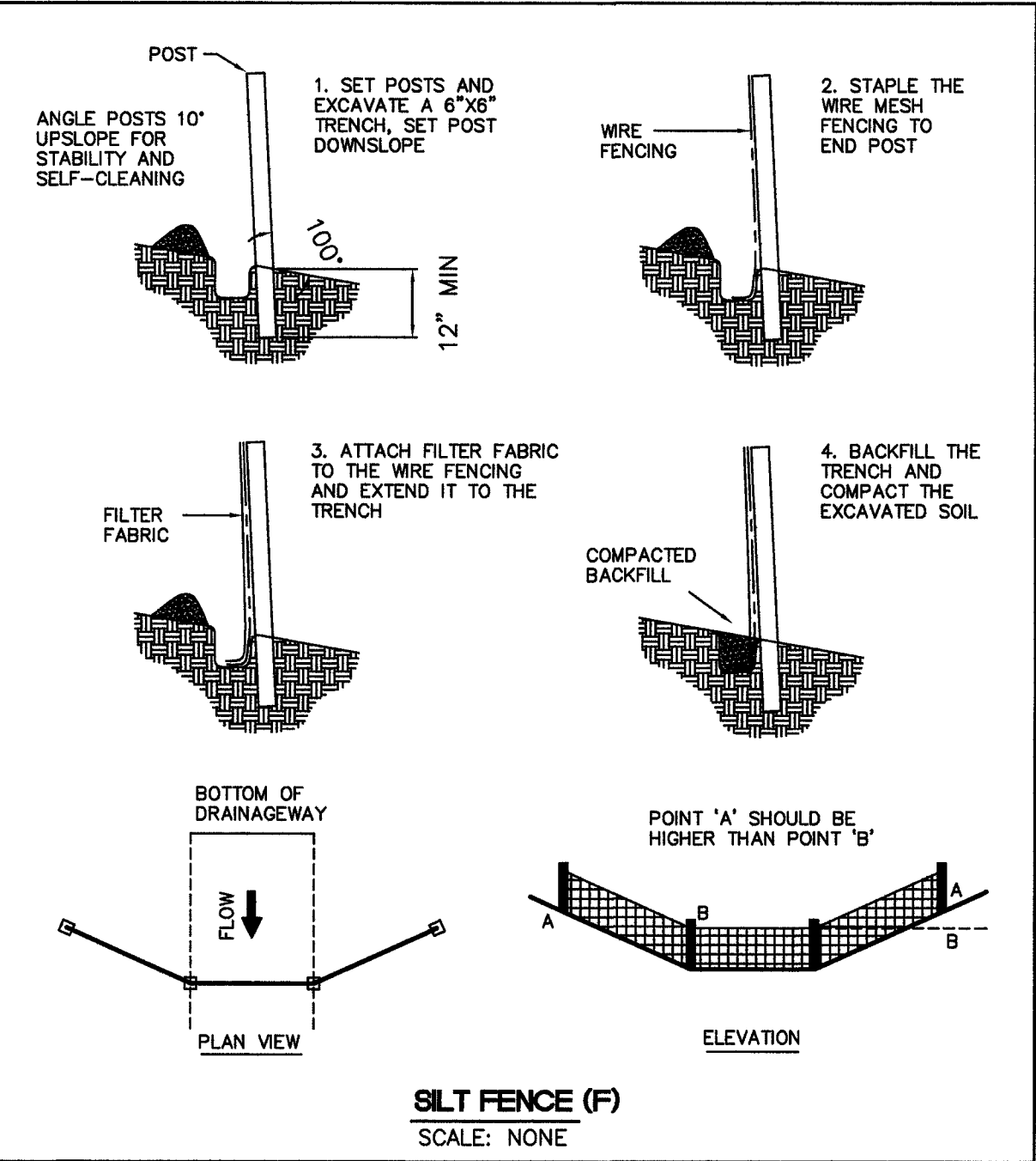
EROSION AND SEDIMENTATION CONTROL MEASURES

F., SYNTHETIC FILTER BARRIER FENCE AS SPECIFIED IS TO BE INSTALLED AT ALL LOCATIONS AS INDICATED ON THE PLANS TO INTERCEPT SILT AND SEDIMENT BEFORE IT REACHES THE DRAINAGE SYSTEM, WETLANDS OR WATERCOURSES. DEPOSITS OF SEDIMENT AND SILT ARE TO BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE FENCE. THIS MATERIAL IS TO BE SPREAD AND STABILIZED IN AREAS NOT SUBJECT TO EROSION, OR TO BE USED AS FILL IN AREAS WHICH ARE NOT TO BE PAVED OR BUILT ON. THE FENCE IS TO BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. THE FENCE IS TO REMAIN IN PLACE AND TO BE MAINTAINED TO INSURE EFFICIENT SILTATION CONTROL UNTIL ALL AREAS ABOVE THE FENCE ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.

ESTABLISHING VEGETATION COVER ON DISTURBED AREAS

UPON COMPLETION THE FOLLOWING SHALL BE COMPLETED:

- 1.) 6" SUBSOIL SHALL BE REPLACED AT ALL DISTURBED AREAS
- 2.) 6" TOPSOIL SHALL BE REPLACED AT ALL DISTURBED AREAS
- 3.) ALL AREAS SHALL BE RAKED AND SEEDED WITH PASTURE MAX MULTI-PURPOSE SEED



6. PERMANENT SEEDINGS, WHERE AN AREA WILL BE EXPOSED FOR MORE THAN ONE YEAR, OR WHERE FINAL GRADING IS COMPLETE:

AREA WHERE SEED MIX APPLIES	SEEDING MIXTURE BY WEIGHT	RATE PER 1000 SQ. FT.	SEEDING DATES
ALL LAWN AREAS	CREEPING RED FESCUE KENTUCKY BLUEGRASS PERENNIAL RYEGRASS	0.45 LB 0.45 LB 0.10 LB 1.00 LB	APRIL 15 - JUNE 15 OR AUGUST 15 - SEPT 15
ROAD CUTS & FILLS AND DIVERSION DITCHES	CREEPING RED FESCUE RED TOP TALL FESCUE OR SMOOTH BROMEGRASS	0.45 LB 0.05 LB 0.45 LB 0.05 LB	APRIL 15 - JUNE 15 OR AUGUST 15 - SEPT 15
VERY STEEP SLOPES	CREEPING FESCUE RED TOP CROWN VETCH	0.45 LB 0.05 LB 0.35 LB 0.85 LB	APRIL 15 - JUNE 15 OR AUGUST 15 - SEPT 15
NO MAINTENANCE AREAS	RED CANARYGRASS RED TOP	0.45 LB 0.10 LB 0.55 LB	APRIL 15 - JUNE 15 OR AUGUST 15 - SEPT 15

IF TREES ARE TO BE RETAINED, THE SEED MIX SHOULD BE ADAPTED FOR SHADY CONDITIONS.

7. TEMPORARY SEEDINGS: TO PROTECT THE SOIL OVER THE WINTER & 30 DAYS

SPECIES	RATE/1000 SQ. FT.	OPTIMUM SEEDING 1,3 DATE	OPTIMUM SEED DEPTH 2
ANNUAL RYEGRASS	1.0	3/1 - 6/15 8/1 - 10/1	0.5
PERENNIAL RYEGRASS	1.0	3/15 - 6/15 8/1 - 10/1	0.5
WINTER RYE	3.0	4/15 - 6/15 8/15 - 10/1	1.0
OATS	2.0	3/1 - 6/15 8/1 - 10/1	1.0
WHEAT	3.0	4/1 - 6/15 8/15 - 10/1	1.0
MILLET	0.5	6/1 - 7/1 5/15 - 8/15	1.0
SUDANGRASS	0.7	5/15 - 8/15	1.0
BUCKWHEAT	0.4	4/1 - 9/15	1.0
WEEDING LOVEGRASS	0.2	6/1 - 7/1	0.25

- 1 MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR CAN BE IRRIGATED.
- 2 SEED AT TWICE THE INDICATED DEPTH FOR SANDY SOIL.
- 3 THE FALL SEEDING DATES MAY BE EXTENDED 15 DAYS IN THE COASTAL TOWNS OF NEW LONDON, MIDDLESEX, NEW HAVEN AND FAIRFIELD COUNTIES.

SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CONN.

ORGANIC MULCH MATERIALS AND APPLICATION RATES

MULCHES	RATES PER ACRE	RATES PER 1000 SQ.FT.2	NOTES
STRAW OR HAY	1 1/2 - 2 TONS	70 - 90 LBS.	FREE FROM WEEDS AND COARSE MATTER. MUST BE ANCHORED. SPREAD WITH MULCH BLOWER OR BY HAND.
WOOD FIBER	1000 - 2000 LBS.	25 - 50 LBS.	FIBERS 4MM OR LONGER. DO NOT USE ALONE IN WINTER OR DURING HOT, DRY WEATHER. APPLY AS SLURRY.
CORN STALKS	4 - 6 TONS	185 - 275 LBS.	CUT OR SHREDDED IN 4-6 INCH LENGTHS. AIR DRIED. DO NOT USE IN FINE TURF AREAS. APPLY WITH MULCH BLOWER OR BY HAND.

- 2 SEED AT TWICE THE INDICATED DEPTH FOR SANDY SOIL.

INSTALLATION REQUIREMENTS FOR ORGANIC MULCHES

ORGANIC MULCHES MAY BE USED IN ANY AREA WHERE MULCH IS REQUIRED, SUBJECT TO THE RESTRICTIONS NOTED IN FIGURE 7-1.

1. MATERIALS

SELECT MULCH MATERIAL BASED ON SITE CONDITIONS, AVAILABILITY OF MATERIALS, AND LABOR AND EQUIPMENT. FIGURE 7-1 LISTS THE MOST COMMONLY USED ORGANIC MULCHES. OTHER MATERIALS MAY BE USED WITH THE PERMISSION OF THE APPROVING AUTHORITY.

2. PRIOR TO MULCHING

COMPLETE THE REQUIRED GRADING AND INSTALL NEEDED SEDIMENT CONTROL MEASURES.

3. APPLICATION

MULCH MATERIALS SHALL BE SPREAD UNIFORMLY, BY HAND OR MACHINE.

WHEN SPREADING STRAW OR HAY MULCH BY HAND, DIVIDE THE AREA TO BE MULCHED INTO HAY IN EACH SECTION TO INSURE UNIFORM DISTRIBUTION.

4. ORGANIC MULCH ANCHORING

APPROXIMATELY 1000 SQUARE FOOT SECTIONS AND PLACE 70-90 LBS (1-1/2 TO 2 BALES) OF STRAW OR STRAW OR HAY MULCH MUST BE ANCHORED IMMEDIATELY AFTER SPREADING TO PREVENT WINDBLOWING. OTHER ORGANIC MULCHES DO NOT REQUIRE ANCHORING. THE FOLLOWING METHODS OF ANCHORING STRAW OR HAY MAY BE USED.

A. MULCH ANCHORING TOOL

THIS IS A TRACTOR-DRAWN IMPLEMENT DESIGNED TO PUNCH MULCH INTO THE SOIL SURFACE. THIS METHOD PROVIDES MAXIMUM EROSION CONTROL WITH STRAW. IT IS LIMITED TO USE ON SLOPES NO STEEPER THAN 3 TO 1 (3 HORIZONTALLY TO 1 VERTICALLY), WHERE EQUIPMENT CAN OPERATE SAFELY. MACHINERY SHALL BE OPERATED ON THE CONTOUR.

B. TRACKING

APPLY MULCH AND DRIVE TRACKED EQUIPMENT UP AND DOWN SLOPE OVER ENTIRE SURFACE SO CLEAR MARKS ARE PARALLEL TO CONTOUR.

C. MULCH NETTINGS

INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

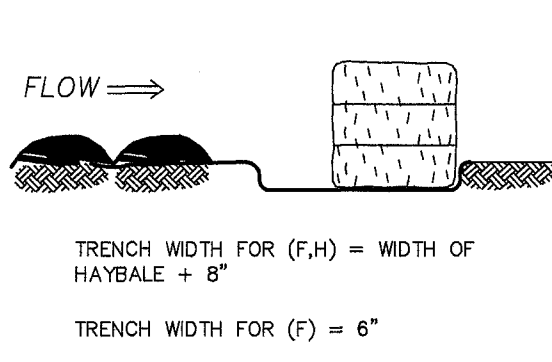
MAINTENANCE

ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. NETTING SHOULD BE INSPECTED AFTER RAINSTORMS FOR DISLOCATION OR FAILURE. IF WASHOUTS OR BREAKAGE OCCUR, REINSTALL NETTING AS NECESSARY AFTER REPAIRING DAMAGE TO THE SLOPE. INSPECTIONS SHOULD TAKE PLACE UNTIL GRASSES ARE FIRMLY ESTABLISHED. GRASSES SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED WHICH IS MATURE ENOUGH TO CONTROL SOIL EROSION AND TO SURVIVE SEVERE WEATHER CONDITIONS. WHERE MULCH IS USED IN CONJUNCTION WITH ORNAMENTAL PLANTING, INSPECT PERIODICALLY THROUGHOUT THE YEAR TO DETERMINE IF MULCH IS MAINTAINING COVERAGE OF THE SOIL SURFACE; REPAIR AS NEEDED.

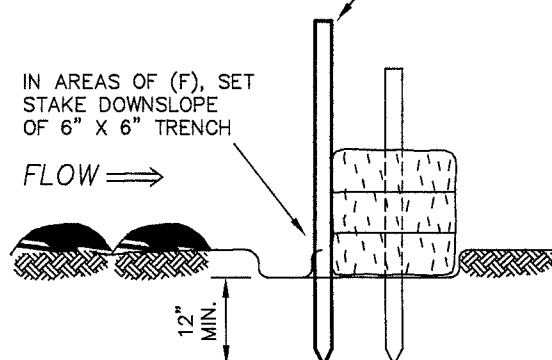
NOTE:

1. STUMPS SHALL BE REMOVED FROM THE SITE OR GROUND ON SITE TO BE USED AS MULCH. STUMPS SHALL NOT BE BURIED ON SITE.
2. REGISTRATION WITH THE DEP IS REQUIRED FOR THE OVER ALL SITE DISTURBANCE OF MORE THAN 5 ACRES BUT LESS THAN 10 ACRES.

- 1) EXCAVATE A 6" DEEP TRENCH AS SHOWN.



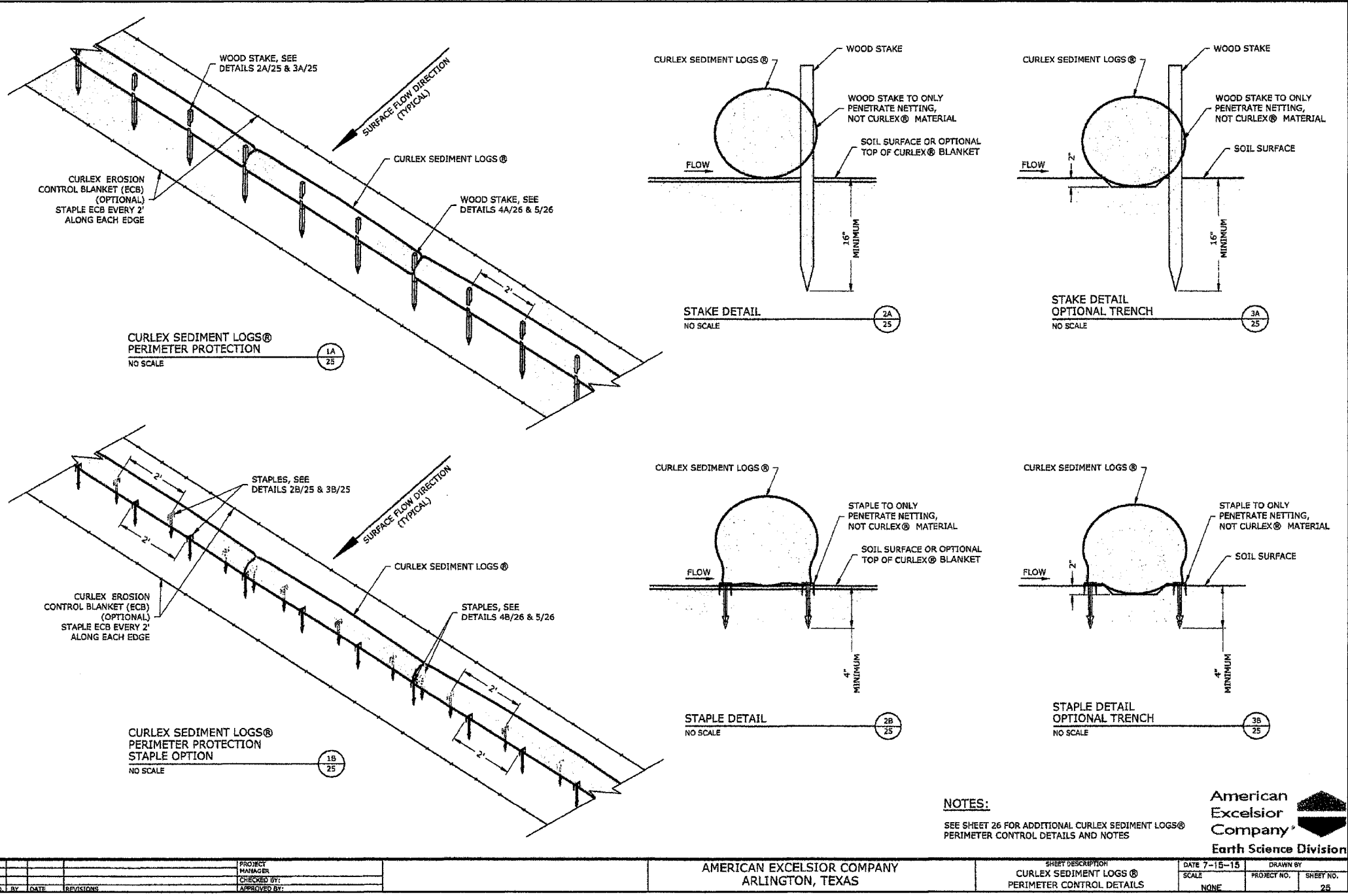
- 4) SET STAKE FOR FILTER FABRIC FENCE.



