

AMENDED AGENDA
Regular Hybrid Meeting
Town of Granby
Planning & Zoning Commission
Tuesday, June 10, 2025, at 7:00 pm
Town Hall Meeting Room

Live Stream under “Shows and Spotlight”: www.gctv16.org

Zoom: <https://us02web.zoom.us/j/89382714915?pwd=QgiNlSDMLXsohGbxM7lYz8hEHfnghD.1>

Call-In: 1-929-205-6099

Meeting ID: 893 8271 4915

Passcode: 227877

1. Call to Order
2. Pledge of Allegiance
3. Seating of Alternates, if applicable
4. Public session
5. Action on the minutes of May 27, 2025
6. Public Hearings
 - a. Application seeking a Site Plan and Special Permit under Zoning Regulations Sections 3.5.4.3, 8.6.14 and 8.21.4 for a commercial building in the Aquifer Protection Overlay Zone with an illuminated freestanding directory sign and outdoor storage, for property located at 14 Mill Pond Drive, C2 Zone: File Z-7-25.
 - b. Application seeking a Site Plan Modification to allow access to abutting lot, for property located at 18 Mill Pond Drive, C2 Zone: File Z-8-25.
 - c. Application seeking a Special Permit modification for an existing farm store under Zoning Regulations Section 8.15.17, to allow a tent for property located at 130 Lost Acres Road, R2A Zone: File Z-9-25.
 - d. Application seeking a Site Plan Modification under Zoning Regulations 8.16.10 for outdoor dining for property located at 518 Salmon Brook Street, Las Potras Mexican Restaurant, I Zone: File Z-10-25.
7. Receive applications and schedule public hearing
 - a. Application seeking a 7-lot subdivision, Breezy Meadow, for property located at 188 Day Street, R30 and R50 Zones: File P-1-25.
 - b. Application seeking to renew a Special Permit under Zoning Regulations Section 9 for earth excavation for properties located at 67/87/95B Notch Road, R50 Zone: File Z-11-25.
8. Consideration of applications, where the Commission has concluded the public hearing
9. Connecticut General Statutes Section 8-24 Referral: Sale of Town Property, 83 Salmon Brook Street
10. Staff Report and Correspondence
11. Commissioner Reports and Correspondence
12. Adjourn

Please note: The Town of Granby invites any resident who wishes to provide materials to this Commission to provide them to the Office of Community Development by noon on the prior Thursday of the scheduled meeting. In the event you are unable to meet that deadline but still wish to provide the Commission with materials, the Town of Granby respectfully asks that you provide sufficient copies of your materials to the Office prior to the meeting so the materials may be distributed to the Commission. Thank you in advance for your cooperation.

MEETING MINUTES
Town of Granby
Planning & Zoning Commission
Tuesday, May 27, 2025, at 7:00 pm

Present: Eric Lukingbeal, Paula Johnson, Mark Lockwood, Eric Myers, Robert Lavitt, Steve Muller, and Brennan Sheahan

Absent: Christine Chinni and Meg Jabaily

Also Present: Director of Community Development Abigail Kenyon and Land Use Coordinator Renee Deltenre

1. Call to Order

Chair Lockwood called the meeting to order at 7:00 p.m.

2. Pledge of Allegiance

3. Seating of Alternates, if applicable

P. Johnson was seated for C. Chinni.

4. Public session

None

5. Action on the minutes of May 13, 2025

ON A MOTION by E. Lukingbeal seconded by S. Muller, the Commission voted (6-0-1) to approve the May 13, 2025, minutes as presented. P. Johnson abstained.

6. Public Hearings

a. Application seeking a Site Plan Modification to add a playground for property located at 160 Granville Road, R2A Zone: File Z-6-25.

Applicant Matthew Deardorff was present to discuss the application and answer any questions the Commission had. Valley Brook Community Church is looking to install a 75'x85' commercial grade playground that would be available to their congregation and the public. The playground would be situated 40' from the parking lot and a concrete walkway would provide access. The structural components of the playground would consist of a 65'x70' area and require 12 inches of excavation in order to accommodate the required mulch base. A 4-foot fence would be installed around the perimeter along with landscape shrubbery and bushes, and benches/picnic tables would be placed at the entrance. Approval from the Inland Wetlands and Watercourses Commission was received on May 22, 2025. There was no public comment, and the public hearing closed at 7:09 p.m.

7. Receive applications and schedule public hearing

a. Application seeking a Site Plan Modification under Zoning Regulations 8.16.10 for outdoor dining for property located at 518 Salmon Brook Street, Las Potras Mexican Restaurant, I Zone: File Z-10-25.

The above application was scheduled for a public hearing on June 10, 2025, at 7pm.

8. **Consideration of applications, where the Commission has concluded the public hearing**
 - a. **Application seeking a Site Plan Modification to add a playground for property located at 160 Granville Road, R2A Zone: File Z-6-25.**

ON A MOTION by P. Johnson seconded by E. Lukingbeal, the Commission voted (7-0-0) to approve an application seeking a Site Plan Modification to add a playground for property located at 160 Granville Road, R2A Zone: File Z-6-25.

9. **Discuss Plan of Conservation and Development Committee Application**

A. Kenyon provided a draft application for consideration by the Commission. There was a general consensus to approve the form with the addition of an “Other Category” under Section Two. Staff also indicated that the POCD Committee will meet on the fourth Tuesday of each month in order to prevent scheduling conflicts with members from other Boards and Commissions.

10. **Staff Report and Correspondence**

A. Kenyon noted that the Building Official and Fire Marshal are in the process of completing a CO inspection for Building 5 at Station 280. There are still a few garages that need to be finalized, along with the swimming pool, pavilion, and a few outstanding site improvements. To date, there have been no issues regarding debris on and off site.

11. **Commissioner Reports and Correspondence**

E. Myers indicated that the parking lot at Julien’s Farm Store on Barn Doors Hills Road has become problematic. Due to heavy traffic and recent weather, the grassy lot now is now mud, consists of numerous ruts and the tracking pad is no longer functioning properly. It was requested that the owners come before the Commission to correct the issue. A. Kenyon indicated that she would have the Zoning Enforcement Officer inspect the site and provide an update at the next meeting.

12. **Adjourn**

ON A MOTION by E. Lukingbeal seconded by P. Johnson, the Commission voted (7-0-0) to adjourn the meeting at 7:24 p.m.

Respectfully submitted,

Renee Deltenre
Land Use Coordinator

TOWN OF GRANBY
Public Hearing
Planning & Zoning Commission (PZC)

There will be a public hearing conducted by the PZC on Tuesday, June 10, 2025, at 7:00 p.m. in the Granby Town Hall Meeting Room, 15 North Granby Road to hear and consider the following items:

- Application seeking a Site Plan and Special Permit under Zoning Regulations Sections 3.5.4.3, 8.6.14 and 8.21.4 for a commercial building in the Aquifer Protection Overlay Zone with an illuminated freestanding directory sign and outdoor storage, for property located at 14 Mill Pond Drive, C2 Zone: File Z-7-25.
- Application seeking a Site Plan Modification to allow access to abutting lot, for property located at 18 Mill Pond Drive, C2 Zone: File Z-8-25.
- Application seeking a Special Permit modification for an existing farm store under Zoning Regulations Section 8.15.17, to allow a tent for property located at 130 Lost Acres Road, R2A Zone: File Z-9-25.
- Application seeking a Site Plan Modification under Zoning Regulations 8.16.10 for outdoor dining for property located at 518 Salmon Brook Street, Las Potras Mexican Restaurant, I Zone: File Z-10-25.

At the hearing interested persons may appear and be heard and written communications will be received. Copies of the proposals are on file in the Community Development Office.

TOWN OF GRANBY

MEMORANDUM

TO: Biff Schechinger, Steven Briggs

FROM: Abby Kenyon, Director of Community Development

DATE: June 6, 2025

RE: Application seeking a Site Plan and Special Permit under Zoning Regulations Sections 3.5.4.3, 8.6.14 and 8.21.4 for a commercial building in the Aquifer Protection Overlay Zone with an illuminated freestanding directory sign and outdoor storage, for property located at 14 Mill Pond Drive, C2 Zone: File Z-7-25.

Staff comments on the subject application were issued at the end of May and plan revisions were received on June 5th. As there was not enough time to review the revised plans and issue comments before the meeting packets were distributed, this memo is intended to provide a general background about the application. Staff will review the plans in more detail and will report any outstanding items to the Commission at the meeting. The meeting packet includes the revised site plan, narrative, and the response to staff comments.

Application Overview

The property, 14 Mill Pond Drive, is .74 acres in the C2 Business Zone and also within the Aquifer Protection Overlay Zone. It is currently vacant. The property owner submitted a site plan and special permit application to construct a commercial building that will be just under 5,000 square feet. There will be an access driveway located on the eastern side of the property, that will lead to a parking lot with spaces abutting the adjacent property line to the east. There will be additional parking spaces behind the building, along with a dumpster enclosure and storage bins for landscaping material.