NOTES:

1. FILTER FABRIC FENCE BACKED WITH A ROW OF HAY BALES IS TO BE INSTALLED AS SHOWN ON EROSION CONTROL PLANS BY SYMBOL F.H.
2. FILTER FABRIC FENCE IS TO BE INSTALLED AS SHOWN ON EROSION CONTROL PLANS BY SYMBOL F.
3. HAY BALES SHALL BE MAINTAINED AND/OR REPLACED AS REQUIRED OR AS DIRECTED BY THE TOWN ENGINEER.
4. PLACE HAY BALES SUCH THAT TWINE OR BINDING WIRE IS PARALLEL TO THE EXISTING GROUND.
5. IN AREAS OF FILTER FABRIC FENCE (F), ELIMINATE STEPS 2 AND 3.

FILTER FABRIC FENCE BACKED WITH A ROW OF HAY BALES (F,H) AND FILTER FABRIC FENCE (F)



SEDIMENT & EROSION CONTROL NARRATIVE TILCON PARCEL

THE SUBJECT PROPERTY CONSISTS OF APPROXIMATELY 228 ACRES ON THE TILCON MINERALS PROPERTY WHICH HAS BEEN MINED FOR SAND AND GRAVEL FOR THE PAST SIXTY+ YEARS. THE MAJORITY OF THE SITE HAS ALREADY BEEN MINED AND IS WOODED AND STABILIZED. SMALL AREAS OF THE SITE ARE USED ON TEMPORARY BASIS FOR VEGETABLE CROPS. ACTIVE AREAS OF EXCAVATION AND STOCKPILING ARE LIMITED TO THE AREAS NEAR THE SCALE HOUSE AND SCREENER, AND TO A PARCEL KNOWN AS "THE SWANSON PARCEL". THE MINERALS ON THE "SWANSON PARCEL" ARE HELD IN RESERVE FOR FUTURE MINING. THERE IS A SEDIMENTATION BASIN LOCATED ON SITE. WHERE FINES FROM THE WASHING OPERATION SETTLE OUT. FINES ARE REMOVED FROM THE SEDIMENTATION BASIN ON AN ANNUAL BASIS OR MORE OFTEN IF NEEDED. THE FINES ARE DEPOSITED ON THE "SWANSON PARCEL", GRADED AND THEN STABILIZED.

BASED ON THE OPERATIONAL ACTIVITIES OCCURRING ON SITE AND THE POROSITY OF THE SAND & GRAVEL, THERE ARE NO OTHER STRUCTURAL EROSION & SEDIMENTATION CONTROLS IN ACTIVE USE ON THE SITE. ACCESS TO THE SITE IS PROVIDED BY MEANS OF A PAVED DRIVEWAY APPROXIMATELY 1,000 FEET LONG. IF REQUIRED, SEDIMENTATION CONTROLS & MEASURES WILL BE INSTALLED AND MAINTAINED IN CONFORMANCE TO THE "GUIDELINES FOR SOIL EROSION & SEDIMENT CONTROL" PUBLISHED BY THE CONNECTICUT COUNCIL OF SOIL & WATER CONSERVATION, MAY 2002, LATEST EDITION AND TO THE REQUIREMENTS OF THE TOWN OF GRANBY.

APPROVED BY THE PLANNING COMMISSION OF THE TOWN OF GRANBY AT ITS MEETING ON

DATE _____ AND SIGNED BY _____

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

AND DELIVERED TO THE APPLICANT ON _____

DATE _____

EROSION AND SEDIMENTATION CONTROL CHECKLIST

PROJECT: _____ GRADING PLAN
LOCATION: _____ NOTCH ROAD & SALMON BROOK STREET
PROJECT DESCRIPTION: _____ MATERIAL REMOVAL - GRAVEL PIT
PARCEL AREA: _____ 242.4± ACRES

RESPONSIBLE PERSONNEL:

HAL PIERCE (860) 653-9254
522 SALMON BROOK STREET
GRANBY, CONNECTICUT 06035

EROSION AND SEDIMENT CONTROL PLAN PREPARER:

DENNO LAND SURVEYING & CONSULTING, LLC (860) 408-9167
2 TUNXIS ROAD SUITE 214
TARIFFVILLE, CONNECTICUT 06081

CHECKLIST:

WORK DESCRIPTION Erosion & Sediment Control Measures	LOCATION	DATE INSTALLED	INITIALS	DATE REMOVED	INITIALS
HAY BALES	CULVERTS ON NOTCH RD.				
SILT FENCE	TOE OF SLOPES & STOCKPILES				
SEDIMENT LOGS	TOE OF SLOPES				
TOPSOIL, MULCH & SEED	ALL DISTURBED AREAS				

MAINTENANCE OF MEASURES:

LOCATION	DESCRIPTION OR NUMBER	DATE	INITIALS
CULVERTS ON NOTCH RD.	HAY BALES		
TOE OF SLOPES & STOCKPILES	SILT FENCE		
TOE OF SLOPES	SEDIMENT LOGS		
ALL DISTURBED AREAS	TOPSOIL, MULCH & SEED		

PROJECT DATES:

DESCRIPTION	DATE	INITIALS
DATE OF GROUNDBREAKING FOR PROJECT		
DATE OF FINAL STABILIZATION		

CONSTRUCTION SCHEDULE

1. DEVELOPER'S SURVEYOR TO STAKE AND CLEARLY MARK THE EDGE OF THE 50' BUFFER,
2. INSTALL ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN.
3. STRIP TOPSOIL IN AREAS TO BE CUT OR FILLED. STOCKPILE TOPSOIL, SEED AND MULCH OR COVER WITH NETTING.
4. EXCAVATE MATERIAL FROM THE EXISTING BANK PER THE FINAL GRADING PLAN.
5. EXCAVATED MATERIAL TO BE BROUGHT ONTO TILCON PROPERTY FOR ALL PROCESSING/SCREENING.
6. GRADE, STABILIZE, SEED AND MULCH ALL DISTURBED AREAS IN EACH PHASE AS IT IS FINISHED.
7. REMOVE ALL EROSION CONTROLS AFTER SITE HAS BEEN STABILIZED AND HAS A GOOD CATCH OF GRASS.

NOTE:

AT LEAST ONCE A WEEK, AND WITHIN 24 HOURS OF THE END OF END OF STORMS HAVING A TOTAL RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCHES, THE APPLICANT SHALL INSPECT AS A MINIMUM THE FOLLOWING:

DISTURBED AREA OF THE CONSTRUCTION ACTIVITY THAT HAVE NOT BEEN FULLY STABILIZED; ALL EROSION AND SEDIMENTATION CONTROLS MEASURES; ALL STRUCTURAL CONTROL MEASURES; SOIL STOCKPILE AREAS; AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. WHERE SITES HAVE BEEN TEMPORARILY OR FINALLY STABILIZED, SUCH INSPECTION SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH FOR THREE MONTHS. A COPY OF THE SEDIMENT AND EROSION CONTROL CHECKLIST ON SHEET 3 OF THE PLANS SHALL BE COMPLETED AFTER EACH INSPECTION AND KEPT AVAILABLE FOR REVIEW BY TOWN STAFF.

SOIL EROSION AND SEDIMENTATION CONTROL NARRATIVE 85-87 NOTCH ROAD

1.1 PURPOSE AND DESCRIPTION OF PROJECT: THE PROPOSED PROJECT IS TO REMOVE APPROXIMATELY 500,000 CUBIC YARDS OF MATERIAL TO REGRADE THE SITE INTO MORE ACRES OF USABLE FARMLAND.

1.2 TOTAL AREA OF THE SITE: THE SITE CONSISTS OF 2 HOUSES AND VARIOUS OUTBUILDINGS AND 3.5± ACRES OF PLANTINGS ON THE LAND KNOWN AS 87 NOTCH ROAD, WHICH HAS A TOTAL OF 16.41 ACRES. TOTAL AREA OF DISTURBANCE DURING PROJECT IS 13± ACRES.

1.3 SITE-SPECIFIC EROSION OR SEDIMENT CONTROL CONCERNS AND ISSUES: THE EXISTING CULVERTS ON NOTCH ROAD TO BE PROTECTED WITH HAY BALES, TOE OF SLOPES AND STOCK PILES TO HAVE SILT FENCE AND/OR SEDIMENT LOGS. THE TOPSOIL WILL BE STRIPPED AND STOCK PILED, THE 3:1 SLOPE WILL NEED TO BE GRADED AND PROTECTED UNTIL GROUND COVER HAS BEEN ESTABLISHED. NORMAL SE&SC MEASURES WILL BE ADEQUATE TO PROTECT THE SITE.

1.4 PHASES OF DEVELOPMENT: ANY CLEARING WILL BE FIRST, THEN EROSION CONTROL MEASURES WILL BE INSTALLED. THE SITE WILL BE STRIPPED AND THE MATERIAL WILL BE STORED AS SHOWN ON THE PLANS. THE MATERIAL WILL BE EXCAVATED AND REMOVED FROM THE SITE. THE SLOPE WILL BE GRADED AS SHOWN ON THE PLANS. TOP SOIL WILL BE SPREAD. AREA WILL BE SEEDED. THE SITE WILL BE STABILIZED, ONCE THE SITE IS STABILIZED THE EROSION CONTROLS WILL BE REMOVED

1.5 PLANNED START DATE: UPON APPROVAL, PROJECT TO BE DONE IN PHASES, EACH PHASE TO BE STABILIZED, TOPSOILED AND SEEDED UPON REACHING FINAL GRADE, ESTIMATED TO TAKE 5 YEARS TO COMPLETE. SITE WILL NEED TO BE PROTECTED FROM EROSION UNTIL PLANTING SEASON. ONCE WEATHER ALLOWS THE SITE IS TO BE SEEDED AND PROTECTED UNTIL GRASS IS WELL ESTABLISHED.

1.6 LOCATION OF E&S INFORMATION: SEE SHEETS 4-6 OF THE SITE PLANS FOR EROSION CONTROL LOCATIONS AND DETAILS.

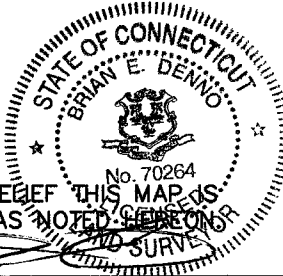
SEDIMENTATION & EROSION CONTROL DETAILS

REVISIONS:

10/6/21	PER TOWN STAFF
11/2/21	CONDITIONS OF APPROVAL
5/26/23	TOPOGRAPHY & PHASING
6/20/23	PER TOWN STAFF
9/18/23	CONDITIONS OF APPROVAL
9/20/23	PROPOSED GRADING
10/25/23	PER TOWN STAFF

TO MY KNOWLEDGE AND BELIEF, THIS PLAN IS SUBSTANTIALLY CORRECT AS NOTED BY ME.

NOT VALID UNLESS LIVE SIGNATURE AND EMBOSSED SEAL IS AFFIXED
DENNO LAND SURVEYING & CONSULTING, LLC
2 TUNXIS RD STE. 214 TARIFFVILLE, CT 06081



SITE PLAN
PREPARED FOR
NOTCH ROAD PROPERTIES, LLC & TILCON, INC
67, 87 & 95B NOTCH ROAD
GRANBY, CONNECTICUT

SCALE

N.T.S.

DATE

8/27/21

SHEET NO.

8 OF 8

TOWN OF GRANBY

MEMORANDUM

TO: Planning and Zoning Commission

CC: Christopher Peregrin, Julien Tessier

FROM: Abby Kenyon, Director of Community Development

DATE: June 30, 2025

RE: Application seeking a Special Permit under Zoning Regulations Sections 8.3 and 8.16 for a restaurant serving alcoholic beverages for property located at 9 Bank Street, Unit H, COCE Zone: File Z-13-25.

The subject property, 9 Bank Street, is 5.96 acres in the COCE (Commercial Center Zone). There are two commercial buildings on the property, totaling just over 55,500 square feet. These commercial buildings are divided into multiple storefronts that are currently occupied by a variety of businesses, including several restaurants, a grocery store, package store, and gym.

The applicant is proposing to occupy one of the vacant storefronts (Unit H) and renovate the space to accommodate a new restaurant. The leasable floor area is just over 4,000 square feet. If approved by the Commission, the space would be renovated to include a dining area and counter service in the front, along with a kitchen and prep kitchen. An office and cooler and freezer would be added to the rear. Please refer to the attached proposed layout plan.

The proposed restaurant, 'Julien's Bakery', would be a full-service bakery. As outlined in the attached narrative, the bakery would offer a variety of freshly baked breads, pastries, cakes, and an expanded selection of savory dishes. There would also be a grab-and-go section, offering ready-made options, such as salads, soups, lasagna, and mac and cheese. The proposed hours of operation would be 7 AM to 7 PM, Tuesday through Sunday. As noted in the applicant's narrative, there are also plans to host a weekly pizza night, during which beer would be served. Therefore, this application includes a request to serve alcoholic beverages. Refer to the attached narrative for a complete overview of the proposed restaurant.

It should be noted there are no site modifications proposed to the property to accommodate the restaurant; all changes outlined in the application materials are interior. No outdoor dining is proposed with this application. There is also ample parking on property.

In evaluating this application, the following is offered for consideration and for further clarification:

1. If the Commission is inclined to approve the application and include hours of operation, it should be noted that the proposed hours are until 7 PM. If a pizza night will be offered, the applicant should consider if the proposed hours are adequate.
2. Will the existing dumpster on the property be used by the proposed restaurant or is a new dumpster needed? If the existing will be used, please look to see that its size and the frequency of trash pick-up are adequate.

When reviewing this application, Commission is to consider the Special Permit criteria in Section 8.2 including suitable location for use, suitable structure, neighborhood compatibility, and adequate parking and access.

The applicant will be at the public hearing to explain the application and answer any questions the Commission may have.

Property Location



Unit for restaurant

JULIEN'S

GRANBY, CONNECTICUT

NARRATIVE FOR SPECIAL PERMIT APPLICATION

JULIEN TESSIER & CHRISTOPHER PEREGRIN

**JULIEN'S BAKERY
7 Bank St. Granby, CT 06035**

Purpose

*To secure a special permit for the launch and operation of **Julien's Bakery** at 7 Bank Street in Granby Center, a farm-to-table bakery designed to elevate the existing success of **Julien's Farm Store** and expand its culinary footprint in the Granby community.*

Narrative

Julien's Bakery will be a full-service farm-to-table bakery set to open in Granby, CT, designed to complement the success of **Julien's Farm Store** by delivering an expanded, elevated, artisanal bakery experience to the community. This new venture, led by Julien Tessier, will bring a refined focus on traditional French baking techniques paired with locally sourced, farm-fresh ingredients.

Julien's Bakery will expand on the bakery concept that has proved successful at the Farm Store and made the store a local favorite as well as a regional destination. The Bakery will focus on handcrafted baked goods, offering an array of freshly baked breads, pastries, cakes, and an expanded selection of savory dishes that reflect Julien's dedication to quality and his commitment to fostering meaningful connections through food.

Julien's Bakery will serve as a community gathering place where customers can meet with friends in a warm and inviting environment, savor a fresh croissant or breakfast sandwich, linger over coffee, and bring home seasonal pastries for the rest of the family. The new venture expands the Julien's brand in Granby, bringing an elevated culinary experience that embraces both heritage and innovation, and honors and enriches our community.

We also plan to have a weekly "pizza night" for which we would like to serve beer.

Services

Julien's Bakery will present a carefully curated menu that brings together breakfast, lunch, and bakery items, all prepared with the finest local ingredients and a touch of French culinary expertise. For breakfast, guests can enjoy options such as wraps and burritos, avocado toast, vegan granola bowls, and classics like croque madame, croque monsieur, and quiche with a side of greens.

The lunch menu offers mini quiches, open-face focaccia sandwiches, fresh salads like Greek with chicken, tuna Nicoise, and a signature "Julien's" Salad, as well as grilled cheese and a rotation of seasonal soups including tomato and French onion.

The bakery's bread selection will feature baguettes, focaccia, and sourdough, baked fresh daily to ensure quality and flavor. The pastry selection highlights a range of donuts in flavors like Nutella, Boston cream, and jelly, along with laminated doughs including croissants, pain au chocolat, almond croissants, and bear claws. Seasonal tarts and delicate macarons round out the pastry offerings, providing something for every palate and occasion.

Julien's Bakery also includes a grab-and-go section designed for convenience, offering ready-made options like salads, lasagna, mac and cheese, chili, whole quiches, brisket, and soups, including hearty choices like clam chowder. The menu is completed by a full espresso bar, inviting customers to enjoy a

freshly brewed coffee or espresso alongside their meal. This range of sweet and savory items, coupled with the bakery's warm ambiance, makes Julien's Bakery a community hub for both high-quality baked goods and everyday comfort food.

Hours of Operation 7a-7p, Tuesday through Sunday

Staffing Projections

The staffing plan for the proposed bakery includes a combination of full-time and part-time employees, ensuring that the bakery is adequately staffed to provide exceptional service and manage peak business periods.