The building will be divided into three units. Each unit will have a pedestrian entrance door and a larger overhead garage door to provide access. These doors will be located on the east side of the building. The building will be connected to sewer and public water.

The Commission should note the following about this application:

- 1) Any use(s) in the building require special permit as the property is within the Aquifer Protection Overlay Zone (see Zoning Regulations Section 8.21). The applicant has been asked to provide information about the proposed use(s) and demonstrate compliance.

- 2) There is a proposed illuminated directory sign that will be located in the front of the building, so it is visible from Mill Pond Drive. Sign illumination requires a special permit under Zoning Regulations Section 8.6.14.
- 3) The location of the parking spaces to the east of the site requires an easement. Per Section 7.3.1, parking spaces shall not be located within 15 feet of a side property line except where two commercial properties abut, parking areas may be paved to a common property line provide a legal easement or other document exists for the sharing of the parking areas.
- 4) A sewer allocation request has been submitted. The Town Engineer will review this and issue a response regarding capacity. If the Commission approves the application, approval from the WPCA will then be needed.

Property Location



14 & 18 MILL POND DRIVE: INITIAL STAFF REVIEW COMMENT RESPONSES; 26 MAY 2025

PLANNING STAFF COMMENTS:

1. While noted on one of the plan sheets, a separate letter addressed to the Granby Water Pollution Control Authority (WPCA) requesting a sewer allocation is required. Once received, the Town Engineer will review and determine available capacity. If the Planning and Zoning Commission approves the application, the sewer allocation request will then be forwarded to the WPCA for approval. ***THIS DOCUMENT IS INCLUDED WITH THIS REVIEW MEMO, AS REQUESTED.***
2. Are any wall signs proposed? If so, show on building elevations. If not ready at this time, compliance with the Zoning Regulations is required or approval from the Planning and Zoning Commission may be needed at a later date. ***NONE ARE PROPOSED.***
3. Any proposed work within the Town Right of Way will require an encroachment permit. ***NOTED ON SHEET L.1.***
4. The building is shown to be exactly at the 10-foot side yard setback. It will be recommended to the Commission that if they are inclined to approve the application, that a foundation as-built be required before construction continues to ensure compliance with the required side yard. ***THE BUILDING WAS MOVED 6" OFF THE EASTERN BUILDING LINE.***
5. The photometric plan shows recessed lights over the doors however, the building elevations do not show an overhang or canopy. Clarify. ***THERE IS A 24" WIDE ROOF EAVE ALL AROUND THE BUILDING PERIMETER TO HOUSE RECESSED FIXTURES.***
6. The site plan shows a pedestrian door on the southern elevation however, the building elevation does not show a door. Clarify. ***THAT DOOR WILL BE RELOCTED ON THE FINAL ARCHITECTURE DRAWINGS PRIOR TO FINAL SUBMISSION.***
7. Verify exit/travel distances for the northern unit per the building code—pedestrian door may have to be shifted to the north or another exit added in the northwest corner of the building. ***THE LONGEST INTERIOR DIMENSION IN THAT UNIT IS 63.7' AND THE MAXIMUM DISTANCE BY CODE IS 100'.***
8. Zoning Regulations Section 4.2.5j states, "Site plans are encouraged to contain native species whenever possible. If a non-native species is proposed and there is a native species similar in appearance and function, preference shall be given to native species." It appears the landscaping plan contains non-native species, including the Armstrong Freeman Maple, Pacific Brilliance Pin Oak, Flaming Silver Pieris, and Elite Start PJM Rhododendron. The applicant is to evaluate the planting plan and any proposed plants that are non-native, to consider an alternative native species. ***ALL PLANT MATERIAL SPECIFIED ARE NOW NATIVE, SEE PLANT SCHEDULE, SHEET L.5.***
9. The proposed uses for the three spaces within the building are unclear. The narrative states that one space will be occupied by Briggs Lawn and Garden Store, with 400 square feet of retail/office space and 1,112 square feet of retail storage area. The retail storage area "will include landscape materials displays and vehicle/equipment storage." The narrative goes on to state that stored equipment may include a backhoe and small dump truck. It is unclear how the parking of such equipment is considered retail storage. The narrative notes that the proposed middle and rear units will be occupied by similar uses.
When looking at the proposed floor plan and overall site layout, it looks like the three

14 & 18 MILL POND DRIVE: INITIAL STAFF REVIEW COMMENT RESPONSES; 26 MAY 2025

spaces will each have a small office area and there will be an accessory garage/storage area accessed via an overhead door. This layout seems to indicate that the building may primarily be used as offices for contractors with an associated garage storage area. If this assumption is incorrect, the applicant is asked to clarify. If it is correct, it is recommended that the Commission consider requiring the tenants of the other two spaces to apply to the Commission before occupying the building, so the Commission can receive information specific about the operation(s) to ensure compliance with the Aquifer Protection Overlay Regulations Section 8.21. (The applicant can also consider a possible reduction in the number of required parking spaces if that is the intended use. Similar to 557 Salmon Brook Street, the following parking space requirements were used: 5 spaces / 1,000 square feet of office and 0.5 spaces / 1,000 square feet of warehouse). ***THE PROJECT PROPOSES THREE OFFICE / RETAIL / WAREHOUSE STORAGE UNITS. YOUR ASSUMPTION ABOUT THE TENANT USES IS CORRECT. WE HAVE ADDED THE FOLLOWING NOTE ON SHEET L.2: “THE COMMISSION SHALL CONSIDER REQUIRING THE TENANTS OF THE MIDDLE AND REAR UNITS TO APPLY TO THE COMMISSION BEFORE OCCUPYING THE BUILDING, SO THE COMMISSION CAN RECEIVE INFORMATION SPECIFICALLY RELATED TO THESE BUSINESS’ ABOUT THE SCOPE AND NATURE OF THEIR OPERATION TO ENSURE COMPLIANCE WITH THE AQUIFER PROTECTION OVERLAY REGULATIONS”.***

10. Will ‘Briggs Lawn and Garden Store’ be relocating to 14 Mill Pond from 18 Mill Pond? If so, the space to be vacated on 18 Mill Pond Drive may require special permit approval prior to it being occupied by a new tenant. ***BRIGGS LAWN CARE WILL REMAINING AT #18 MILL POND WITH NO CHANGE. HIS FIRM WILL ALSO EXPAND TO ONE OF THE THREE UNITS AT #14 MILL POND. THIS UNIT WILL BE FULLY FINISHED. IT WILL HAVE AN OFFICE AND STORAGE / WAREHOUSE SPACE WITH THE OPTION TO SELL LANDSCAPING TOOLS AND HAVE A DISPLAY FOR HARD SCAPE PRODUCTS. THE OTHER TWO UNITS WILL BE ROUGHED IN AND WEATHER TIGHT FOR FUTURE SPOTS FOR TENANTS OF COMPATIBLE SERVICES. POTENTIAL TENANTS FOR THE TWO REMAINING UNITS SHALL SUBMIT REQUISITE INFORMATION TO THE COMMISSION PRIOR TO OCCUPANCY, (SEE NOTE #9 ABOVE).***

11. The narrative notes that there will be “a few 5 gallon containers of vehicle and equipment oil and lubricant” stored in the space for “minor regular equipment and vehicle maintenance.” Additional information to show compliance with Zoning Regulations Section 8.21.5 is needed. Volumes of materials to be stored on site? How will waste be disposed? Where are private drinking wells located in relation to the site? Where will the materials be stored in the building? Refer to the following specific sections:

8.21.5.1.2: The application shall include a complete list of the types, composition and volumes of all hazardous materials (including fuels) used, stored, processed, handled or disposed, other than those volumes and types associated with normal household use, together with a copy of the manufacturer's recommendations or requirements for the use, storage, processing, handling and disposal of the materials.

8.21.5.1.3: The application shall include the estimated amounts, types and description of the wastes, which will be generated by the use or activity, and the proposed method of disposing of these wastes. Included within this report are any solid wastes, hazardous wastes, sewage and non-sewage wastewater discharges.

8.21.5.1.4: The application maps shall show the location of private drinking water supply wells within 200 feet of any proposed construction, location of public water supply wells within 1,000 feet of any proposed construction and other water supplies which may be affected by the activity.

14 & 18 MILL POND DRIVE: INITIAL STAFF REVIEW COMMENT RESPONSES; 26 MAY 2025

8.21.5.1.5 The application shall include a site plan and building plan showing: hazardous materials loading, storage, handling and process areas; floor drains; process vents; sewage disposal; and waste storage or disposal areas. ***THE AQUIFER ZONE PROJECT NOTES AND SAFETY PROTOCOL OUTLINE AND PROPOSED REVISED PROJECT NARRATIVE HAVE BEEN REVISED TO PROVIDE ADDITIONAL INFORMATION TO THE SECTION 8.25 ITEMS NOTED ABOVE. THERE ARE NO PRIVATE WELLS WITHIN 200' AND NO PUBLIC WELLS WITHIN 1,000' OF EITHER SITE.***

ENGINEERING STAFF COMMENTS:

Note: Erosion and sediment control plan required per section 8.7 of the Town of Granby Zoning regulations because the project will disturb more than ½ acre of the site.

Cover Sheet:

1. Show required and proposed parking for #18 and #14. ***DONE.***

Property & Topography S.1: ***THESE ITEMS WERE ADDED TO THE SURVEY, EXCEPT THE EASEMENTS, AS NOTED IN THE ATTACHED PROPOSED REVISED PROJECT NARRATIVE.***

2. Extend street line and rear property line to the west in indicate that they continue.
3. Show the location of the sanitary sewer force mains and sewer lateral from as-built plans.
4. Show a benchmark.
5. Show easements as noted for L.1.

Sheet L.1:

6. Electrical service line to #18 is not as was proposed on the #18 site plan sheet L.4. If #14 and #18 are to be keep as separate parcels, an easement will be required. ***UTILITY EASEMENTS WILL BE SHOWN ON FINAL SURVEY AND SHEETS L.1 AND L.4***
 7. An easement is required for the proposed, and existing, electrical services shown connected to the existing electrical transformer located on #10 Mill Pond. If there is an existing easement allowing the connection on #10, it needs to be shown on the survey. ***UTILITY EASEMENTS WILL BE SHOWN ON SURVEY AND SHEETS L.1 AND L.4***
 8. The proposed water service should extend into the property at 90-degrees to the street line before there are any changes in direction. ***THERE IS AN EXISTING WATER LATERAL STUB ON-SITE PERPENDICULAR TO THE STREET'S WATER MAIN LINE.*** A SA symbol was used for a portion of the water service. ***THIS MIS-APPLIED SYMBOL WAS REMOVED.***
 9. Use a different line symbol for the sanitary sewer service. The round symbol is usually used for structures. ***THE SANITARY SEWER PIPE SYMBOL WAS CHANGES TO A HEXAGON WITH THE LETTER "S" INSIDED.***
 10. Show limit of "Shared Parking Easement," along with the access required. ***USE EASEMENTS WILL BE SHOWN ON SURVEY AND SHEETS L.1 AND L.4***
- 26 spaces are required for this site. How will shared parking work? Show required and proposed parking for #18 on the cover sheet for both properties. ***DONE.***
11. Show easement on #18 for "Prop-Mounted LED Area Lighting," shown along east property line. Include electrical connection. ***UTILITY EASEMENTS WILL BE SHOWN ON SURVEY AND SHEETS L.1 AND L.4***
 12. Prop. 6" Gravity SDR-35, not ASTM-35. ***PIPE WAS CORRECTLY NOTED ON SHEETS L.1 & L.4***
 13. Show a map legend for all the site sheets. ***DONE.***

Sheet L.2: No comments

Sheet L.3:

14 & 18 MILL POND DRIVE: INITIAL STAFF REVIEW COMMENT RESPONSES; 26 MAY 2025

14. Correct the proposed grading that shows surface water is directed to the dumpster pad. ***PURSUANT TO OUR PHONE CONVERSATION WE ADDED A 6" X 6" CONCRETE CURB ALONG THE SIDES AND ACROSS THE REAR OF THE CONCRETE DUMPSTER PAD., AS NOTED ON SHEET L.1 & AS DETAILED SHEET L.8.***

15. Move CB#1 back into the site to the PC of the curb. ***DONE. CORRECTED DATA FOR TOP OF FRAME AND INVERTS, AS WELL AS ADJUSTED INFILTRATOR FEED PIPE AND UNIT LOCATION, SHEET L.3.***

16. Are all catch basins 'CL' type? May want to use a 'C' type for CB#1. ***RELABLED CB #1 AS A TYPE "C" CATCH BASIN, AS NOTED ON SHEETS L.1 & L.3, AND AS DETAILED ON SHEET L.10.***

17. The ARC 36 Chambers have two possible inlets. Suggest using upper invert and note bottom elevation of chamber on L.3. ***DONE.***

18. Show test hole locations on L.3. ***DONE.***

19. Show a proposed section from the edge of road through the sidewalk at the entrance. Can show on details sheet. ***PURSUANT TO OUR PHONE CONVERSATION WE DETERMINED THAT THERE WAS NO SIDEWALK ACROSS THE PROPOSED DRIVEWAY ENTRY SO NO SECTION WAS REQUIRED.***

20. The pipe from CB#1 to the Infiltrator Chamber should be a minimum of 6-inches in diameter because it carries surface water. ***RELABLED ON SHEET L.3.***

Sheet L.4:

21. We strongly discourage the use of hay bales and silt fence as erosion and sediment control devices in areas where there may be a direct flow of water. Use sediment logs (e.g. Curlex® Sediment Log®) instead of hay bales as they allow water to pass through and still trap the sediment. ***RELABLED WHERE APPROPRIATE ON SHEET L.4, AND AS DETAILED ON SHEET L.8.***

22. Use sediment logs or small stone check dams at flared end section outlets into the water quality basin. ***RELABLED WHERE APPROPRIATE.***

23. Re-route sanitary sewer so that it does not run through the Water Quality Basin. ***DONE.***

24. Sanitary sewer force main to be 1-1/4" diameter minimum. Refer to Town of Granby Standards for Construction and Repair of Sewer lateral Connection – August 2024. ***RELABLED WHERE APPROPRIATE.***

25. Note that there are two sanitary sewer force mains in the shoulder of the road. The second one was installed when Greenway Village was constructed. ***A CLARIFICATION NOTE WAS ADDED.***

26. Regarding the Water Quality Basin Preparation Notes, compacted fill is not to be placed in the infiltration portion of the basin. Infiltration surfaces to make direct contact with the existing tan medium coarse sand strata. ***A CLARIFICATION NOTE WAS ADDED.***

27. Landscape Plan is sheet L.5 not L.6. ***REFERENCE NOTE CORRECTED.***

28. A project narrative is required for erosion and sediment control plans. See chapter 3 of Connecticut Guidelines. For this project include items i through vii. ***DONE.***

29. Separate the post construction maintenance of the site from the construction phase maintenance. ***DONE.***

30. Reference the current Connecticut Guidelines for Soil Erosion and Sediment Control. ***DONE.***

Sheet L.5:

31. As-built plan to show plants. ***#18 MILL POND AS BUILT TO SHOW ADDITIONAL PLANTINGS, WHICH WILL BE ADDED TO SHEET L.5.***

32. The sides of the Water Quality Basin above the rip rap to be stabilized with erosion control matting (ECM). ***RELABLED & GRAPHICALLY SHOWN ON SHEET L.5, AND AS DETAILED ON SHEET L.10.***

14 & 18 MILL POND DRIVE: INITIAL STAFF REVIEW COMMENT RESPONSES; 26 MAY 2025

33. Proposed planting, Tinkerbell Mountain Laurel, on east side of entrance drive may eventually grow high enough to block the line-of-sight looking east. Consider using plant material that does not grow as high and/or set further back proposed planting from the street. ***SHRUBS AND TREE MOVED TO THE NORTH +/-5' SO THEY ARE NOW OVER 22' OFF ROAD EDGE.***

Sheets L.6 – L.9: No comments.

Drawing Package Addition: ***A NEW DETAIL SHEET L.10 WAS ADDED TO ACCOMMODATE NEW DETAILS, AS NOTED ABOVE.***

34. Design professional(s) to provide an as-built letter stating that the site was constructed according to the approved plans. ***AN AS-BUILT LETTER FROM THE APPROPRIATE DESIGN TEAM MEMBER WILL BE GENERATED AT THE END OF CONSTRUCTION, AS REQUESTED.***

Stormwater Management:

35. The infiltration rate used for the design of the infiltration BMPs is far above an acceptable rate. While the field measurements showed rates more than 500 inches per hour, an acceptable design rate would be 50 inches per hour. This will account for long term clogging of the infiltration surface. The Water Quality Basin is sufficiently large enough for this slower rate, the stormwater chamber system will need to be enlarged. ***DRAINAGE SUMMARY WAS REVISED AND SUBSEQUENTLY THE BASIN ENLARGED TO REFLECT NEW CALCULATED STORM FLOW VOLUMES.***

36. Provide the profile plots from the Hydraflow Storm Sewers computations to verify that pipe sections are not surcharged during the design flows. ***DRAINAGE SUMMARY WAS REVISED TO INCLUDE THESE PROFILE PLOTS.***

Robert C. Schechinger, Jr. ASLA

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Farmington, CT 06032
Telephone: (860) 478 - 7839
Email: biff.design@sbcglobal.net

Landscape Architect
Master Planning
Urban Design
Construction Administration

4 June 2025

Ms. Abigail Kenyon
Community Development Director
Granby Town Hall
15 North Granby Road
Granby, CT 06035

Re: Proposed Revised Project Narrative: New Commercial Building and Related Site Improvements;
14 Mill Pond Drive; Granby, CT 06035

The undeveloped 32,130 Sq. Ft. Project Lot lies within the C-2 Commercial Zone, north of Floydville Road and south of the Stop & Shop complex, on the north side of Mill Pond Drive. A 4,950 Sq. Ft. Commercial Building is to be erected to house #2 - 1,512 Sq. Ft. and #1 - 1,926 Sq. Ft. General Retail Office / Stores and Warehouse Storage Units. Briggs Lawn and Garden Store will occupy the southern / front 1,512 Sq. Ft. Unit with 400 Sq. Ft. of Retail / Office space and 1,112 Sq. Ft. Warehouse Storage area in the rear, that will include Landscape Materials Displays and Vehicle / Equipment Storage. The proposed middle and rear Units will be occupied by similar uses. There are underground electric, sewer and water utility services within the abutting street Right of Way. The Building structure will have a prefabricated metal sheathing, similar in color, scale and materials to the commercial / retail facilities on this road, particularly the adjacent building on #18 Mill Pond Drive, (see attached Architecture Drawings).