- **Kitchen Staff:**

- Bakery Production: 2
- Bakery Assistant: 1
- Pastry Chef: 1
- Porter/Dishwasher: 2

- **Front of House Staff:**

- Assistant FOH Manager: 1
- Cashier: 1
- Counter: 1
- Barista: 1

- **Management and Administrative Staff:**

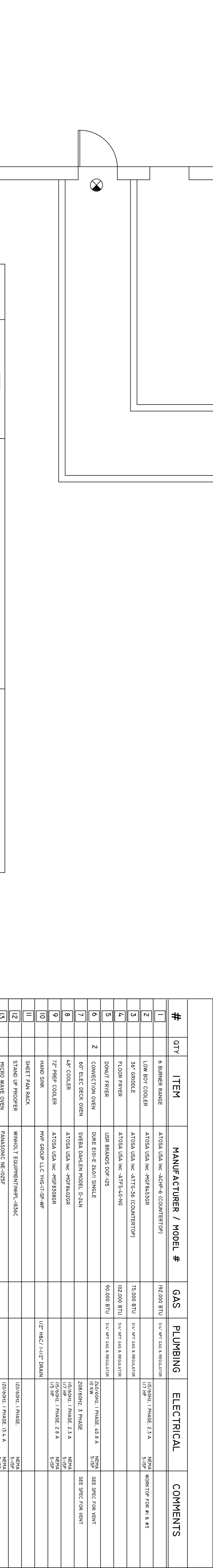
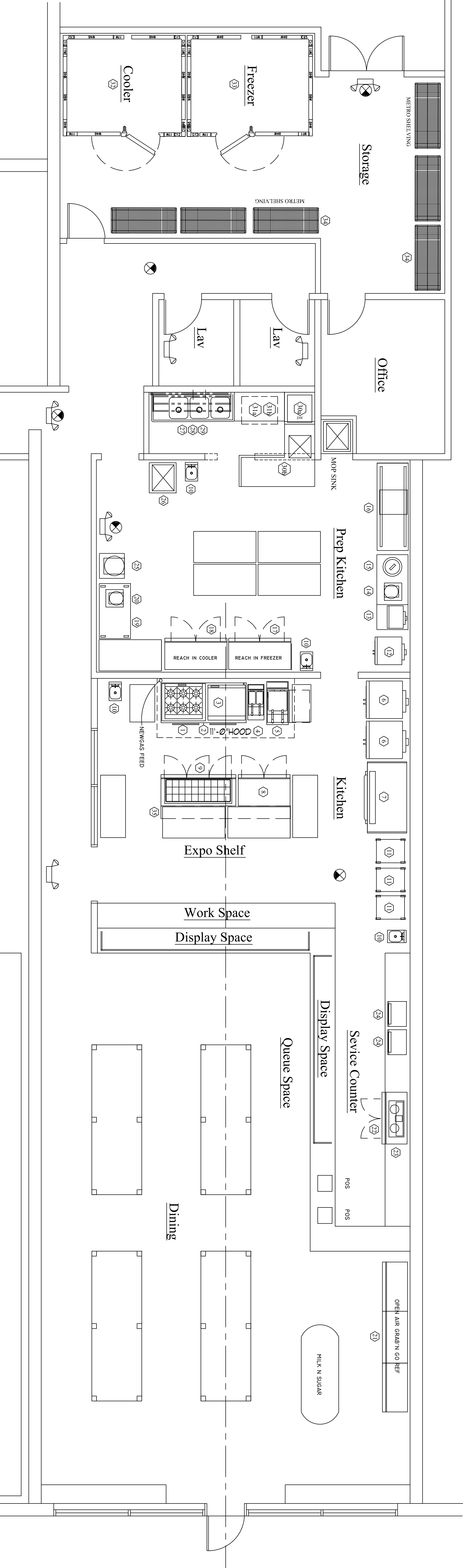
- Head Chef: 1
- Head Baker: 1
- Sous Baker: 1

Total Projected Staff: 13

Principals

Julien Tessier was born and raised in the picturesque province of Poitou in southwestern France. His journey into the culinary world was deeply influenced by his family's rich cooking legacy. After studying French and Spanish literature, his passion for food drove him to pursue a professional cooking career, enrolling at the prestigious Lycée Hôtelier in La Rochelle, where he honed his skills in fresh, simple cooking, while developing a special love for patisserie. He began his career as a chef de partie alongside a traditional French pastry chef in Hythe, England, before working for six years as a senior chef de partie at Nahm in London, the first Thai restaurant outside of Thailand to receive a Michelin star. After a long career as a private chef, Julien moved to Granby, CT in 2020 with his husband, Christopher, and their dog, Winston.

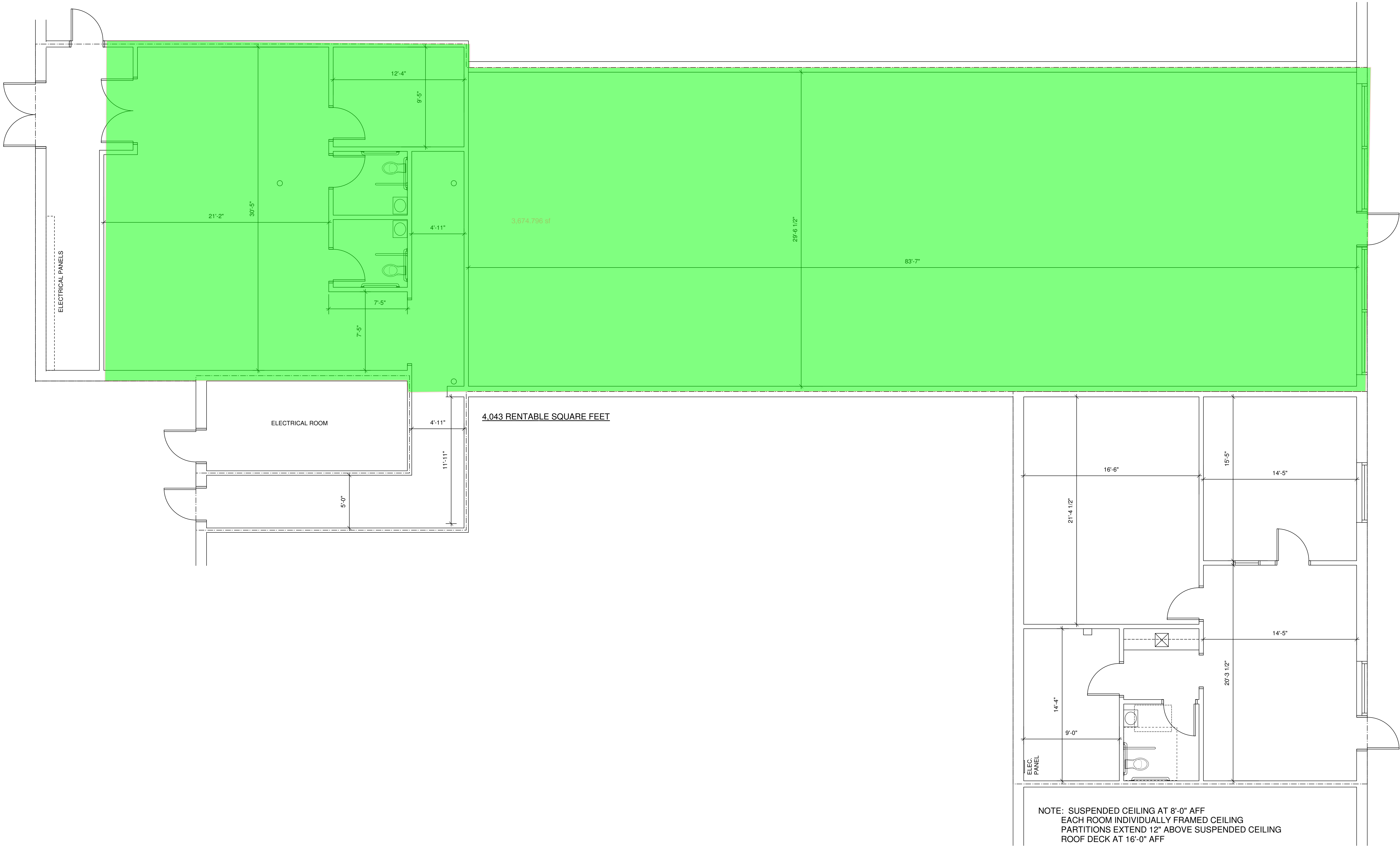
Christopher Peregrin was a founder of Valkyrie Equestrian Center, the farm that is now shared with Julien's Farm Store, where he lived from 1999 - 2003, before returning to his native New York City to pursue other professional opportunities. After a career in photography production and advertising, Christopher returned to Valkyrie as a professional rider and trainer in 2020. Christopher holds a BA in American history from Columbia University.



18 Hartford Ave--Granby CT 06033
860-795-0101 ---daneburich@aol.com

Julien's Farm Store

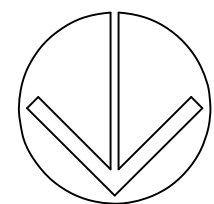
Granby CT



GEISSLER'S PLAZA

TENANT SPACES

1/4' = 1'-0"



NORTH

TOWN OF GRANBY

MEMORANDUM

TO: Planning and Zoning Commission

CC: Chris Costello, Lawrence Geissler

FROM: Abby Kenyon, Director of Community Development

DATE: July 1, 2025

RE: Application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation, for property located at 536 Salmon Brook Street, Tilcon, I/R30/R50 Zones: File Z-14-25.

The applicant or the previous owners have been removing earth material from this area since 1955. The applicant comes before the Commission every two years for renewal of the Special Permit as required by the regulations. The Commission last renewed the permit in July of 2023.

A site meeting was held in May 2025 to review the application and site work. It appears that the site continues to operate in accordance with the approved plans.

Previous applications seeking a two-year renewal have been subject to the following:

1. The bond and maps must be updated and renewed for the period of the permit.
2. All other conditions previously attached to the permit as applicable.

The applicant will be attending the public hearing to explain the application in more detail and answer questions.

Narrative

Attachment

Item #2

Narrative:

Tilcon Connecticut, Inc. has been removing the hills of this property since 1955 to develop suitable land for future use. Final use of the land has yet to be decided.

They screen and wash the sand they remove for aggregate to produce Portland Cement Concrete and Bituminous Concrete. They also mix the stone and sand together to produce a processing stone material for road and parking lot base.

When they finish an area, they replace the topsoil and plant seedlings to restore the trees on the lower elevation.

Kevin Clark, PEL
Town Engineer
Town of Granby
15 North Granby Road
Granby, CT 06035

(860) 844-5318
Cell: (860) 559-1902
townengineer@granby-ct.gov

Special Permit Renewal Plan Review

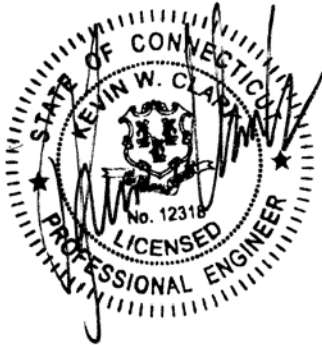
Date: June 30, 2025

Plans: Tilcon Minerals, Notch Road & Salmon Brook Street North, Granby Connecticut, Date: 6/12/25, Scale: Varies, Sheets: Layout Plan, Property Survey, Proposed Grading Plan, Operation Plan and Proposed Soil Removal, Design Professionals, South Windsor, CT. Note that all sheets are marked V-1

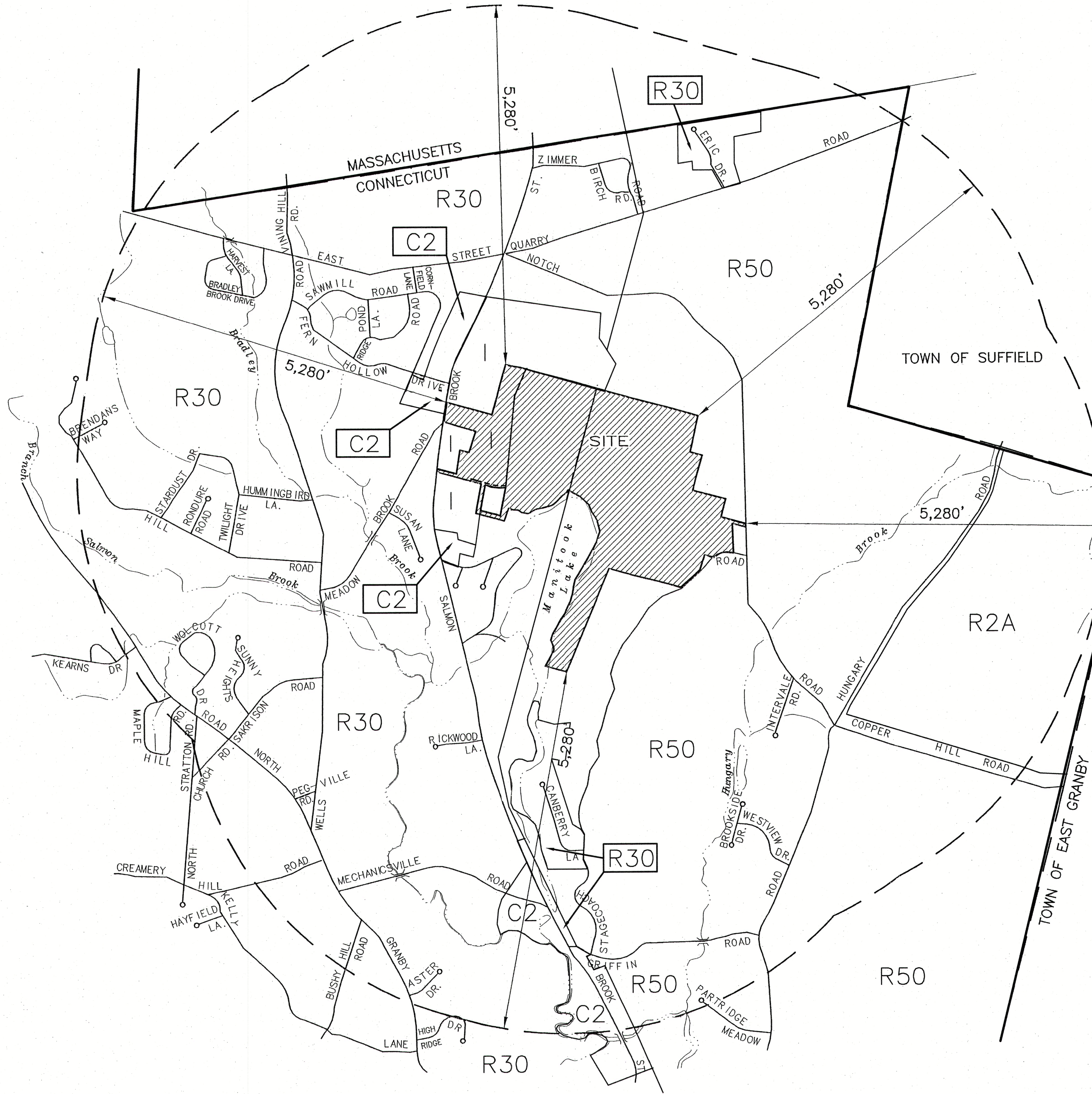
General:

1. The information submitted is generally the same that was submitted for the last permit removal.
2. The sheet numbers should be corrected.
3. The applicant should attest that they are in compliance with all other State and Federal Permits pertaining to this activity.

I have no objections to renewing the permit with the material submitted.



By: Kevin Clark, PEL, Town Engineer



- LEGEND:
- ZONE LINE: _____
- RESIDENCE ZONE 2A: R2A
RESIDENCE ZONE 30: R30
RESIDENCE ZONE 50: R50
BUSINESS ZONE: C2
INDUSTRIAL ZONE: I

MAP REFERENCE:

1. LOCATION PLAN PROPERTY OF TILCON MINERALS
NOTCH ROAD & SALMON BROOK STREET NORTH,
GRANBY CONNECTICUT SCALE: 1"=1,000'
DATE: 4/17/03 REV. 5/22/23

LOCATION
PLAN

SCALE 0 500' 1000' 2000'
1" = 1000'

SHEET
V-1
SHEET 1 OF 5

NO.	DATE	REVISIONS	BY

PROJECT NO.
5570

DATE
6/12/25

SCALE IN
1" = 1000'

DATE
6/12/25

SCALE IN
1" = 1000'

DATE
6/12/25

SCALE IN
1" = 1000'

TILCON MINERALS

NOTCH ROAD & SALMON BROOK STREET NORTH
GRANBY, CONNECTICUT

PREPARED FOR:

Tilcon Connecticut, Inc.
642 Black Rock Ave, P.O.
Box 1357
New Britain, CT 06050

DESIGN PROFESSIONALS

98 CONNECTICUT AVE
SUITE 100
SOUTH BRITAIN, CT 06074
860-391-6785 - F
860-391-6787 - T
www.designprofessionals.com

Copyright © 2016 Design Professionals, Inc. - All Rights Reserved

98 CONNECTICUT AVE
SUITE 100
SOUTH BRITAIN, CT 06074
860-391-6785 - F
860-391-6787 - T
www.designprofessionals.com



Copyright © 2025 Design Professionals, Inc. - All Rights Reserved.

58 CONNECTICUT AVE
SUITE H
P.O. BOX 167
SOUTH WINDSOR, CT 06074
860-291-8757 - F
www.designprofessionalsinc.com

Design Professionals
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

PREPARED FOR:
Tilcon Connecticut, Inc.
642 Black Rock Ave. P.O.
Box 1357
New Britain, CT 06050

PROJECT NO:
5611
DATE:
6/12/25
DESIGN BY:
JMA
DRAWN BY:
JMA
SCALE:
1" = 200'

TILCON MINERALS

NOTCH ROAD & SALMON BROOK STREET NORTH
GRANBY, CONNECTICUT

NO.	DATE	REVISIONS

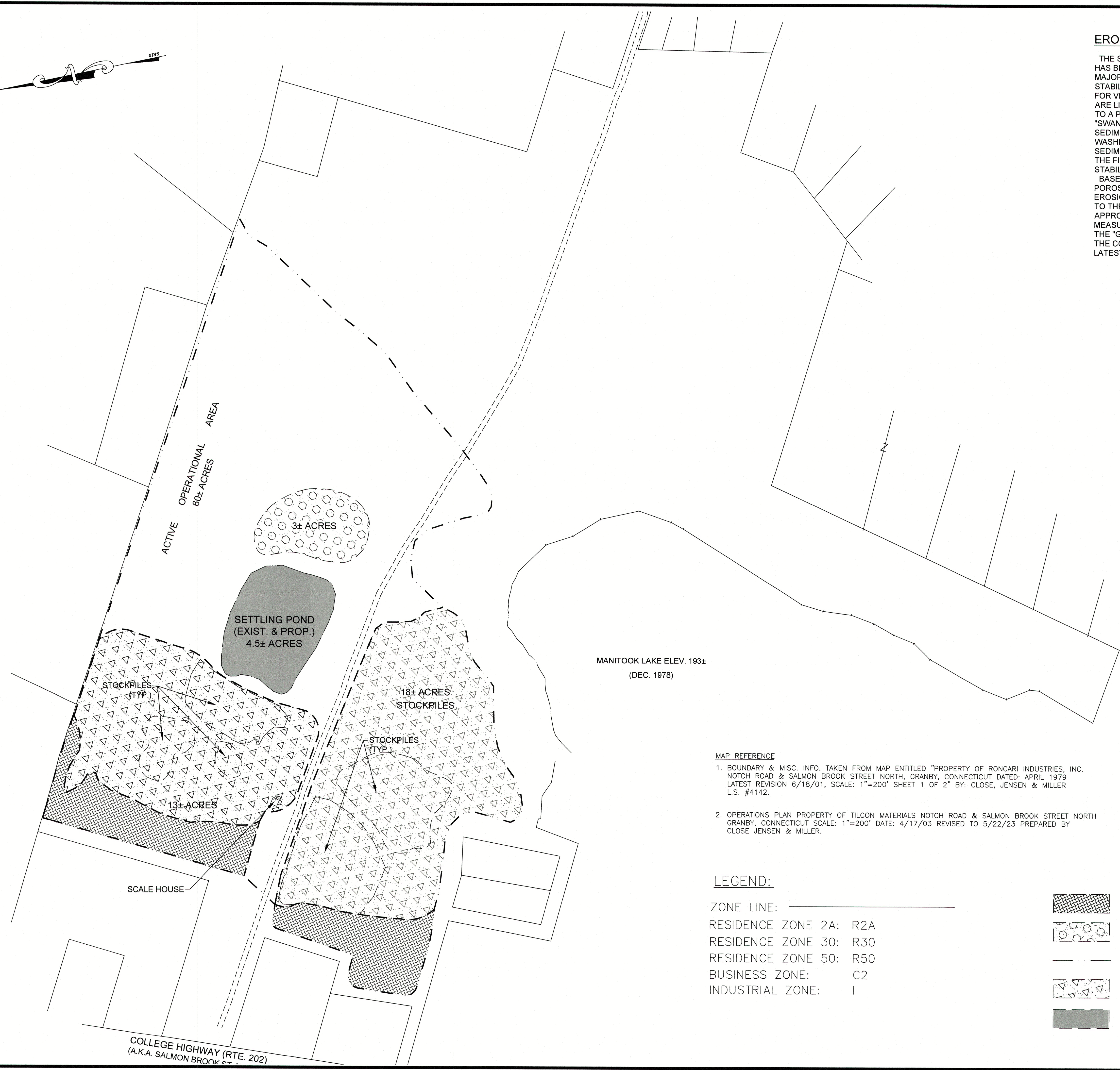
PROPERTY SURVEY

SCALE: 0 100' 200' 400'
1" = 200'