The Lawn and Garden Store will focus on Tools and General Hardware. Herbicides, Pesticides, and other related Chemicals will not be stored or sold in any of the Units. A maximum of one #5 Gallon Container of Vehicle and Equipment Oil and one of Lubricant will be stored in that space to service minor equipment and vehicle maintenance; all substantive maintenance will be done off-site in a certified Vehicle Repair Facility. Stored Equipment anticipated includes a Backhoe and Small Dump Truck for bulk movement of Topsoil and Bark Mulch, and sundry small Lawn Maintenance Equipment for site use. These bulk landscape materials will be stored in the outdoor, three-sided, roofed Materials Storage Bin.

In addition, there will be #26 requisite parking spaces, spread out over the site. Portions of the proposed Parking Lot are located just off the eastern property line. A proposed 24' Access Driveway, located in the northeast corner of the Lot, will connect with the #18 Mill Pond Road Parking Lot. This will enable our application for Shared Access & Parking pursuant to Zoning Section 7, Article 3, Item 1., (both Parcels are under the same ownership). A Use / Access Easement will be provided prior to our first Hearing that codifies the shared driveway and parking areas, (see attached Easement Sketch).

All landscape requirements have been met, or exceeded, by the proposed development plan and significant screening plantings. Lighting for the project will be provided by LED, full cutoff fixtures

The property is outside any Wetlands / Watercourses Upland Review Area, but will require Site Plan Approval, as well as a Special Permit, since the Parcel is within the Aquifer Protection Overlay Zone. There are no interior drains proposed for the Retail Service area and an Aquifer Zone Project Notes And Safety Protocol Outline has been included to provide a guide for Aquifer protection tailored to the Facility's size and expected level of Vehicle and Equipment maintenance activities. In addition, there are no Private Wells within 200' and Public Wells within 1,000' of either parcel.

Respectfully,

Biff Schechinger
(Robert C. Schechinger Jr., ASLA)

PROPOSED COMMERCIAL FACILITY
#14 MILL POND DRIVE, GRANBY, CONNECTICUT 06035

SUBMISSION TO PLANNING & ZONING COMMISSION FOR SPECIAL PERMIT / SITE PLAN APPROVAL -
#14 MILL POND DRIVE: PROPOSED NEW COMMERCIAL BUILDING AND
RELATED SITE IMPROVEMENTS IN COMMERCIAL C-2 ZONE & AQUIFER OVERLAY ZONE

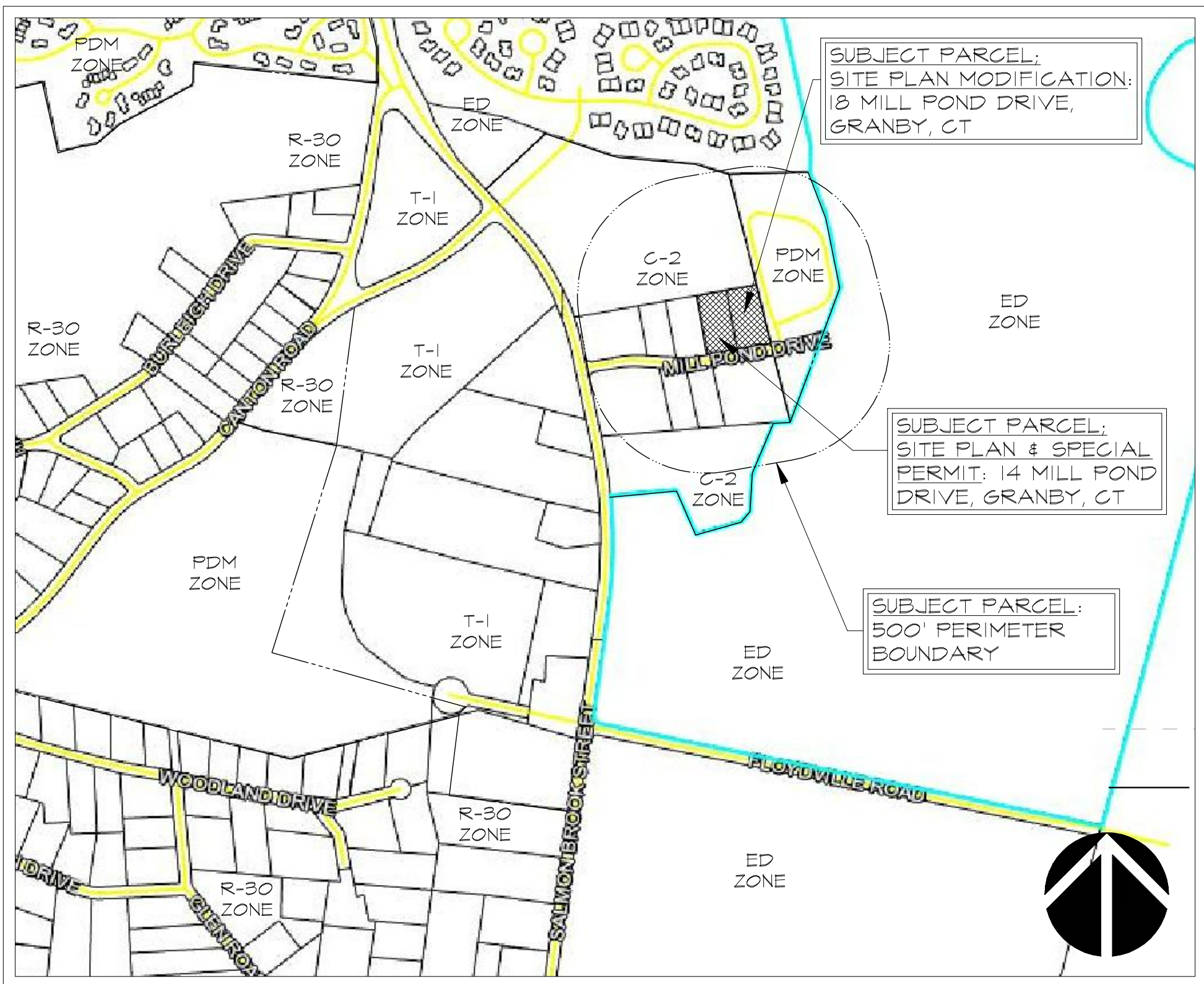
PROJECT CONSULTANTS:

LANDSCAPE ARCHITECT: BIFF SCHECHINGER, ASLA
ROBERT SCHECHINGER, JR. ASLA
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FARMINGTON, CT 06032
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BUILDING MANUFACTURER:
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CIVIL ENGINEER:
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200 PIGEON HILL ROAD
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SURVEYOR:
JERRY P. MAHER, JR. L.S.
MERIANI LAND SURVEYING, L.L.C.
56 HILLCREST DRIVE
BARKHAMSTED, CONNECTICUT 06063
PHONE: (860) 677-7732
EMAIL: JERRY@MERIANISURVEYING.COM



LOCATION MAP:
SCALE: 1" = 500'

ZONING & DEVELOPMENT DATA:

ZONING SCHEDULE: C-2 COMMERCIAL BUSINESS ZONE PARCEL #14 MILL POND DRIVE:		
ZONING REQUIREMENTS:	PROPOSED:	
Min. Lot Area = 20,000 Sq. Ft.; 0.459 Ac.	32,130 Sq. Ft.; 0.738 Ac.	
Max. Lot Coverage = 40% Lot Area, (12,852 Sq. Ft.)	18.85%, (6,058 Sq. Ft.)	
Min. Landscape Area = 20% Lot Area, (6,426 Sq. Ft.)	30.36%, (9,755 Sq. Ft.)	
Max. Main Building Height / Stories = 45'; 3 Stories	+/- 25.00'; 1 Story	
Min. Lot Frontage = 100 L.F.	126.00 L.F.	
Min. Lot Depth = 150 L.F.	205.00 L.F.	
Min. Building Front Yard Setback = 50 L.F.	85.50 L.F.	
Min. Building Side Yard Setback, = 10 L.F.	10.00 L.F.	
Min. Building Rear Yard Setback = 20 L.F.	79.50 L.F.	
Min. Parking Front Yard Setback = 20 L.F.	39.50 L.F.	
Min. Parking Side Yard Setback = 15 L.F.	0.50 L.F. *	
(*Section 7, Article 3 – Location of Parking Spaces, Item 1 – Commercial Parking Areas May Be Paved To Common Property Line With Cross-Easements For Shared Parking)		
Min. Parking Rear Yard Setback = 10 L.F.	10.00 L.F.	
PARKING REQUIREMENTS:	PROPOSED:	
Min. Retail / Office Parking – 6 Space / 1,000 Sq. Ft.	1,200 Sq. Ft. = 7.20 Spaces, (#7 Spaces)	
Min. Storage Retail Parking – 5 Space / 1,000 Sq. Ft.	3,750 Sq. Ft. = 18.75 Spaces, (#19 Spaces)	
Min. Total Parking = #26	#26 Spaces	
Min. Handicap Parking Spaces- 1 Space / 25 Spaces = #2 Spaces	#2 Spaces*	
(*1 Standard Handicap Space Parking @ 10' x 18', #1 Handicap Van Parking Space @ 8' x 18', #1 Shared Access Aisle @ 8' x 18')		
Min. Standard 90 Degree Parking Space = 9' x 18'	9' x 18'	
Min. Two Way Driveway Width W/ Single Loaded Parking Bay = 22 L.F.	22.00 L.F.	
Min. Two Way Driveway Width W/ Double Loaded Parking Bays = 24 L.F.	24.00 L.F.	
Min. Pedestrian Sidewalk Width = 4 L.F.	5.00 L.F.	
LANDSCAPE REQUIREMENTS:	PROPOSED:	
Min. Landscape Front Yard Buffer Width = 20 L.F.	20.00 L.F.	
Min. Landscape Front Yard Buffer Trees - #1 Tree / 25 L.F. = #6 Trees	#6 Trees	
Min. Parking Lot Trees - #1 Tree / #15 Spaces = #2 Trees	#4 Trees	
ZONING SCHEDULE: C-2 COMMERCIAL BUSINESS ZONE PARCEL #18 MILL POND DRIVE:		
ZONING REQUIREMENTS:	EXISTING:	PROPOSED:
Min. Lot Area = 20,000 Sq. Ft.; 0.459 Ac.	35,125 Sq. Ft.; 0.806 Ac.	35,125 Sq. Ft.; 0.806 Ac.
Max. Lot Coverage = 40% Lot Area, (14,050 Sq. Ft.)	14.86%, (5,220 Sq. Ft.)	16.03%, (5,631 Sq. Ft.)*
Min. Landscape Area = 20% Lot Area, (7,025 Sq. Ft.)	38.11%, (13,386 Sq. Ft.)	36.93%, (12,975 Sq. Ft.)*
(*Added 411 Sq. Ft. of 24' Wide Driveway Connector to Lot #14 - Section 7, Article 3 – Location of Parking Spaces, Item 1 – Commercial Parking Areas May Be Paved To Common Property Line With Cross-Easements For Shared Parking)		
PARKING REQUIREMENTS:	PROPOSED:	
Min. Storage Retail Parking – 5 Space / 1,000 Sq. Ft.	3,000 Sq. Ft. = #15 Spaces	
Min. Retail Stores Parking – 6 Space / 1,000 Sq. Ft.	1,800 Sq. Ft. = #11 Spaces	
Min. Total Parking = #26	#26 Spaces	
Min. Handicap Parking Spaces- 1 Space / #25 Spaces = #2 Spaces	#2 Spaces	
(#1 Standard Handicap Space Parking @ 10' x 18', #1 Handicap Van Parking Space @ 8' x 18', #1 Shared Access Aisle @ 8' x 18')		
Min. Standard 90 Degree Parking Space = 9' x 18'	9' x 18'	
Min. Two Way Driveway Width Without Parking = 22 L.F.	22.00 L.F.	
Min. Two Way Driveway Width With Parking = 24 L.F.	24.00 L.F.	
Min. Pedestrian Sidewalk Width = 4 L.F.	5.00 L.F.	

DATE: 2 MAY 2025
REVISED: 4 JUNE 2025

DRAWING TABLE OF CONTENTS:

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SHEET S.1: PROPERTY & TOPOGRAPHIC SURVEY
SHEET L.1: SITE PLAN
SHEET L.2: LAYOUT PLAN
SHEET L.3: GRADING / DRAINAGE PLAN
SHEET L.4: S & E CONTROL / UTILITY PLAN
SHEET L.5: LANDSCAPE / SIGNAGE PLAN
SHEET L.6: LIGHTING / PHOTOMETRIC PLAN
SHEET L.7: SITE DETAILS & GENERAL NOTES
SHEET L.8: SITE DETAILS & GENERAL NOTES
SHEET L.9: SITE DETAILS & GENERAL NOTES
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SHEET 1: COVER SHEET & GENERAL SPECIFICATIONS
SHEET 2: POLE LAYOUT/ FLOOR PLAN
SHEET 3: WEST BUILDING ELEVATION
SHEET 4: EAST BUILDING ELEVATION
SHEET 5: SOUTH BUILDING ELEVATION
SHEET 6: NORTH BUILDING ELEVATION
SHEET 7: BUILDING CROSS SECTION DETAIL
SHEET 8: INTERIOR TRUSS STRUCTURAL DETAIL
SHEET 9: GABLE END TRUSS STRUCTURAL DETAIL

SITE PLAN & SPECIAL PERMIT APPLICATIONS
APPROVED BY THE TOWN OF GRANBY PLANNING
AND ZONING COMMISSION ON MAY 10, 2025

CHAIRMAN'S SIGNATURE _____ DATE _____

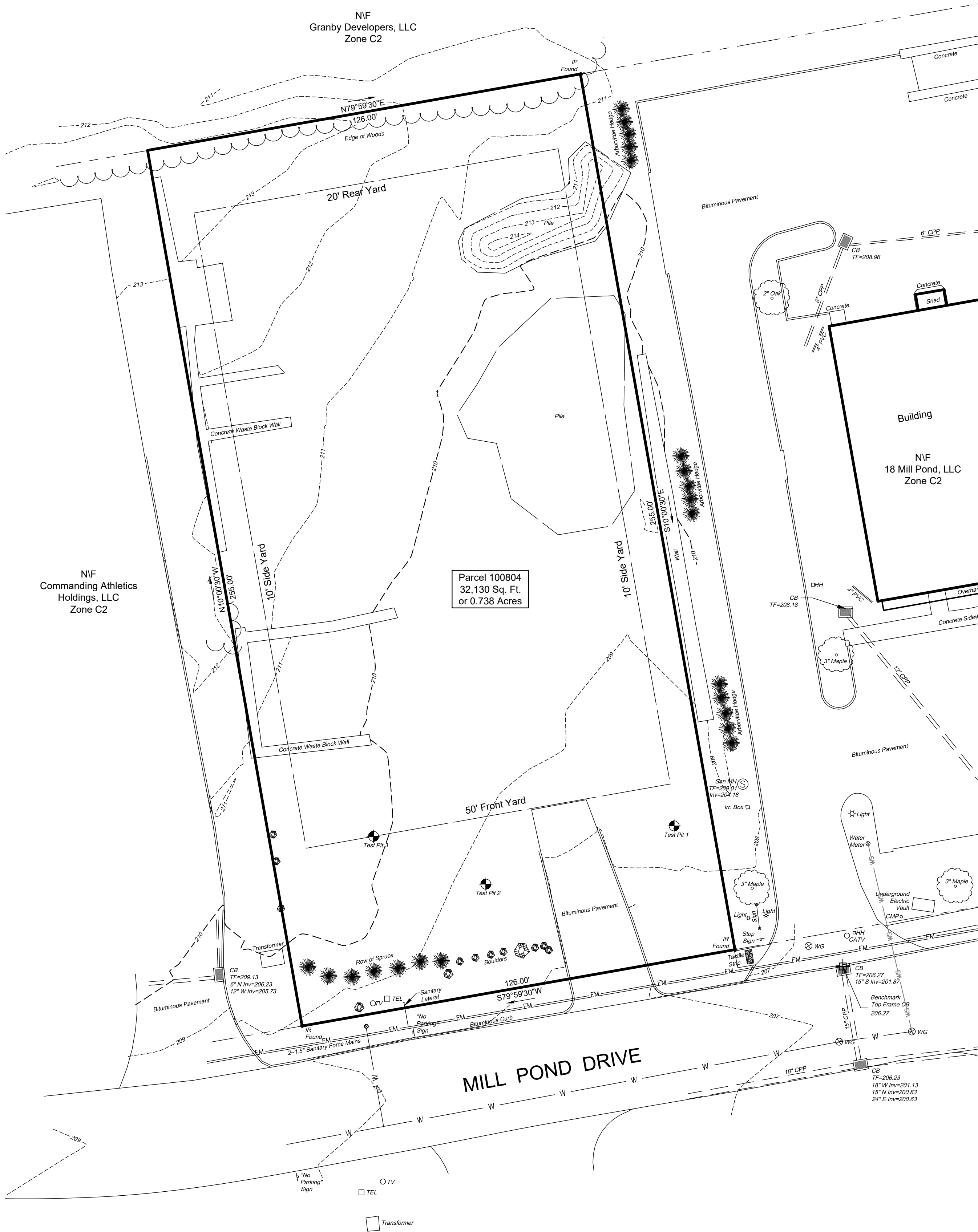
18 Mill Pond, LLC
161 NOTCH ROAD, GRANBY, CT 06035

Map References:

- "Subdivision Prepared For Michael B. and Eileen K. Guarco, Salmon Brook Street, Granby, Connecticut, Scale: 1 In. = 40 Ft., Date: 3/23/98", Alford Associates, Inc.

Notes:

- Parcel is located in Zone C2 - Commercial
- Existing sanitary force main and water main locations are approximate only and were not field located by this office.



CGS NAD83 — Horizontal
NAVD88 — Vertical

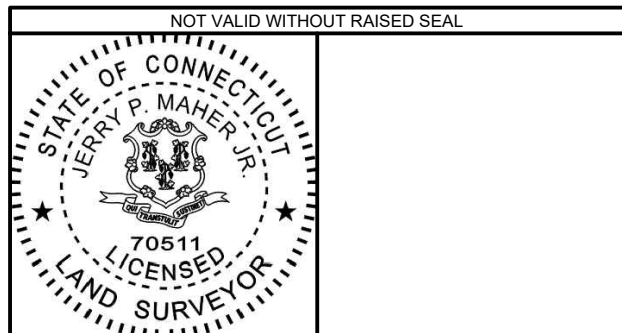
THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.

THIS IS A PROPERTY SURVEY BASED UPON A DEPENDENT RESURVEY.

CLASS OF ACCURACY: CLASS A-2 / T-2.

TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.


JERRY P. MAHER JR. - LAND SURVEYOR
CT LSX.0070511



These drawings are the property of the Surveyor and have been prepared specifically for the Owner of the Project at this site. They are not to be used for any other purpose, location, or person without the written consent of the Surveyor.

No declaration is expressed or implied unless these plans bear the live signature and embossed seal of the Surveyor whose name appears hereon.



Revisions:
1. June 3, 2025: Town staff comments

Map Showing Land of
18 Mill Pond Drive
18 Mill Pond Drive

Granby Connecticut
Scale: 1"=20' January 21, 2025

Prepared By
Neriani Land Surveying, LLC
56 Hillcrest Drive - Barkhamsted, Connecticut 06063
(860) 677-7732

DRAWN BY:	CHECKED BY:	JOB NO.	SHEET No.
GRA	JPM	21-14	S.1

PROP. NEW TREE LINE, AS NOTED, (SEE GRADING & DRAINAGE PLAN, SHEET L.3)

EX. TREE LINE, TO REMAIN, AS NOTED, (SEE GRADING & DRAINAGE PLAN, SHEET L.3)

PROP. #7 - 18' X 9' STANDARD PARKING BAYS, (AS DETAILED, SEE LAYOUT PLAN L.2).

PROP. LIMIT OF ON-SITE DISTURBANCE, (SEE GRADING / DRAINAGE PLAN L.3).

PROP. 6' HT. SOLID VINYL DUMPSTER PAD SCREENING FENCE, (AS DETAILED, SEE DETAIL SHEET L.8)

PROP. 19'-4" X 8'-10" CONCRETE DUMPSTER PAD, (AS DETAILED, SEE DETAIL SHEET L.8).

PROP. 6' DOUBLE-HUNG 5' WIDE CHAIN LINK DUMPSTER GATES W/ HDPE INSET SCREENING SLATS AND VEHICLE PROTECTION BOLLARDS,, (AS DETAILED, SEE DETAIL SHEET L.8).

PROP. 14' X 30' X 10' COVERED CONCRETE BLOCK MATERIALS STORAGE BIN; ROOF AREA = 512 SQ. FT., (AS DETAILED, SEE SHEET L.3).

PROP. 3" THICK BITUMINOUS PAVEMENT DRIVEWAY, TYP., (AS DETAILED, SEE DETAIL SHEET L.7).

PROP. 6" BITUMINOUS PAVEMENT CURB, TYP., (AS DETAILED, SEE DETAIL SHEET L.7).

REMOVE CONCRETE BLOCK STORAGE BIN, TYP.

PROP. TYPE "C-L" CATCH BASIN, (AS DETAILED, SEE DETAIL SHEET L.8).

PROP. 4" ROOF DOWNSPOUT (AS NOTED, SEE GRADING & DRAINAGE PLAN L.3).

PROP. 4,950 SQ. FT. FABRICATED METAL CLAD COMMERCIAL FACILITY, (ROOF AREA = 5,546 SQ. FT.).

PROP. 155' RAISED FOUNDATION FROST WALL SECTION; (AS NOTED, SEE GRADING & DRAINAGE SHEET L.3).

PROP. LIMIT OF ON-SITE DISTURBANCE, (SEE GRADING / DRAINAGE PLAN L.3).

PROP. 2' ROOF OVERHANG, ALL AROUND, TYP.

REMOVE CONCRETE BLOCK STORAGE BIN, TYP.

PROP. 6" SANITARY SEWER CLEAN-OUT, (AS NOTED, SEE S & E CONTROL / UTILITY PLAN, SHEET L.4).

PROP. ELECTRIC SERVICE AND TRANSFORMER; FINAL LOCATION AND DESIGN SPECIFICATIONS TO BE DETERMINED BY THE UTILITY COMPANY.

PROP. MONOLITHIC CONCRETE SIDEWALK & 6" CURB, (AS DETAILED, SEE DETAIL SHEET L.7)

PROP. FLARED END SECTION, (AS DETAILED, SEE DETAIL SHEET L.8).

PROP. WATER QUALITY BASIN W/ RIP-RAP BOTTOM, (AS NOTED, SEE GRADING / DRAINAGE PLAN, SHEET L.3)

PROP. 1" WATER SERVICE LINE, (AS NOTED, SEE S & E CONTROL / UTILITY PLAN, SHEET L.4).

PROP. ELECTRIC SERVICE CONDUIT, (AS NOTED, SEE S & E CONTROL / UTILITY PLAN, SHEET L.4).

PROP. 6" GRAVITY SDR-35 SANITARY SEWER LATERAL, (AS NOTED, SEE S & E CONTROL / UTILITY PLAN, SHEET L.4).

EX. ELECTRIC TRANSFORMER, (TO BE PRESERVED).

PROP. GRINDER PUMP UNIT, (AS NOTED, SEE S & E CONTROL / UTILITY PLAN, SHEET L.4).

PROP. SANITARY SEWER FORCE MAIN, (AS NOTED, SEE S & E CONTROL / UTILITY PLAN, SHEET L.4).

PROP. TELECOMMUNICATIONS SERVICE CONDUIT, (AS NOTED, SEE S & E CONTROL / UTILITY PLAN, SHEET L.4).

EX. TELEVISION / CABLE CABINET, (TO BE PRESERVED).

EX. TELECOMMUNICATIONS CABINET, (TO BE PRESERVED).

EX. WATER SERVICE LINE, (TO BE PRESERVED).

EX. "NO PARKING" SIGN TO BE PRESERVED; RESET AS REQUIRED BY GRADE CHANGE, (SEE GRADING AND DRAINAGE PLAN, SHEET L.3).

TRANSPLANT SPRUCE TREE PLANTING, TYP., (AS NOTED, SEE LANDSCAPE PLAN, SHEET L.5)

EX. BOULDERS, (TO REMAIN AND / OR RELOCATED).

PROP. LIMIT OF OFF-SITE DISTURBANCE, (SEE GRADING / DRAINAGE PLAN L.3).