SHEET
V-2
SHEET 2 OF 5

STATE OF CONNECTICUT
LAND SURVEYING
No. 12327
LICENSED
REGISTERED TO SURVEY

12327
LIC. NO.



EROSION & SEDIMENTATION CONTROL NARRATIVE

THE SUBJECT PROPERTY CONSISTS OF APPROXIMATELY 226 ACRES AND HAS BEEN MINED FOR SAND AND GRAVEL FOR THE PAST SIXTY ± YEARS. THE MAJORITY OF THE SITE HAS ALREADY BEEN MINED AND IS WOODED AND STABILIZED. SMALL AREAS OF THE SITE ARE USED ON TEMPORARY BASIS FOR VEGETABLE CROPS. ACTIVE AREAS OF EXCAVATION AND STOCKPILING ARE LIMITED TO THE AREAS NEAR THE SCALE HOUSE AND SCREENER, AND TO A PARCEL KNOWN AS "THE SWANSON PARCEL". THE MINERALS ON THE "SWANSON PARCEL" ARE HELD IN RESERVE FOR FUTURE MINING. THERE IS A SEDIMENTATION BASIN LOCATED ON SITE, WHERE FINES FROM THE WASHING OPERATION SETTLE OUT. FINES ARE REMOVED FROM THE SEDIMENTATION BASIN ON AN ANNUAL BASIS OR MORE OFTEN IF NEEDED. THE FINES ARE DEPOSITED ON THE "SWANSON PARCEL", GRADED AND THEN STABILIZED.

BASED ON THE OPERATIONAL ACTIVITIES OCCURRING ON SITE AND THE POROSITY OF THE SAND & GRAVEL, THERE ARE NO OTHER STRUCTURAL EROSION & SEDIMENTATION CONTROLS IN ACTIVE USE ON THE SITE. ACCESS TO THE SITE IS PROVIDED BY MEANS OF A PAVED DRIVEWAY APPROXIMATELY 1,000 FEET LONG. IF NEEDED, SEDIMENTATION CONTROLS & MEASURES WOULD BE INSTALLED AND MAINTAINED IN CONFORMANCE TO THE "GUIDELINES FOR SOIL EROSION & SEDIMENT CONTROL" PUBLISHED BY THE CONNECTICUT COUNCIL OF SOIL & WATER CONSERVATION, MARCH 2024, LATEST EDITION AND TO THE REQUIREMENTS OF THE TOWN OF GRANBY.

MAP REFERENCE

- BOUNDARY & MISC. INFO. TAKEN FROM MAP ENTITLED "PROPERTY OF RONCARI INDUSTRIES, INC. NOTCH ROAD & SALMON BROOK STREET NORTH, GRANBY, CONNECTICUT DATED: APRIL 1979 LATEST REVISION 6/18/01, SCALE: 1"=200' SHEET 1 OF 2" BY: CLOSE, JENSEN & MILLER L.S. #4142.
- OPERATIONS PLAN PROPERTY OF TILCON MATERIALS NOTCH ROAD & SALMON BROOK STREET NORTH GRANBY, CONNECTICUT SCALE: 1"=200' DATE: 4/17/03 REVISED TO 5/22/23 PREPARED BY CLOSE JENSEN & MILLER.

LEGEND:

- ZONE LINE: _____
- RESIDENCE ZONE 2A: R2A
RESIDENCE ZONE 30: R30
RESIDENCE ZONE 50: R50
BUSINESS ZONE: C2
INDUSTRIAL ZONE: I

LEGEND

- AREA OF PROPOSED EXCAVATION
- AREA OF STOCKPILING OF OVER BURDEN & TOPSOIL (EXISTING & PROPOSED)
- ACTIVE OPERATIONAL AREA
- SAND & GRAVEL STORAGE (EXISTING & PROPOSED)
- AREA OF EXISTING & PROPOSED TREATMENT FACILITY



PROJECT NO:
5611
DATE:
6/12/25
DESIGN BY:
JCM
CHECKED BY:
JCM
DATE:
6/12/25
SCALE:
1"=200'

PREPARED FOR:
Tilcon Connecticut, Inc.
642 Black Rock Ave. P.O.
Box 1337
New Britain, CT 06050

PROJECT NO:
5611
DATE:
6/12/25
DESIGN BY:
JCM
CHECKED BY:
JCM
DATE:
6/12/25
SCALE:
1"=200'

OPERATION
PLAN
SHEET
V-3
SHEET 3 OF 5

Copyright © 2018 Design Professionals, Inc. - All Rights Reserved

design
professionals
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

58 CONNECTICUT AVE
SUITE H
P.O. BOX 167
SOUTH WINDSOR, CT 06094
860-291-8757
www.designprofessionalsinc.com

EROSION & SEDIMENTATION CONTROL NARRATIVE

THE SUBJECT PROPERTY CONSISTS OF APPROXIMATELY 226 ACRES AND HAS BEEN MINED FOR SAND AND GRAVEL FOR THE PAST SIXTY ± YEARS. THE MAJORITY OF THE SITE HAS ALREADY BEEN MINED AND IS WOODED AND STABILIZED. SMALL AREAS OF THE SITE ARE USED ON TEMPORARY BASIS FOR VEGETABLE CROPS. ACTIVE AREAS OF EXCAVATION AND STOCKPIILING ARE LIMITED TO THE AREAS NEAR THE SCALE HOUSE AND SCREENER, AND TO A PARCEL KNOWN AS "THE SWANSON PARCEL". THE MINERALS ON THE "SWANSON PARCEL" ARE HELD IN RESERVE FOR FUTURE MINING. THERE IS A SEDIMENTATION BASIN LOCATED ON SITE, WHERE FINES FROM THE WASHING OPERATION SETTLE OUT. FINES ARE REMOVED FROM THE SEDIMENTATION BASIN ON AN ANNUAL BASIS OR MORE OFTEN IF NEEDED. THE FINES ARE DEPOSITED ON THE "SWANSON PARCEL", GRADED AND THEN STABILIZED.

BASED ON THE OPERATIONAL ACTIVITIES OCCURRING ON SITE AND THE POROSITY OF THE SAND & GRAVEL, THERE ARE NO OTHER STRUCTURAL EROSION & SEDIMENTATION CONTROLS IN ACTIVE USE ON THE SITE. ACCESS TO THE SITE IS PROVIDED BY MEANS OF A PAVED DRIVEWAY APPROXIMATELY 1,000 FEET LONG. IF NEEDED, SEDIMENTATION CONTROLS & MEASURES WOULD BE INSTALLED AND MAINTAINED IN CONFORMANCE TO THE "GUIDELINES FOR SOIL EROSION & SEDIMENT CONTROL" PUBLISHED BY THE CONNECTICUT COUNCIL OF SOIL & WATER CONSERVATION, MARCH 2024, LATEST EDITION AND TO THE REQUIREMENTS OF THE TOWN OF GRANBY.

LEGEND:

ZONE LINE: _____

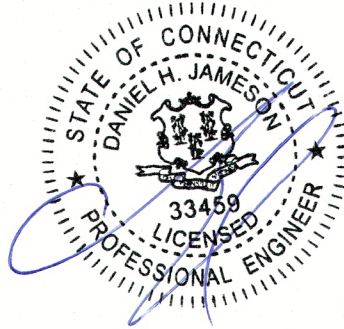
RESIDENCE ZONE 2A: R2A

RESIDENCE ZONE 30: R30

RESIDENCE ZONE 50: R50

BUSINESS ZONE: C2

INDUSTRIAL ZONE: I



MAP REFERENCE:

1. PROPOSED SOIL REMOVAL PROPERTY OF TILCON MINERALS, INC. SALMON BROOK ROAD(REAR) GRANBY, CONNECTICUT SCALE: 1"=80' DATE: 4/17/03 REVISED TO 5/22/23

LAND NOW OR FORMERLY KNOWN AS THE "SWANSON PARCEL" SUBJECT TO PROVISIONS OF A COURT OF COMMON PLEAS DECISION OF JOHN A. SWANSON VS. ZONING COMMISSION OF THE TOWN OF GRANBY, HARTFORD COUNTY, MAY 28, 1958.

58 CONNECTICUT AVE
SOUTH WINDSOR, CT 06074
P.O. BOX 1167
TEL: 860-291-8757
FAX: 860-291-8757
WWW.DESIGNPROFESSIONALS.COM
Design Professionals
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

PREPARED FOR:
Tilcon Connecticut, Inc.
642 Black Rock Ave, P.O.
Box 1357
New Britain, CT 06050

PROJECT NO: 55611
DATE: 6/12/25
DRAWN BY: MHA
CHECKED BY: JSG

TILCON MINERALS
NOTCH ROAD & SALMON BROOK STREET NORTH
GRANBY, CONNECTICUT

BY: _____
NO: _____
DATE: _____
REVISIONS: _____

**PROPOSED
SOIL REMOVAL**
SCALE: 0' 20' 40' 80'
1" = 40'

SHEET
V-5
SHEET 5 OF 5

TOWN OF GRANBY

MEMORANDUM

TO: Planning and Zoning Commission

CC: Polly Johnson

FROM: Abby Kenyon, Director of Community Development

DATE: July 1, 2025

RE: Application seeking a Site Plan Modification to install a 160 square foot recycling station for property located at 124 Salmon Brook Stret, Stop and Shop, C2 Zone: File Z-12-25

The property, 124 Salmon Brook Street, is just over 13 acres and is in the C2 Zone. There is a shopping plaza on the property, with Stop & Shop and TJ Maxx. The applicant is seeking approval to install a recycling station on the north side of the property, close to Stop & Shop.

The recycling station, known as CLYNK, would measure 8 feet by 20 feet. As outlined in the application materials, it is pre-fabricated unit that operates on solar and wind power; there would be no permanent utility connections required. The unit would be placed in the existing parking lot and would occupy four parking spaces. No other site modifications would be needed to accommodate the unit. This recycling station is intended to replace the existing bottle/can redemption area within Stop & Shop.

At the Commission's June meeting, it was decided to treat this application as a site plan modification and therefore a public hearing was not scheduled.

The applicant will be available at the meeting to explain the application and answer any questions the Commission may have.

Property Aerial





Dear [Building Dept-Town of Granbury, CT.],

We are pleased to introduce you to **CLYNK**, a new and innovative way to redeem bottles and cans in the State of Connecticut. As proud stewards of both the environment and the communities we serve, CLYNK offers a convenient, clean, and efficient system that allows consumers to claim the \$0.10 deposit paid on eligible containers—right at their local Stop & Shop supermarket.

Following a successful pilot program launched in January 2025, we are now expanding our operations to additional Stop & Shop locations across the state. Currently, we are active in Bristol (with two locations), Simsbury, and Southington, and we are excited to announce our newest site opening on **June 19th in Windsor, CT.**

Enclosed with this letter is our application package, which includes renderings, building plans, and specifications for our **Sustainability Station**. This station is a state-of-the-art, technology-enabled recycling unit, typically classified as a storage/utility or shed permit, that functions as an unmanned drop-off point for redeemable containers. The collected bags are retrieved by our Bristol-based processing partner and returned to a cutting-edge facility for sorting and redemption.

Key features of the unit include:

- **Sustainable Design:** Manufactured in Maine and shipped on a flatbed trailer, the station is constructed using recycled PET and aluminum, which operates entirely off-grid using solar and wind power. It is built as a portable unit with plug-and-play components and requires no shore power connection.
- **Efficient Footprint:** The station occupies 4 to 5 standard parking stalls, offering safe access for both customers and collectors, with portable bollards placed to denote the station's location from other vehicles. Product is accessed through a side door, while customers deposit bags via an exterior drop door in front of the unit. No excavation or site/utility work is required.
- **User-Friendly Experience:** To help consumers transition to this new redemption method, the front of the unit features clear, illustrated instructions as well as engaging visual design to reinforce its environmental purpose.
- **Optimal Placement:** We recommend situating the unit near the existing in-store bottle return area, as shown in the attached site plan. This helps familiarize consumers with the new system and ensures a seamless experience.

Due to its solar-powered operation, we kindly request placement in a location with a relatively unobstructed southern exposure to ensure optimal performance.

We appreciate your time in reviewing our application and are happy to address any questions or concerns you may have. Thank you again for considering this opportunity to bring a cleaner, smarter, and more accessible recycling solution to your community

Sincerely,

Dan Kiley
Chief of Staff, CLYNK
dkiley@clynk.com
(207) 553-2025 x 147

**100 Waterman Drive, Suite 301
South Portland, ME 04106
www.clynk.com**

Bringing Bag Drop to Granby, CT

Stop & Shop
124 Salmon Brook St.

CLYNK





Overview

- Stop & Shop is working on a statewide roll out in Connecticut to install “Bag Drop” redemption stations with CLYNK to increase recycling of redeemable bottles and cans in the state, as a fourth modality to Curb Side Recycling, Redemption Centers and Reverse Vending Machines.
- This will replace in-store redemption through reverse vending machines at Stop & Shop locations in the future, making it faster and easier for consumers to redeem containers and get their deposit funds returned to them.
- The program includes the placement of a free-standing Sustainability Station on the parking lot in a designated area, details in subsequent slides.
- This placement will require Landlord and Town Approvals, which CLYNK will work to secure.
- Additionally, CLYNK has met with City officials in various communities in Connecticut and has received overwhelming support for this mode of redemption as it provides residents the opportunity to redeem their containers in a quick, easy and clean manner.





Who We are

- **18** years in business as the pioneer of Bag-Drop Recycling/Redemption
- **5** states - (ME, NY, OR, IA, CT)
- **25%** of volume in ME goes through Clynk
- **212** locations in the field
- **2.5B** containers processed
- **8** patents
- **2.86M** store visits annually
- **3,500+** Clynk-To-Give Accounts & **\$3.5M** donated to charity
- **75** Net Promoter Score
- **200+** Employees





How this Works



Customers register via mobile app or online / Bags purchased in store



Full bags are dropped off in on-site Sustainability Station



CLYNK collects and loads onto truck



Bags are taken to processing facility & containers are redeemed & sorted



Redemption credited to customer account

CLYNK

Bag Drop System



100% Recycled or Recyclable Building Solution

- Made from recycled PET sourced from non-food grade plastics processed into structural foam core
- Transported with a mobile lift and can be positioned on any flat surface in minutes
- Gross Weight ~2,800 lbs.
- Building Size 8'w X 8'h X 20'l
- CCTV views inside and outside the station

CLYNK



- No need for parking lot trenching or power connections
- Powered by two solar panels with 360-degree alignment and a wind turbine
- Can operate for about 10 days without sun on battery back-up
- Cellular enabled

Sustainability Station



Inset A

Granby, CT

Project:

CLYNK Sustainability Station at Stop & Shop
 124 Salmon Brook Street
 Granby, CT 06035

Scope:

Placement of an 8' x 20' CLYNK Sustainability Station in the northern section of the parking lot, requiring the use of 4 parking stalls.

This is a pre-fabricated recycling station used for the collection of redeemable bottles and cans in an unmanned unit.

Station operates on solar and wind power generation, and is mobile, with a gross weight of ~2,800 pounds.

Station is placed and shimmed on existing parking surface.



Project Scope:

- Decommission current Bottle Redemption location for an exterior CLYNK Sustainability Station
- Requires four parking spaces to be repurposed for a station placement of ~160 sqft to the right of Stop & Shops current Pick-up Parking Stalls



Granby, CT

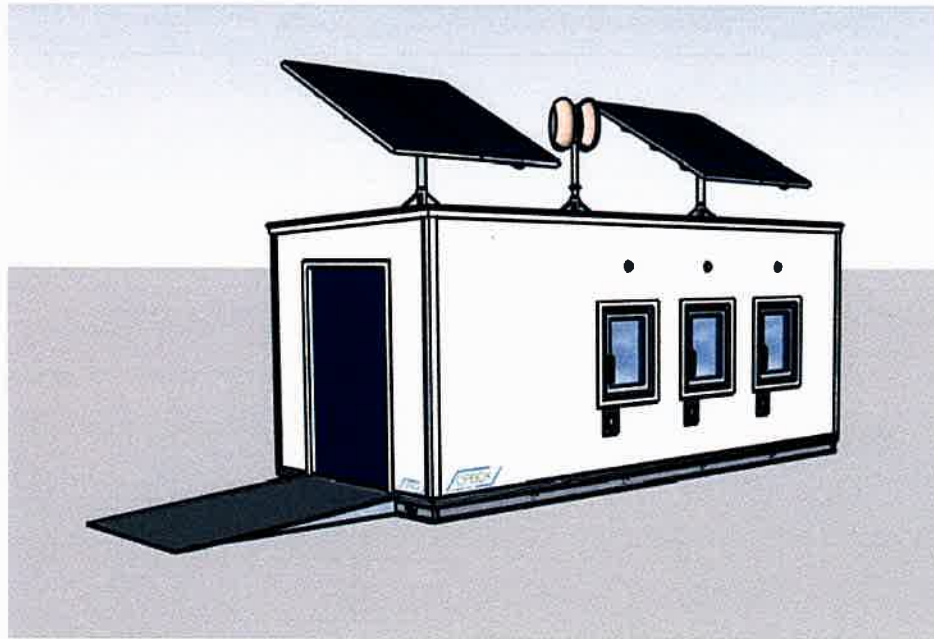


CLYNK

8' x 20' RECYCLING STATION

CONSTRUCTION SET

30 DECEMBER, 2024



FRONT/SERVICE SIDE VIEW

PLEASE NOTE - SOME DETAILS MAY DIFFER

PREPARED FOR:
CLYNK
100 WATERMAN DRIVE
SOUTH PORTLAND, MAINE

CLIENT APPROVAL:

Dan Kiley
DIGITALLY VIA EMAIL
CLIENT SIGNATURE

12-1-23
DATE

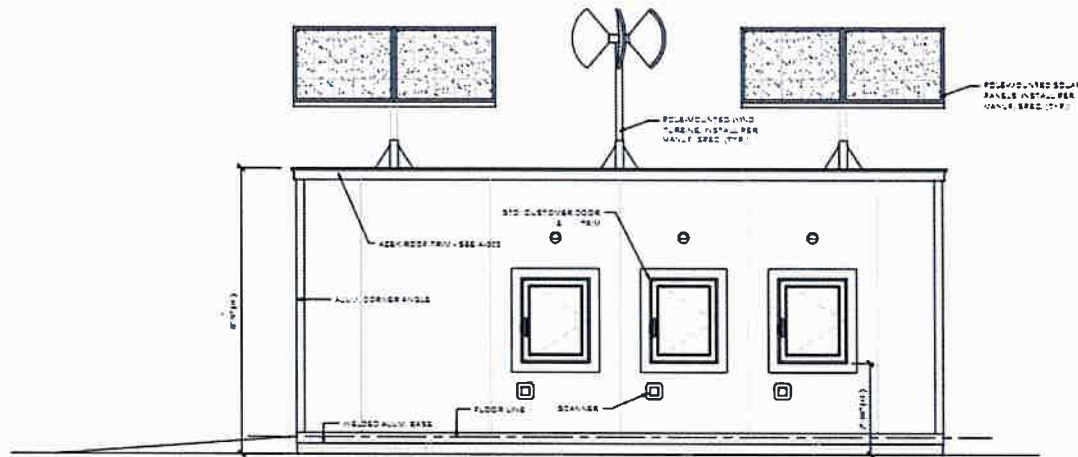
DESIGNED BY:
OPBOX
OPERATIONAL BOX
120 S. 1ST ST. PORTLAND, ME 04101

REV 4 DRAWING LIST

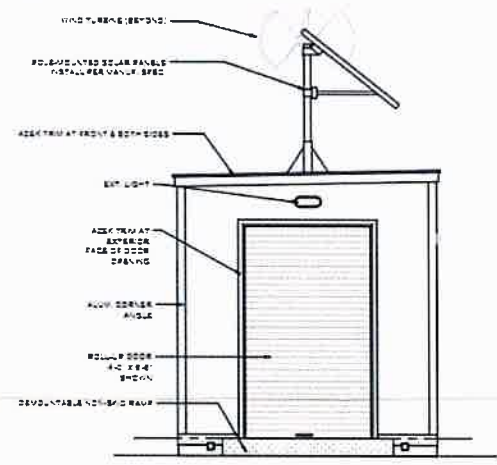
COVER	DRAWING LIST & ILLUSTRATION
CS-1	PANEL CUT SHEET
B-1	ALUMINUM BASE CONSTRUCTION
A-101	FLOOR PLAN
A-201	EXTERIOR ELEVATIONS
A-301	EXTERIOR ELEVATIONS
A-301	STATION SECTION & DETAILS
A-302	STATION CROSS SECTION & DETAILS
A-401	INTERIOR ELEVATIONS
FAB-1	MISC. ALUMINUM FABRICATION
FAB-2	ALUMINUM DOOR FRAME FABRICATION

CLYNK





① EXTERIOR ELEVATION AT FRONT (CUSTOMER SERVICE SIDE)
SCALE: 1/2" = 1'-0"



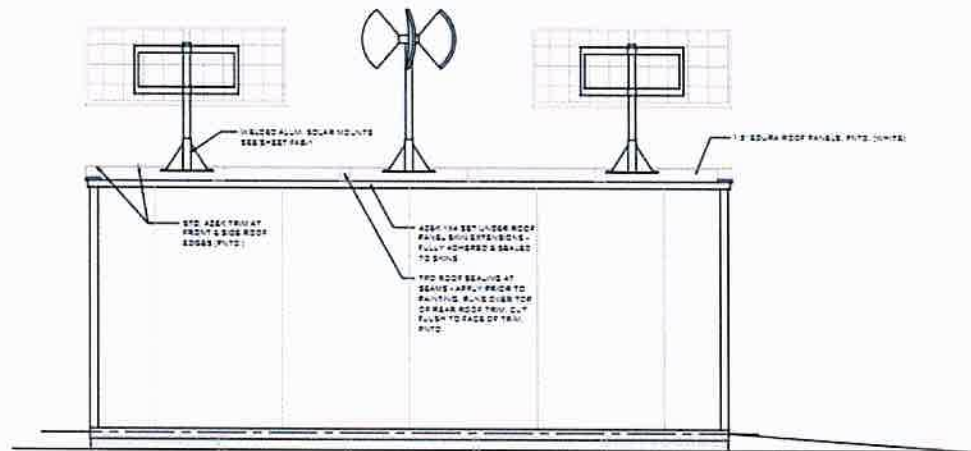
② EXTERIOR ELEVATION AT SERVICE SIDE
SCALE: 1/2" = 1'-0"



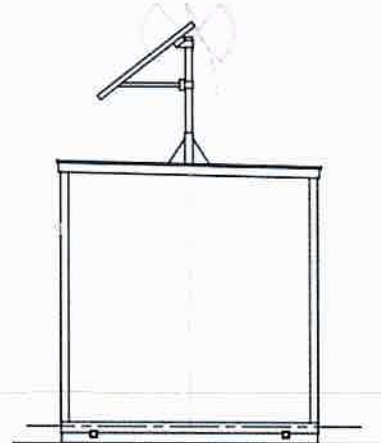
REVISIONS:	
#	DATE/SUBJECT
DRAWINGS FOR:	
8' x 20'	
CLYNK STATION	
PREPARED FOR:	
OPBOX	
126 US RT 1	
WOOLWICH ME	
APPROVED BY:	
D.K. DIGITAL VIA EMAIL	
CLIENT INITIALS FOR APPROVAL	
DRAWN BY: JR	
EXTERIOR	
ELEVATIONS	
SCALE: 1/2" = 1'-0"	
A-201	
DATE: 12-30-24 Rev 4	

All drawings and images © Opbox, 2024





① EXTERIOR ELEVATION AT REAR
SCALE: 1/2" = 1'-0"



② EXTERIOR ELEVATION AT RIGHT SIDE
SCALE: 1/2" = 1'-0"



REVISIONS:

DATE/SUBJECT

DRAWINGS FOR:

8' x 20'
CLYNK STATION

PREPARED FOR:

OPBOX
126 US RT 1
WOOLWICH ME

APPROVED BY:

D.K.

CLIENT INITIALS FOR APPROVAL

DATE

DRAWN BY: JR

EXTERIOR
ELEVATIONS

SCALE: 1/2" = 1'-0"

A-202

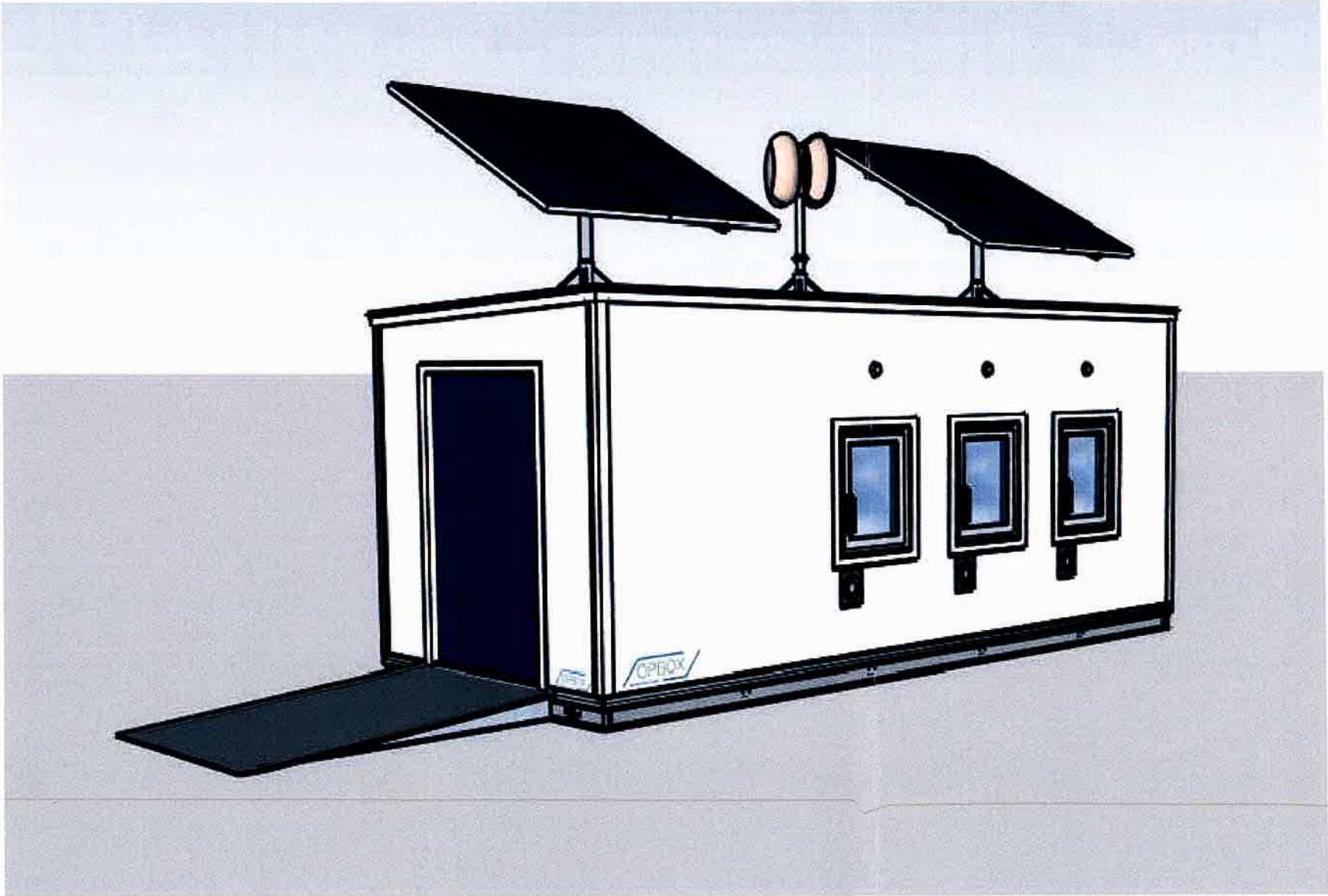
DATE: 12-30-24 Rev 4

All drawings and images © OpBox, 2024

CLYNK

8' x 20' RECYCLING STATION

CONSTRUCTION SET
30 DECEMBER, 2024




FRONT/SERVICE SIDE VIEW
PLEASE NOTE - SOME DETAILS MAY DIFFER

PREPARED FOR:
CLYNK
100 WATERMAN DRIVE
SOUTH PORTLAND, MAINE

CLIENT APPROVAL:

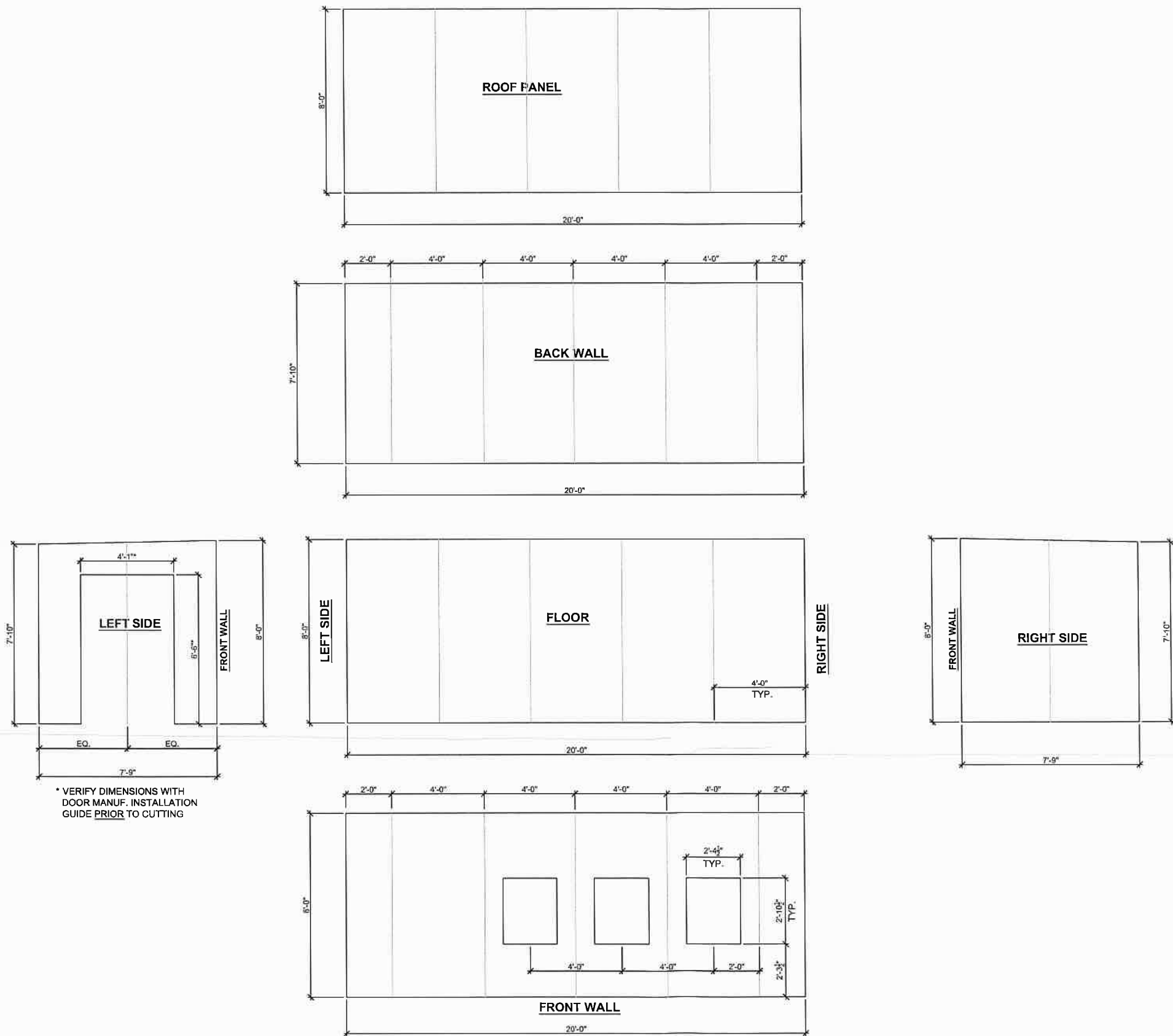
Dan Kiley
DIGITALLY VIA EMAIL
CLIENT SIGNATURE

12-1-23
DATE

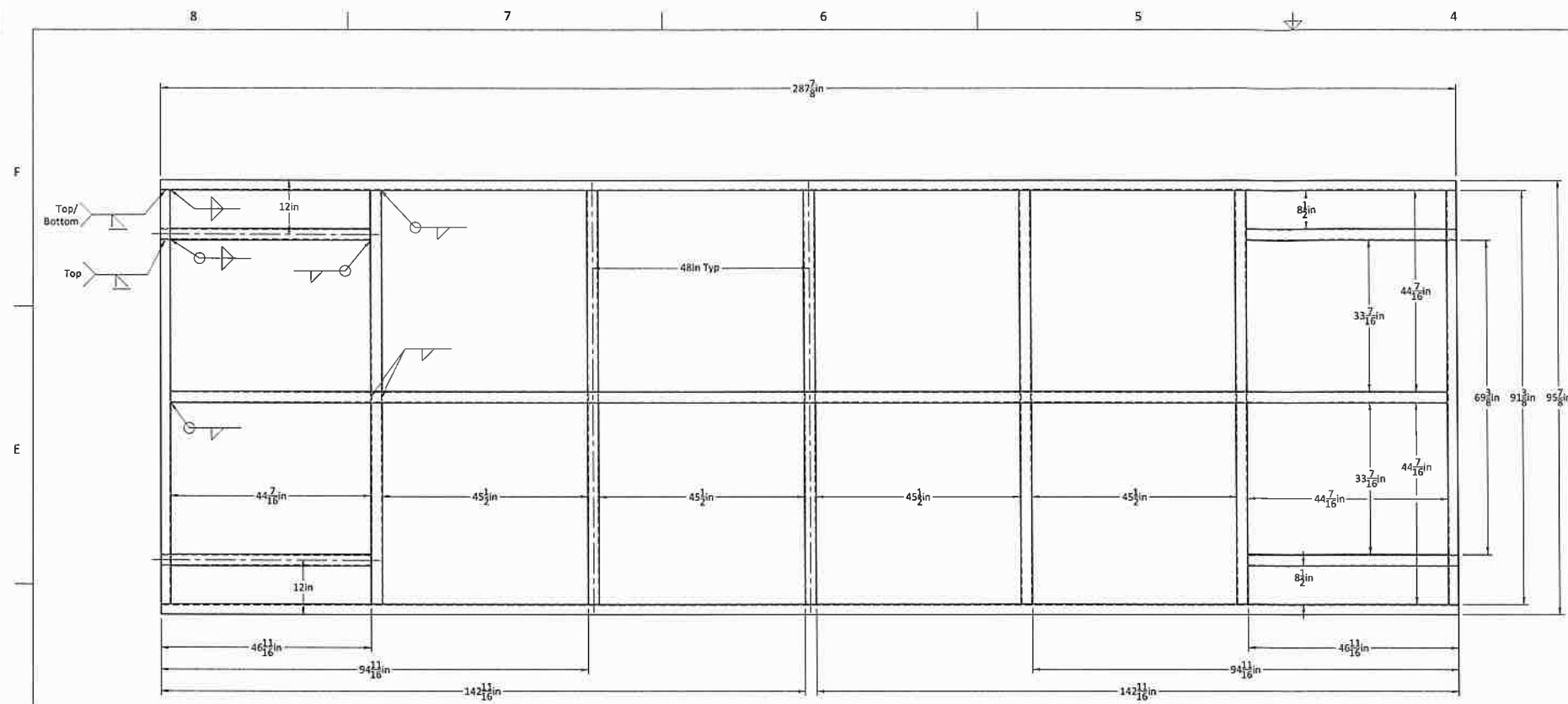
PREPARED BY:

126 U.S. RT 1 WOOLWICH, MAINE

REV 4 DRAWING LIST	
COVER	DRAWING LIST & ILLUSTRATION
CS-1	PANEL CUT SHEET
B-1	ALUMINUM BASE CONSTRUCTION
A-101	FLOOR PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-301	STATION SECTION & DETAILS
A-302	STATION CROSS SECTION & DETAILS
A-601	INTERIOR ELEVATIONS
FAB-1	MISC. ALUMINUM FABRICATION
FAB-2	ALUMINUM DOOR FRAME FABRICATION

RECEIVED
JUN 16 2025
Granby Building
Department

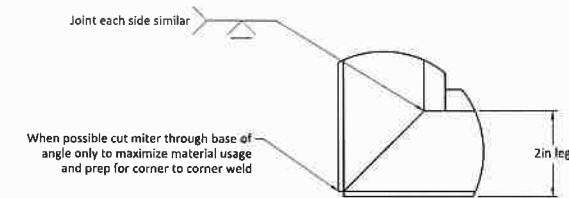


REVISIONS:	
#	DATE/SUBJECT
DRAWINGS FOR:	
8' x 20' CLYNK STATION	
PREPARED FOR:	
OPBOX 126 US RT 1 WOOLWICH ME	
APPROVED BY:	
D.K. (DIGITAL VIA EMAIL) CLIENT INITIALS FOR APPROVAL	12-1-23 DATE
DRAWN BY: JR	
PANEL CUT SHEET	
SCALE: 1/2" = 1'-0"	
CS-1	
DATE: 12-30-24 Rev 4	

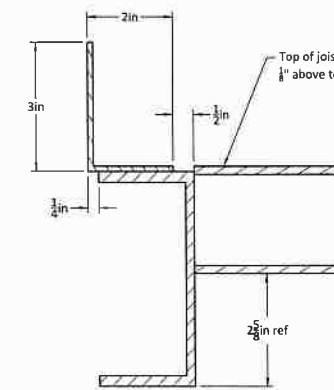


24' Frame - Bottom View (20' Frame Similar)
Scale: 3/4" = 1'-0"

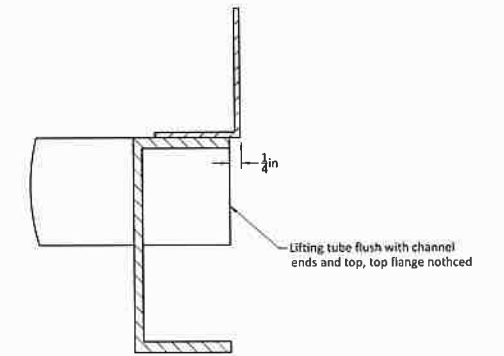
Note: Top angle frame not shown for clarity



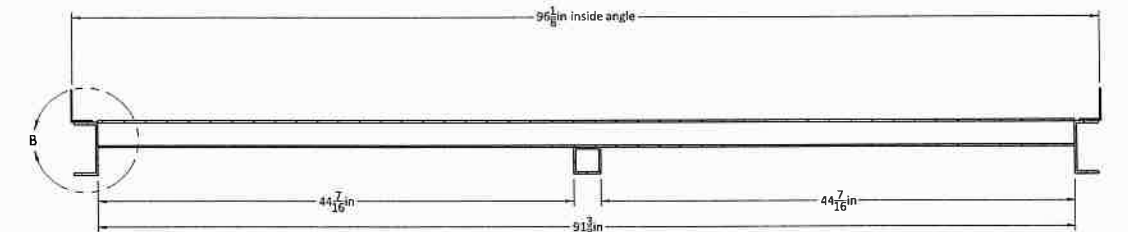
Detail D
Scale 1:2



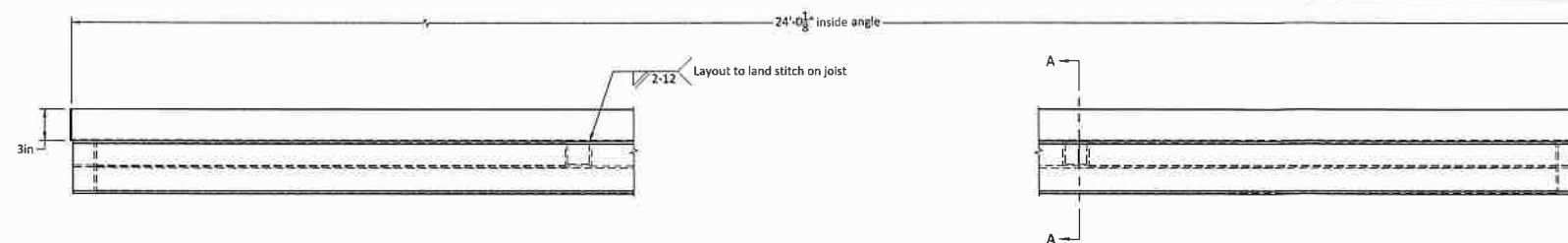
Detail B - Side
Scale 1:2



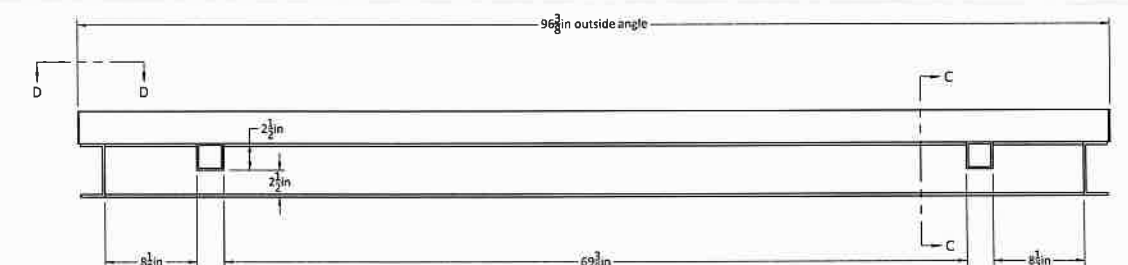
Detail C - End
Scale 1:2



Section A-A
Scale 1:8



24' Frame - Side Elevation
Scale: 1:8



24' Frame - End Elevation
Scale: 1:8

Description	Part #	Material	QTY	Length	Notes
Side Channel	1	5 x .15 Al Assoc Channel	2	287-7/8	sq
End Channel	2	5 x .15 Al Assoc Channel	2	91-3/8	sq
Joist	3	2.5 x 2.5 x 3/16 al sq tube	5	91-3/8	sq
Longitudinal	4	2.5 x 2.5 x 3/16 al sq tube	1	283-3/8	sq
Lifting Tube	5	2.5 x 2.5 x 3/16 al sq tube	4	46-5/8	sq
Side Angle	6	3 x 2 x 1/8 al angle	2	full stick	Sq to LP 45° (see Detail D)
Side Angle ext	6a	3 x 2 x 1/8 al angle	2	~96 (fit after 6)	Off hand of 6
End Angle	7	3 x 2 x 1/8 al angle	2	96-1/8	LP to LP 45° (See Detail D)



BYRD MACHINE & ENGINEERING
207-406-0792

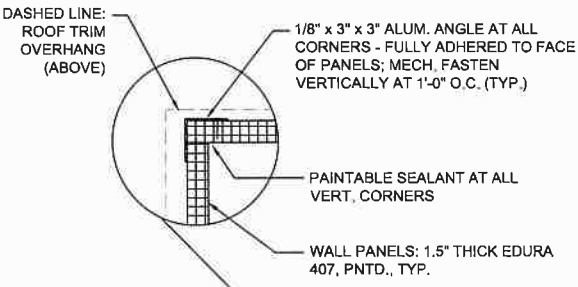
PROJECT
OpBox 24' Base Frame - MEMF 20.1.X

TITLE
Fabrication Details

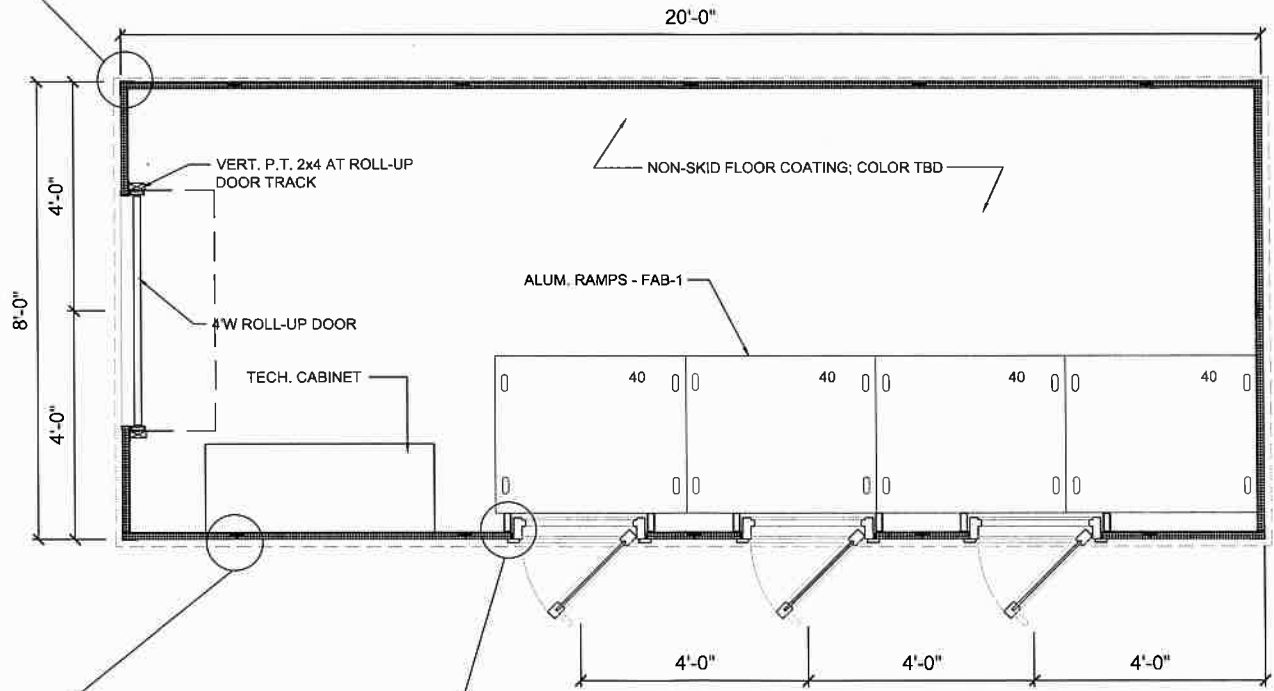
APPROVED JR - OpBox
CHECKED Jason Byrd

SIZE Ar D
CODE
DWG NO
REV -

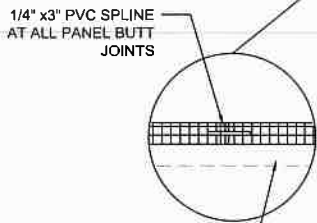
10/29/2024 SCALE As noted SHEET 1/1



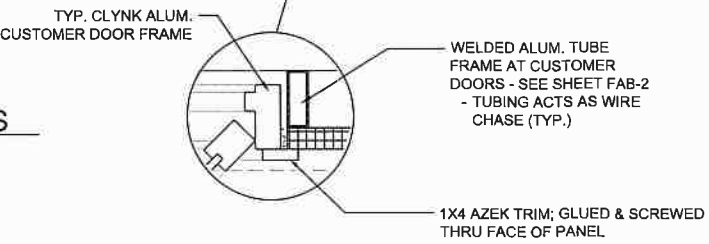
2 PLAN DETAIL: TYPICAL CORNER CONSTRUCTION
SCALE: 1-1/2" = 1'-0"



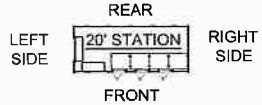
1 FLOOR PLAN
SCALE: 1/2" = 1'-0"



3 PLAN DETAIL: PANEL JOINTS
SCALE: 1-1/2" = 1'-0"



4 PLAN DETAIL: WINDOW FRAME & TRIM
SCALE: 1-1/2" = 1'-0"



REVISIONS:

#	DATE/SUBJECT

DRAWINGS FOR:

8' x 20'
CLYNK STATION

PREPARED FOR:

OPBOX
126 US RT 1
WOOLWICH ME

APPROVED BY:

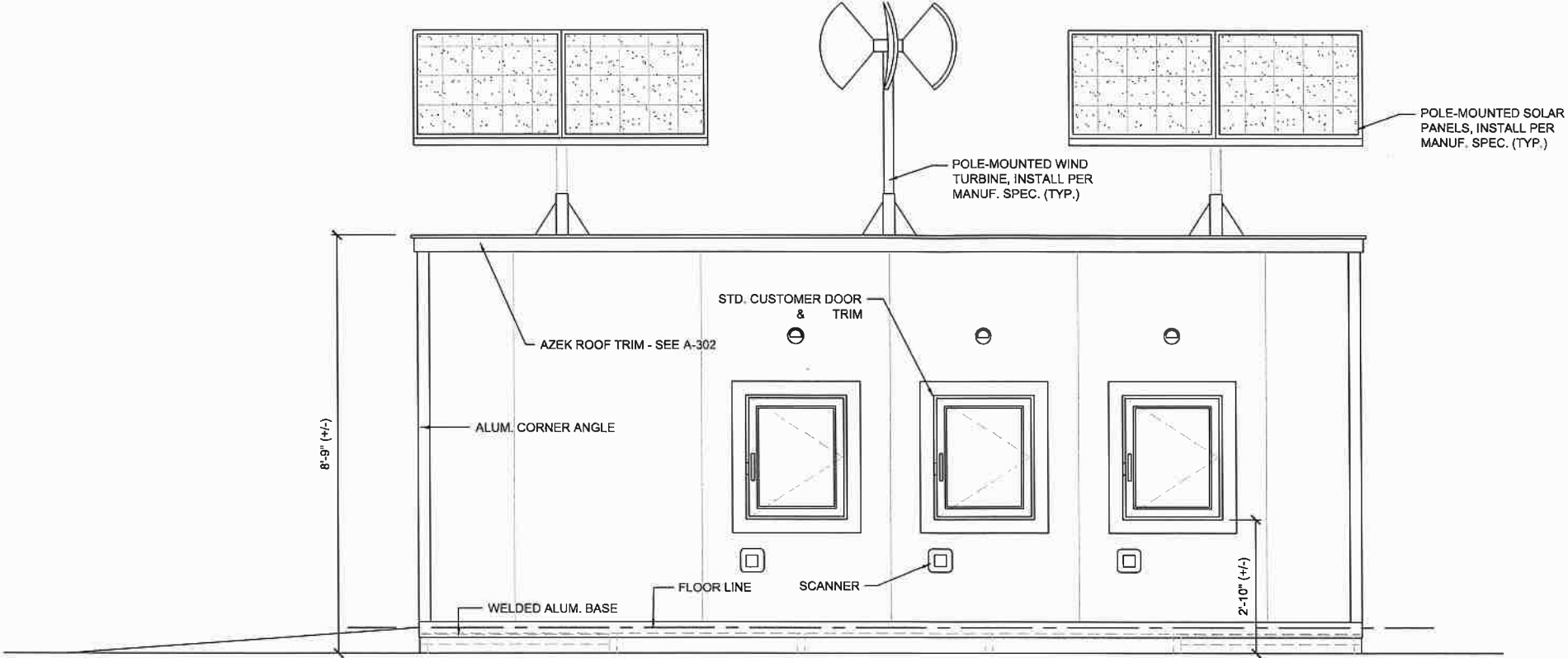
D.K. (DIGITAL VIA EMAIL) 12-1-23
CLIENT INITIALS FOR APPROVAL DATE

DRAWN BY: JR

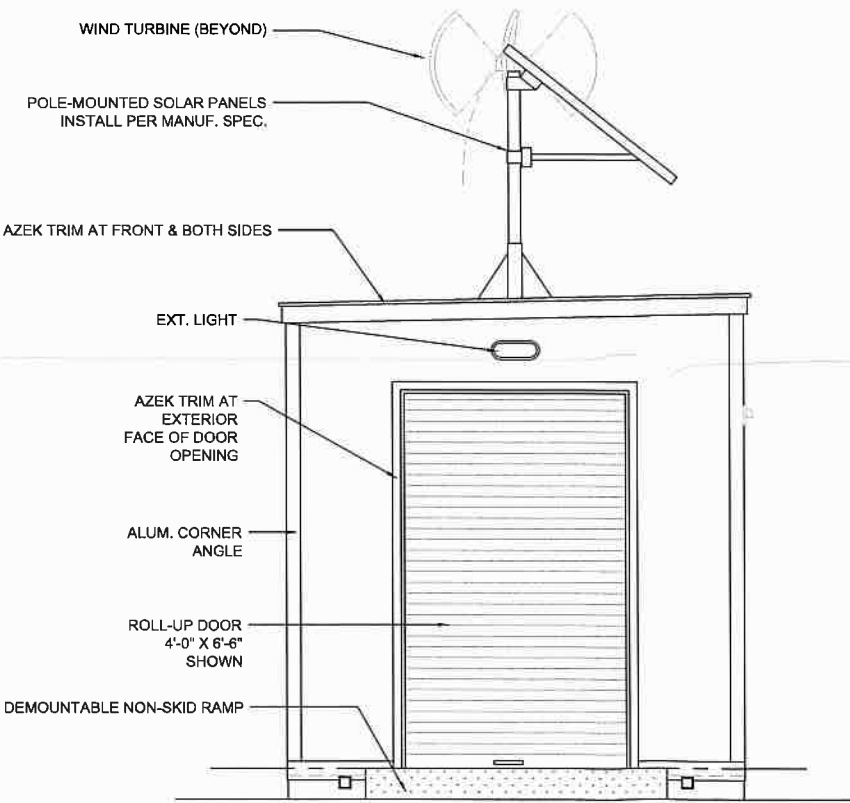
PLAN & DETAILS
SCALE: AS NOTED

A-101

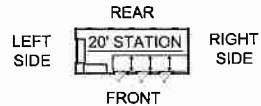
DATE: 12-30-24 Rev 4



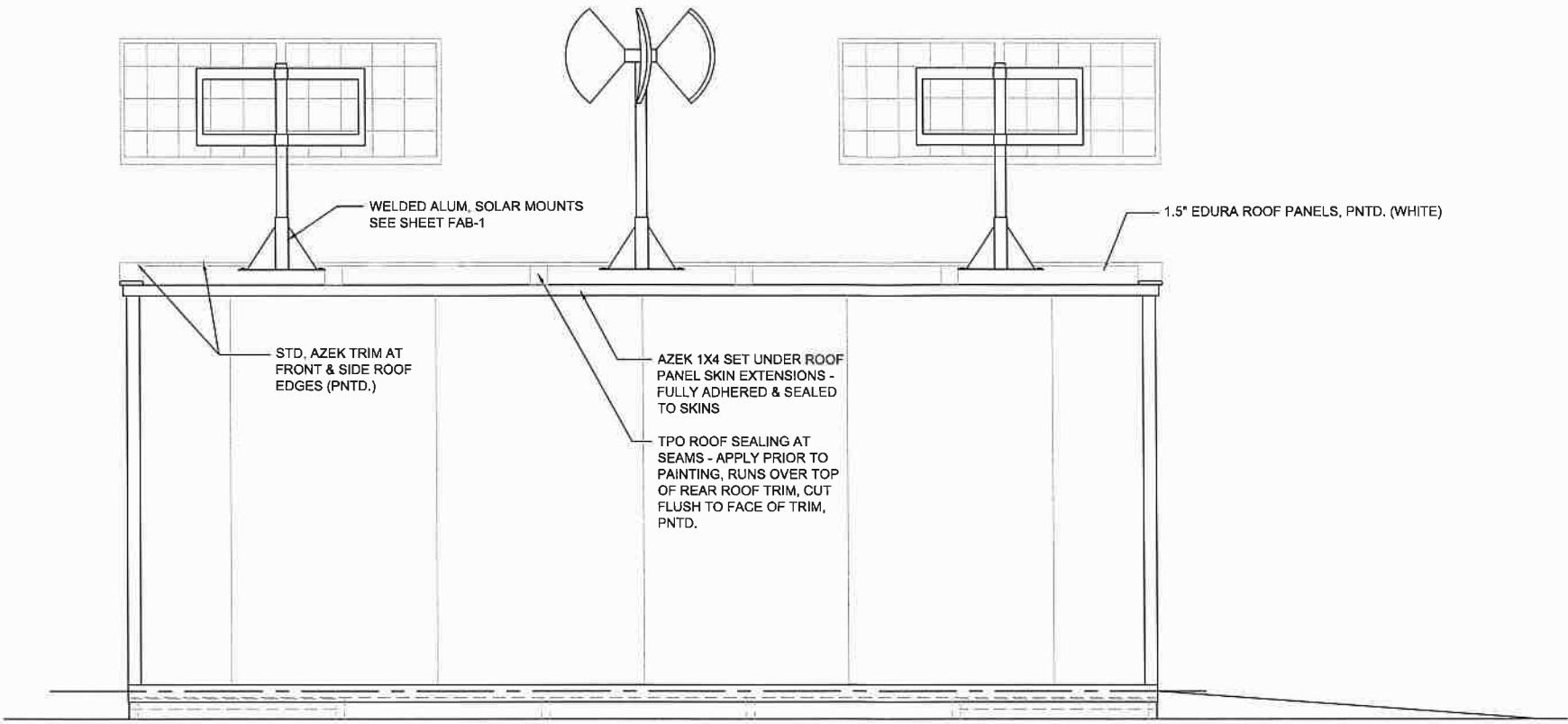
① EXTERIOR ELEVATION AT FRONT (CUSTOMER SERVICE SIDE)
SCALE: 1/2" = 1'-0"



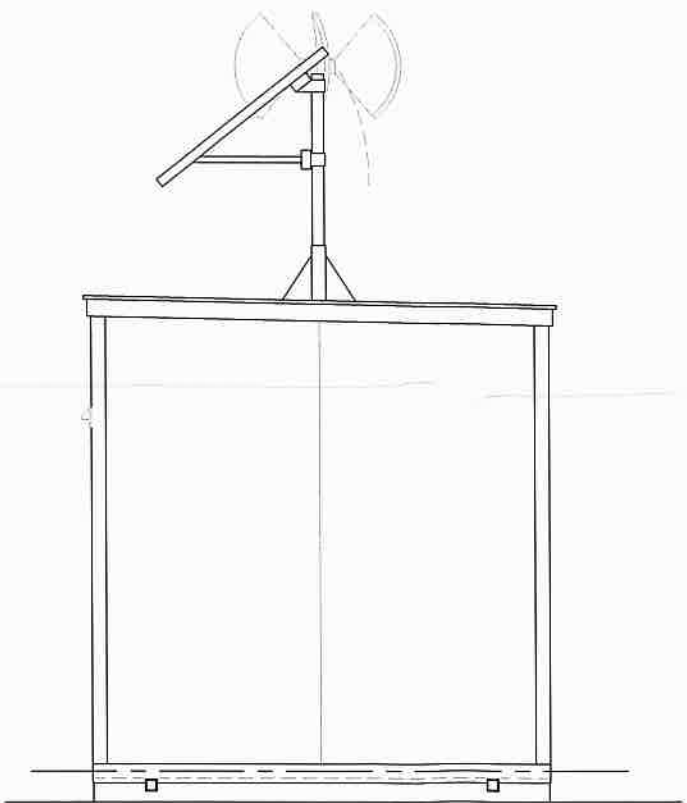
② EXTERIOR ELEVATION AT SERVICE SIDE
SCALE: 1/2" = 1'-0"



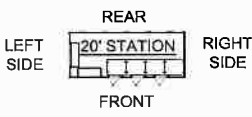
REVISIONS:	
#	DATE/SUBJECT
DRAWINGS FOR:	
8' x 20' CLYNK STATION	
PREPARED FOR:	
OPBOX 126 US RT 1 WOOLWICH ME	
APPROVED BY:	
D.K. (DIGITAL VIA EMAIL) CLIENT INITIALS FOR APPROVAL	12-1-23 DATE
DRAWN BY: JR EXTERIOR ELEVATIONS SCALE: 1/2" = 1'-0"	
A-201	
DATE: 12-30-24 Rev 4	



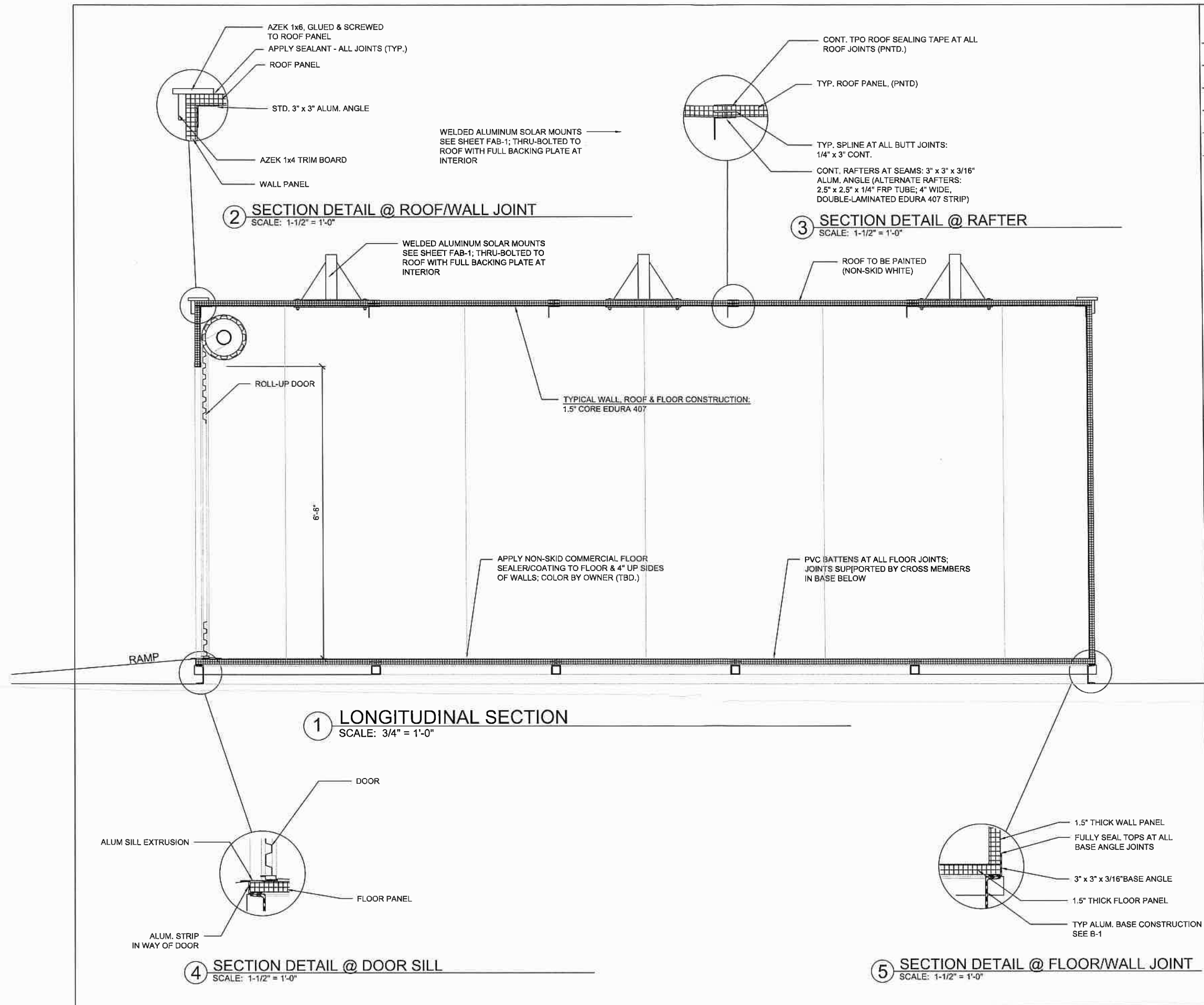
1 EXTERIOR ELEVATION AT REAR
SCALE: 1/2" = 1'-0"



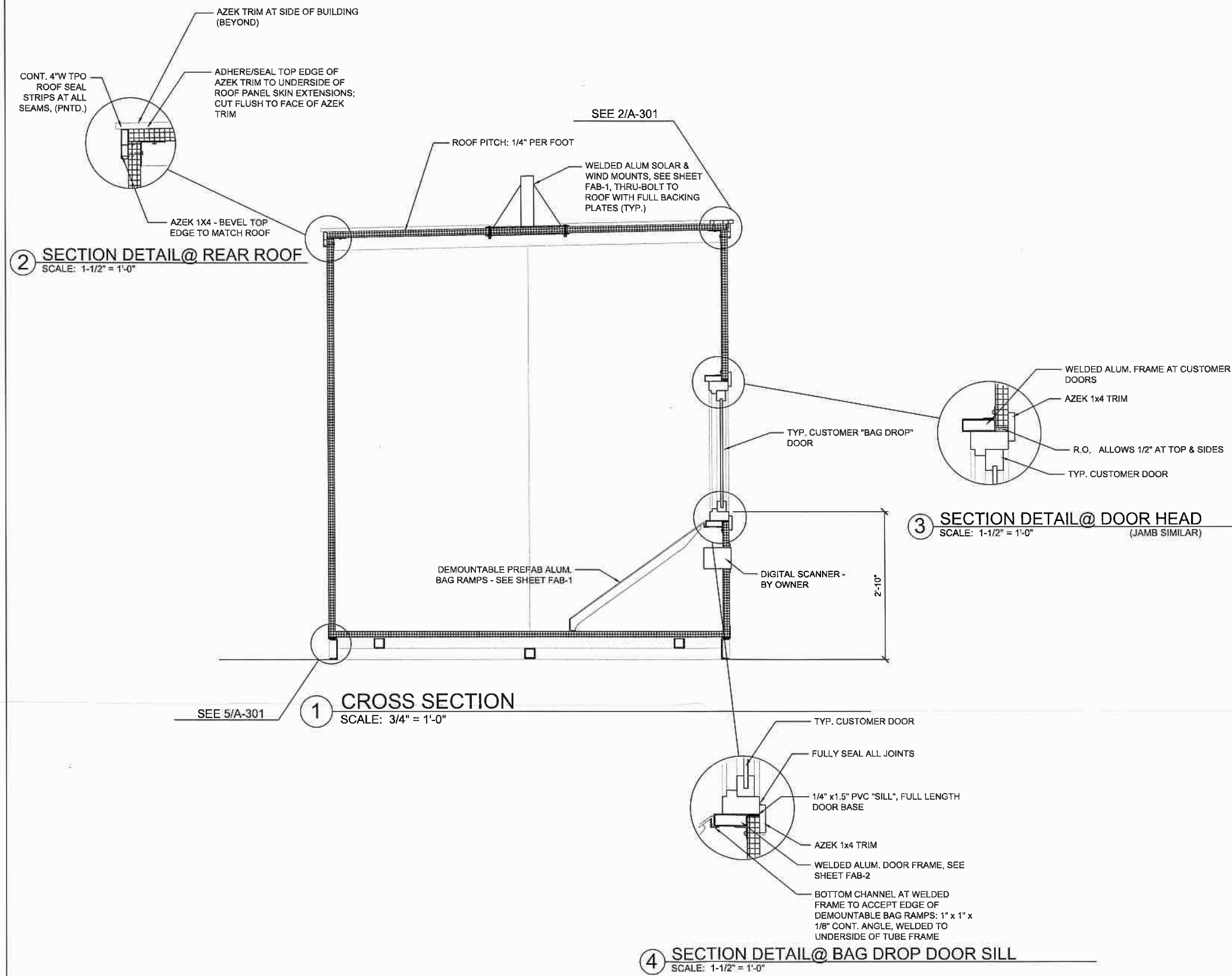
2 EXTERIOR ELEVATION AT RIGHT SIDE
SCALE: 1/2" = 1'-0"



REVISIONS:	
#	DATE/SUBJECT
DRAWINGS FOR:	
8' x 20' CLYNK STATION	
PREPARED FOR:	
OPBOX 126 US RT 1 WOOLWICH ME	
APPROVED BY:	
D.K. (DIGITAL VIA EMAIL) CLIENT INITIALS FOR APPROVAL	12-1-23 DATE
DRAWN BY: JR EXTERIOR ELEVATIONS SCALE: 1/2" = 1'-0"	
A-202	
DATE: 12-30-24 Rev 4	



REVISIONS:	
#	DATE/SUBJECT
DRAWINGS FOR:	
8' x 20' CLYNK STATION	
PREPARED FOR:	
OPBOX 126 US RT 1 WOOLWICH ME	
APPROVED BY:	
D.K. (DIGITAL VIA EMAIL) CLIENT INITIALS FOR APPROVAL	12-1-23 DATE
DRAWN BY: JR	
STATION SECTION & DETAILS	
SCALE: AS NOTED	
A-301	
DATE: 12-30-24 Rev 4	



REVISIONS:

#	DATE/SUBJECT

DRAWINGS FOR:

8' x 20'
CLYNK STATION

PREPARED FOR:

OPBOX
126 US RT 1
WOOLWICH ME

APPROVED BY:

D.K. (DIGITAL VIA EMAIL)
CLIENT INITIALS FOR APPROVAL

12-1-23
DATE

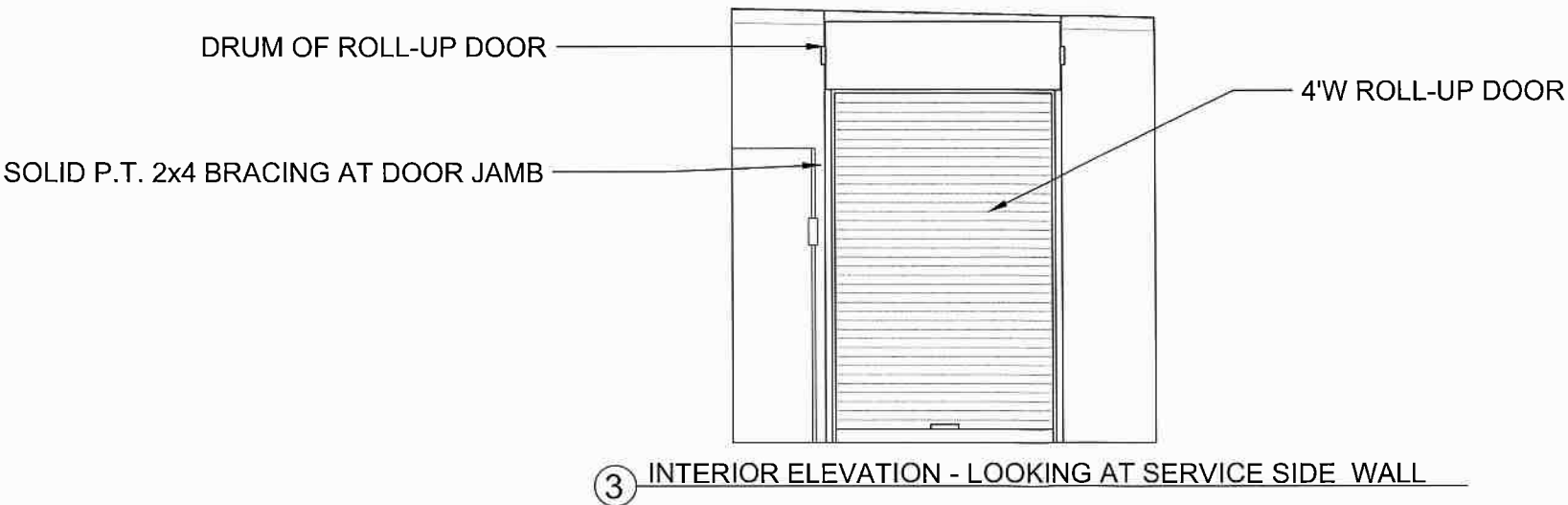
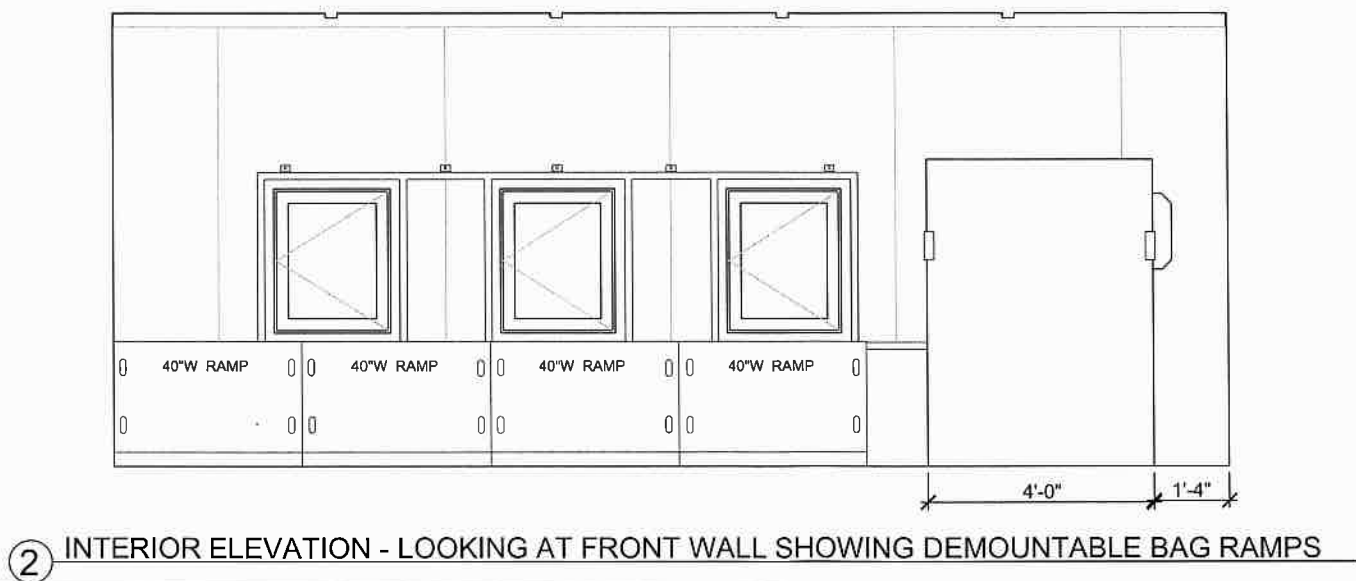
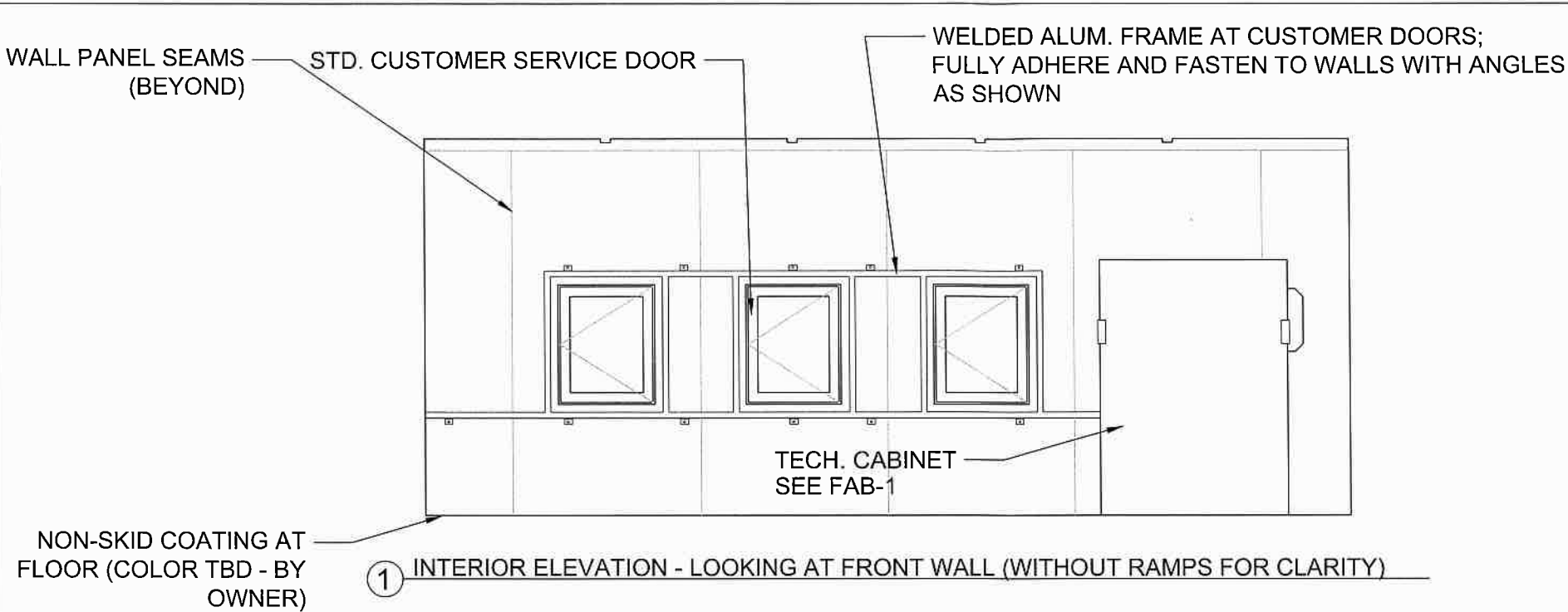
DRAWN BY: JR

STATION CROSS
SECTION & DETAILS

SCALE: AS NOTED

A-302

DATE: 12-30-24 Rev 4



REVISIONS:

#	DATE/SUBJECT

DRAWINGS FOR:

8' x 20'
CLYNK STATION

PREPARED FOR:

OPBOX
126 US RT 1
WOOLWICH ME

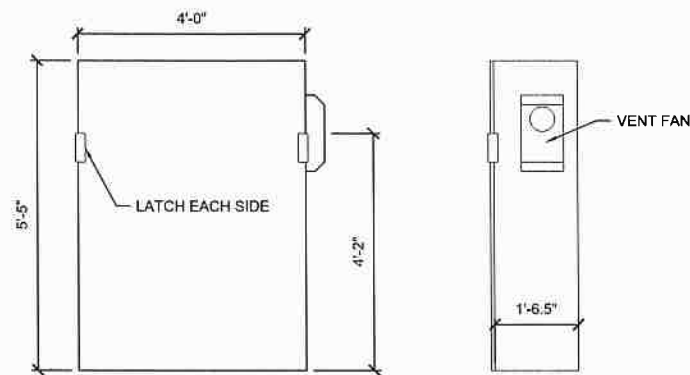
APPROVED BY:

D.K. (DIGITAL VIA EMAIL) 12-1-23
CLIENT INITIALS FOR APPROVAL DATE

DRAWN BY: JR
INTERIOR
ELEVATIONS
SCALE: 1/2" = 1'-0"

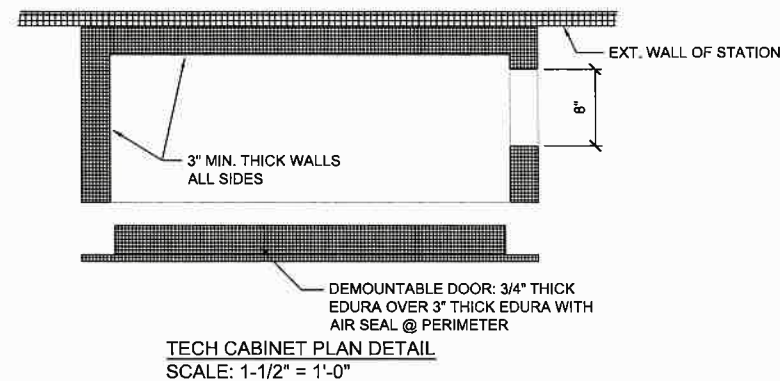
A-601

DATE: 12-30-24 Rev 4

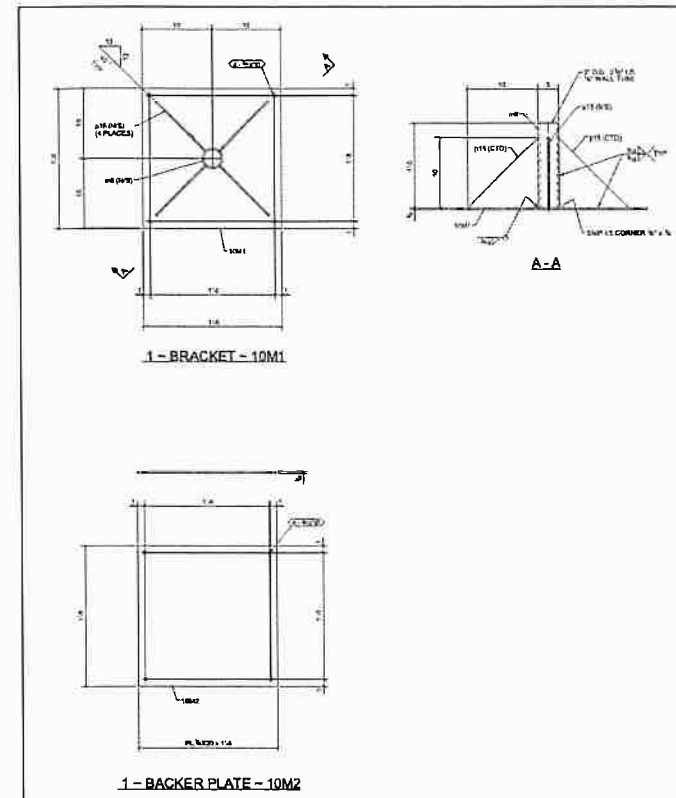


TECH CABINET FRONT ELEVATION
SCALE: 1/2" = 1'-0"

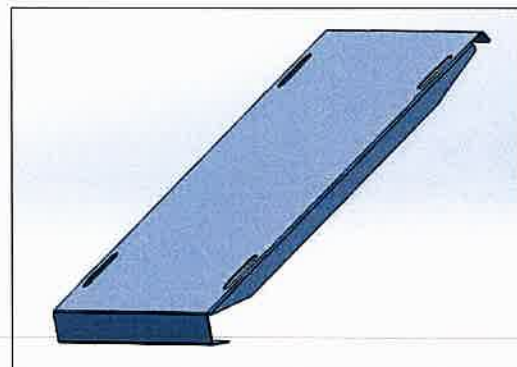
TECH CABINET SIDE ELEVATION
SCALE: 1/2" = 1'-0"



1 TECH CABINET
SCALE: NO SCALE



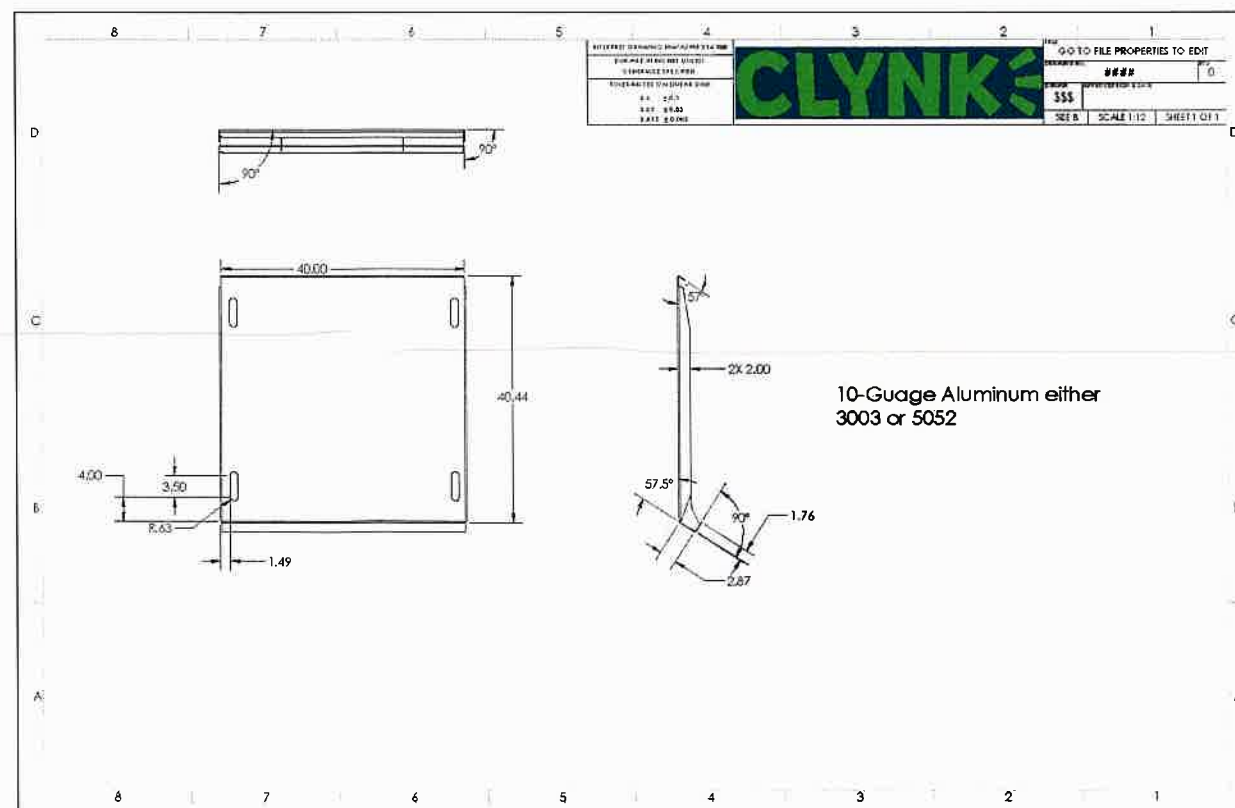
2 SOLAR MOUNT FLANGE
SCALE: NO SCALE



VIEW OF RAMP: ABOVE



VIEW OF RAMP: BELOW



3 ONE-PIECE BAG RAMP CONSTRUCTION
SCALE: NO SCALE

REVISIONS:
DATE/SUBJECT

DRAWINGS FOR:

8' x 20'
CLYNK STATION

PREPARED FOR:

OPBOX
126 US RT 1
WOOLWICH ME

APPROVED BY:

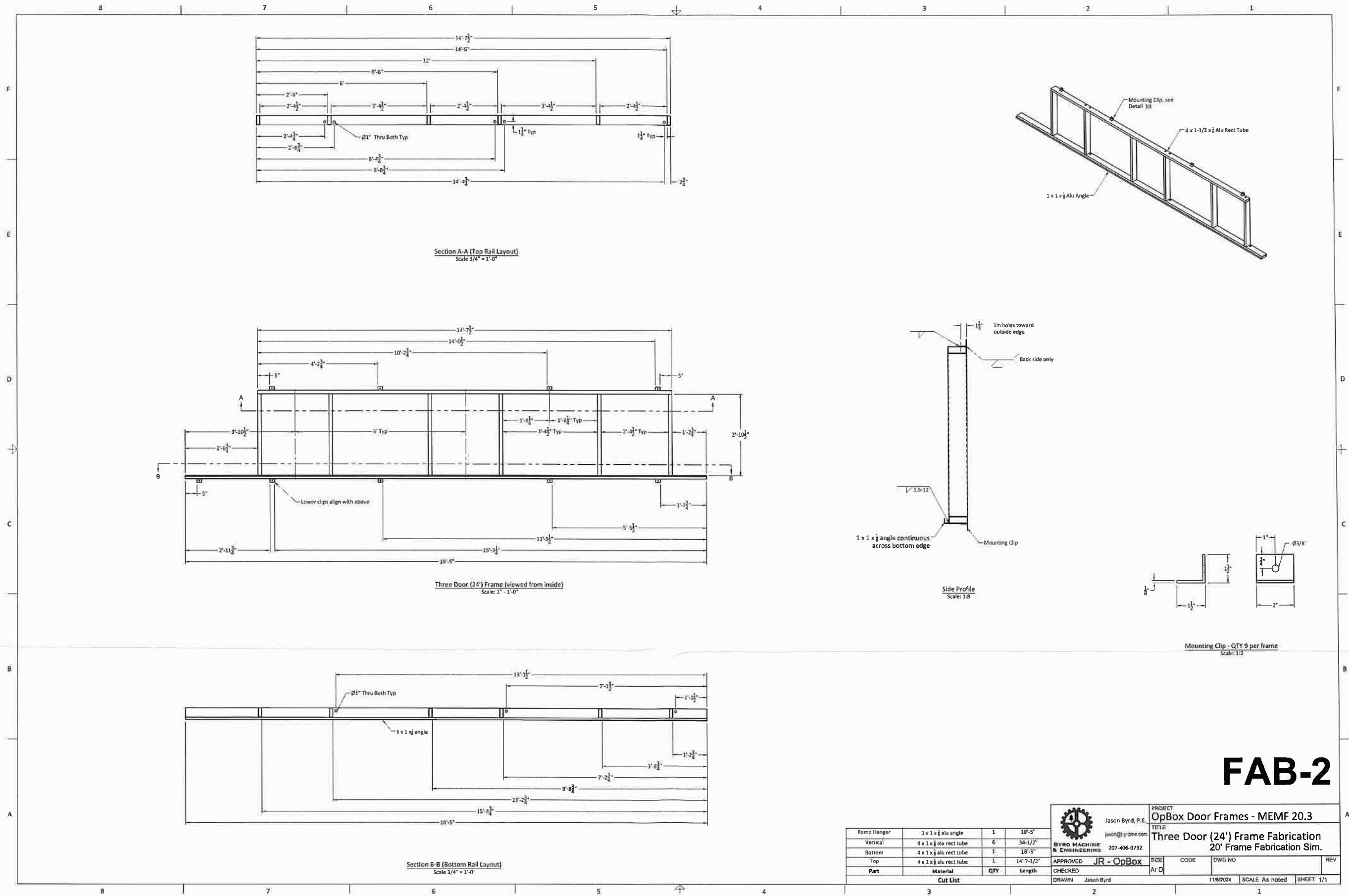
D.K. (DIGITAL VIA EMAIL)
CLIENT INITIALS FOR APPROVAL

12-1-23
DATE

MISC. ALUMINUM &
TECH. CAB.
FABRICATION
SCALE: AS NOTED

FAB-1

DATE: 12-30-24 Rev 4



This sheet modified to fit Arch C size and is therefore not to scale