PROP. FACILITY SIGN W/ LED SHIELDED DOWN-LIGHTS, (AS DETAILED, SEE DETAIL SHEET L.9)

PROP. 5' CONCRETE SIDEWALK CONTINUATION W/ 2' X 4' TACTILE WARNING TILE STRIP AT BOTTOM, (AS DETAILED, SEE DETAIL SHEET L.7)

PROP. TRAFFIC CONTROL "STOP" SIGN, (AS DETAILED, SEE DETAIL SHEET L.7)

SITE DEVELOPMENT: SHARED ACCESS & PARKING REFERENCE NOTE:
A SHARED PARKING / ACCESS AGREEMENT FOR BOTH #14 & #18 MILL POND DRIVE WILL HAVE TO BE EXECUTED AND FILED ON THE TOWN'S LAND RECORDS, AS A CONDITION OF APPROVAL FOR THIS SITE PLAN / SPECIAL PERMIT, (PER ZONING SECTION 7, ARTICLE 3, ITEM 1.)

MATERIALS BIN ACCESSORY STORAGE BUILDING NOTE:
OUTSIDE STORAGE IS LIMITED TO THE MATERIAL STORAGE BIN SHOWN ON THE SITE PLAN. ALL OTHER MATERIALS AND EQUIPMENT ARE TO BE STORED INSIDE, UNLESS OTHERWISE PERMITTED BY THE COMMISSION THROUGH A SITE PLAN MODIFICATION AND SPECIAL PERMIT.

SITE DEVELOPMENT NOTES:
1.) A PERMIT FOR WORK WITHIN THE TOWN RIGHT OF WAY WILL BE REQUIRED.
2.) A SEWER ASSESSMENT AND SEWER CONNECTION FEES WILL BE REQUIRED.
3.) A SPECIAL PERMIT IS REQUIRED FOR THE FREESTANDING SIGN FOR BOTH ILLUMINATION AND SIZE. THE COMMISSION CAN APPROVE THESE ITEMS AS PART OF THIS SITE PLAN / SPECIAL PERMIT APPLICATION.

EX. SOIL STOCKPILE ENCROACHMENT, TO BE REMOVED AND DEVELOPED OR LANDSCAPED, (AS NOTED, SEE LANDSCAPE PLAN, SHEET L.5)

TRANSPLANT OR REPLACE ARBORVITAE PLANTING, TYP., (AS NOTED, SEE LANDSCAPE PLAN, SHEET L.5)

PROP. 411 SQ. FT., 3" THICK, CURBED DRIVEWAY CONNECTOR W/ +/-43 LF OF BITUMINOUS CURBING, (ON LOT #18 TO ACCESS LOT #14 PARKING - SEE CONCURRENT SITE PLAN MODIFICATION APPLICATION FOR #18 MILL POND DRIVE).

REMOVE +/-1.8' - 6" BITUMINOUS CURB SECTIONS WITHIN NEW DRIVEWAY CONNECTION, TYP.

PROVIDE CLEAN, SAW-EDGE FOR EXISTING BITUMINOUS AND PROPOSED BITUMINOUS PAVEMENT JOINT, TYP., (AS DETAILED, SEE SHEET L.7).

PROP. TYPE "C-L" CATCH BASIN, (AS DETAILED, SEE DETAIL SHEET L.8).

PROP. #17 - 18' X 9' STANDARD PARKING BAYS, (AS DETAILED, SEE LAYOUT PLAN L.2).

PROP. 6" BITUMINOUS PAVEMENT ISLAND CURB, TYP., (AS DETAILED, SEE DETAIL SHEET L.7).

REMOVE +/-1.8' - 6" BITUMINOUS CURB SECTION WITHIN NEW DRIVEWAY CONNECTION, TYP.

EX. SOIL STOCKPILE ENCROACHMENT, TO BE REMOVED AND DEVELOPED OR LANDSCAPED, (AS NOTED, SEE LANDSCAPE PLAN, SHEET L.5)

PROP. LIMIT OF OFF-SITE DISTURBANCE, (SEE GRADING / DRAINAGE PLAN L.3).

LEGEND

EX. SPOT ELEVATIONS 208.42X

PROP. SPOT ELEVATIONS 269.04

TOP OF RAMP ELEV. / 370.69

BOTTOM OF RAMP ELEV. 370.19

EXISTING CONTOUR -375-

PROPOSED CONTOUR 265

LIMIT OF DISTURBANCE

EXISTING TREE LINE

PROPOSED TREE LINE

EX. CATCH BASIN

PROP. CATCH BASIN

PROP. YARD DRAIN

PROP. FLARED END

PROP. ROOF DRAIN

EX. STORM MANHOLE

PROP. STORM MANHOLE

EX. SEWER MANHOLE

PROP. SEWER MANHOLE

PROP. SEWER LINE

PROP. SEWER FORCE MAIN

REMOVE CONCRETE BLOCK STORAGE WALL, TYP.

PROP. WALL PACK LED DOWN-LIGHTS, (AS NOTED, SEE LIGHTING PLAN L.6).

PROP. POLE-MOUNTED LED AREA LIGHTING, (AS NOTED, SEE LIGHTING PLAN L.6).

PROP. TYPE "C-L" CATCH BASIN, (AS DETAILED, SEE DETAIL SHEET L.8).

PROP. RECESSED LED DOWN-LIGHTS, (AS NOTED, SEE LIGHTING PLAN L.6).

PROP. 5' HANDICAP SIDEWALK RAMP #3, (AS DETAILED, SEE DETAIL SHEET L.10).

PROP. MONOLITHIC CONC. LANDINGS W/ DOMELED EXPANSION JOINT AT BUILDING, (AS DETAILED, SEE DETAIL SHEET L.7).

PROP. 5' HANDICAP SIDEWALK RAMP #2, (AS DETAILED, SEE DETAIL SHEET L.10).

PROP. STANDARD HANDICAP CAR PARKING SIGN AND TRAFFIC BOLLARD, (AS DETAILED, SEE DETAIL SHEET L.8).

PROP. 5' HANDICAP SIDEWALK RAMP #1, (AS DETAILED, SEE DETAIL SHEET L.7).

PROP. 18' X 10' STANDARD HANDICAP PARKING BAY & 18' X 8' HANDICAP VAN PARKING BAY, WITH SHARED 18' X 8' ACCESS AISLE, (AS DETAILED, SEE LAYOUT PLAN L.3).

PROP. 5' X 15.5' FLUSH CONC. SIDEWALK & HAUNCHED CURB SECTION, W/ 2' X 4' TACTILE WARNING TILES (AS DETAILED, SEE DETAIL SHEET L.7).

PROP. HANDICAP VAN PARKING SIGN AND TRAFFIC BOLLARD, (AS DETAILED, SEE DETAIL SHEET L.8).

EX. SANITARY SEWER FORCE MAIN PIPE, TO BE PRESERVED; FIELD VERIFY LOCATION.

PROP. WATER QUALITY INFILTRATOR CHAMBER IN STONE PAD, (AS DETAILED, SEE DETAIL SHEET L.9).

PROP. TYPE "C" CATCH BASIN WITH HOOD, (AS DETAILED, SEE DETAIL SHEET L.10).

PROP. 5' CONCRETE SIDEWALK CONTINUATION W/ 2' X 4' TACTILE WARNING TILE STRIP AT BOTTOM, (AS DETAILED, SEE DETAIL SHEET L.7)

REMOVE +/-18' BITUMINOUS CURB SECTION, TYP.

REMOVE EX. BITUMINOUS ENTRY DRIVEWAY & CURB SECTIONS, TYP.

EX. ELECTRIC SERVICE LINE, FROM LOT #18, (TO BE FIELD LOCATED AND PROTECTED).

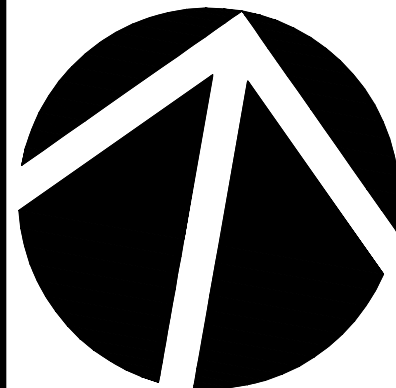
PROPOSED 12' - 6" PAINTED, WHITE STOP BAR

SITE DEVELOPMENT: PARKING REQUIREMENTS DATA:
MIN. RETAIL / OFFICE PARKING - 6 SPACE / 1,000 SQ. FT. PROPOSED 1,200 SQ. FT. = 7.20 SPACES. MIN. STORAGE RETAIL PARKING - 5 SPACE / 1,000 SQ. FT. PROPOSED 3,750 SQ. FT. = 18.75 SPACES. MIN. TOTAL PARKING, #7.20 + #18.75 = #25.95 = #26 SPACES.

SITE PLAN & SPECIAL PERMIT APPLICATIONS
APPROVED BY THE TOWN OF GRANBY PLANNING
AND ZONING COMMISSION ON MAY 10, 2025

CHAIRMAN'S SIGNATURE

DATE



Proposed Commercial Facility:
#14 MILL POND DRIVE, GRANBY, CT
SITE PLAN

18 Mill Pond, LLC
161 NOTCH ROAD, GRANBY, CT 06035

Prepared For:

1" = 20'

0' 10' 20' 30' 40' 60'

Scale:

Date:

2 May 2025

Revisions: 6/4/2025

Seal:



Prepared By:
Robert C. Schoechinger, Jr. ASLA
772 Farmington Avenue
Farmington, CT 06032
Telephone: (860) 478 - 7839
Email: Biff.Design@sbglobal.net
Website: BiffLandDesign.com

Sheet No.

L.1

DRIVEWAY CURB #1:
R = 5.00'
L = 7.85'
A = 90D-00'-00"

DRIVEWAY CURB #2:
R = 15.00'
L = 23.65'
A = 90D-19'-29"

DRIVEWAY CURB #3:
R = 5.00'
L = 7.85'
A = 90D-00'-00"

DRIVEWAY CURB #4:
R = 5.00'
L = 7.85'
A = 90D-00'-00"

DRIVEWAY CURB #5:
R = 5.00'
L = 7.85'
A = 90D-00'-00"

DRIVEWAY CURB #6:
R = 1.50'
L = 11.78'
A = 90D-00'-00"

DRIVEWAY CURB #7:
R = 10.00'
L = 15.70'
A = 180D-00'-00"

DRIVEWAY CURB #8:
R = 10.00'
L = 15.70'
A = 180D-00'-00"

DRIVEWAY CURB #9:
R = 10.00'
L = 15.56'
A = 84D-11'-28"

PROPOSED BUILDING EXTERIOR FROST WALL TO BE SET A HALF FOOT OFF THE BUILDING SETBACK LINE, TYP.

PROPOSED 6" SANITARY SEWER CLEAN-OUT, (AS NOTED, SEE S & E CONTROL / UTILITY PLAN, SHEET L.4).

PROPOSED ELECTRIC SERVICE AND TRANSFORMER, FINAL LOCATION AND DESIGN SPECIFICATIONS TO BE DETERMINED BY THE UTILITY COMPANY.

EX. ELECTRIC TRANSFORMER, (TO BE PRESERVED).

PROPOSED SANITARY GRINDER & PUMP CHAMBER, (AS NOTED, SEE S & E CONTROL / UTILITY PLAN, SHEET L.4).

PROPOSED STORM DRAINAGE WATER QUALITY BASIN, (AS NOTED AND DETAILED, SEE SITE PLAN SHEET L.1), GRADING & DRAINAGE PLAN, SHEET L.3 AND S & E CONTROL / UTILITY PLAN, SHEET L.4).

SITE PLAN & SPECIAL PERMIT APPLICATION
APPROVED BY THE TOWN OF GRANBY
AND ZONING COMMISSION ON MAY 1, 2015

SITE PLAN & SPECIAL PERMIT APPLICATIONS
APPROVED BY THE TOWN OF GRANBY PLANNING
AND ZONING COMMISSION ON MAY 10, 2025

#14 MILL POND DRIVE; GRANBY, CT

18 Mill Pond, LLC
161 NOTCH ROAD; GRANBY, CT 06035

161 NOTCH ROAD; GRANBY, CT 06035

Scale: 1" = 20'

 0' 10' 20' 30' 40' 50' 60'
 Date: 2 May 2025
 Revisions: 6/4/2025

STATE OF CONNECTICUT
ROBERT C. SCHECHINGER, JR.
★ LICENSED NO. 530 ARCHITECT ★
LANDSCAPE

Sheet No.

L.2

Storm Drain Line ID	Line Length (FT)	Pipe Size (INCH)	Pipe Slope (%)	Inv Elev. Up (FT)	Inv Elev. Dn (FT)
CB #1 TO INFILTRATOR	15	4	0.98	205.42	205.27
CB #2 TO FE #1	84	12	0.59	207.49	207.00
CB #3 TO CB #2	81	10	0.51	208.07	207.66
CB #4 TO CB #3	67	10	0.50	208.41	208.07
RL #1 TO FE #2	28	6	4.46	208.25	207.00
YD #1 TO RL #1	46	6	0.60	208.53	208.25
RL #2 TO YD #1	45	4	1.07	209.18	208.70
RL #3 TO FE #3	31	6	4.20	208.30	207.00
RL #4 TO RL #3	90	4	0.59	209.00	208.47

SITE PLAN & SPECIAL PERMIT APPLICATIONS
APPROVED BY THE TOWN OF GRANBY PLANNING
AND ZONING COMMISSION ON MAY 10, 2025

CHAIRMAN'S SIGNATURE

DATE

GENERAL GRADING NOTES:

- The Contractor shall check and verify all contract documents and dimensions and all existing site conditions. Any discrepancies shall be reported to the Owner, Engineer, Landscape Architect and / or appropriate Town Staff, as required, before proceeding with any work. Any work started before notification to the Owner and /or appropriate Town Staff shall be the sole responsibility of the Contractor and shall be subject to corrections without additional compensation.
- All items or work shall be laid out and grades established with stakes for approval by the Owner, Engineer, Landscape Architect and / or appropriate Town Staff prior to beginning work. Any discrepancies noted in the field from the drawings shall be brought to their attention prior to commencement of any work.
- All finish grades shall be subject to final approval by the Owner, Engineer, Landscape Architect and / or appropriate Town Staff prior to finish grading.
- Proposed grades shall be feathered and blended to meet existing terrain conditions following acceptable standard procedures according to the grade contours, as shown on the Drawings.
- Fill material shall be clean excavated earth, sand, bank run gravel or other appropriate material. Under no circumstances shall rubbish, construction debris or boulders more than 6" in largest dimension, or other unsuitable material be contained within the fill material.
- All construction debris remaining after construction work is completed shall be removed from the site and properly disposed of in a legal manner by the Contractor.
- Any surplus materials shall be redistributed on-site as approved, unless otherwise directed by the appropriate Town Staff prior to its removal off site.
- Prior to any excavation, Contractor shall verify all underground utilities by calling "Call Before You Dig", 1-800-922-4455, (or 811), at least 72 hours in advance.
- Prior to construction the limits of construction shall be flagged in the field by the Surveyor and certified as consistent with delineated development envelopes on approved Plans and as approved by the Owner and appropriate Town Staff, as required.
- All areas of existing vegetation to be preserved shall be flagged and protected with the appropriate specified structures and methods prior to any construction activity. Failure by the Contractor to adequately protect this vegetation shall require suitable replacement of destroyed and or damaged plant material at no additional cost to the Owner. The Owner and / or appropriate Town Staff shall be the sole judge of the type, size and quantity of all replacement plant material.
- All proposed Sedimentation and Erosion Control measures shall be implemented and structures installed prior to any earth disturbing construction activity, as detailed on the Drawings. The Contractor shall be responsible for the maintenance and preservation of functional viability of all measures for the duration of the project, or until specific sections of the project are successfully stabilized and approved by the Owner and / or appropriate Town Staff.
- Additional Sedimentation and Erosion Controls measures may be required during construction, due to un-foreseen site and/or weather conditions. The Owner and/or appropriate Town Staff shall direct the Contractor in the installation of these additional measures, as needed.

SUMMARY OF CONSERVATION PRACTICES -

TEMPORARY MEASURES DURING CONSTRUCTION

- CONSTRUCTION ENTRANCE PADS
- MIRAFI FABRIC FENCE TO BE PLACED IN AREAS AS SHOWN ON THE PLAN
- DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER
- ALL LITTER AND DEBRIS TO BE PICKED UP ON A REGULAR BASIS
- ANY DISCARDED CONSTRUCTION MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER
- DISTURBED SURFACE WATER WILL BE COLLECTED IN A TEMPORARY SWALE AND COLLECTED IN A TEMPORARY SEDIMENT BASIN
- LEAVE THE BOTTOM FOOT OF THE WATER QUALITY / DETENTION BASIN UNEXCAVATED UNTIL THE UPSTREAM DRAINAGE AREAS ARE STABILIZED.

PERMANENT MEASURES ONCE SITE IS DEVELOPED

- ALL DISTURBED AREAS WITHOUT PAVEMENT SHALL BE LOAMED AND SEEDED TO ESTABLISH PERMANENT GRASS COVER.
- ALL LITTER AND DEBRIS TO BE PICKED UP ON A REGULAR BASIS
- THERE WILL BE A PERMANENT WATER QUALITY / DETENTION BASIN.

EROSION AND SEDIMENTATION CONTROL NOTES -

- ALL CONSTRUCTION, STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROLS SHALL COMPLY WITH THE TOWN OF GRANBY REGULATIONS AND SPECIFICATIONS.
EROSION AND SEDIMENTATION CONTROLS SHALL ALSO BE IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL AND SEDIMENTATION CONTROL, DEP BULLETIN 34.
- AFTER A RAIN STORM, EROSION CONTROL MEASURES AND VEGETATIVE COVER SHALL BE INSPECTED FOR POSSIBLE DAMAGE OR WASHOUT. REPAIR AS NECESSARY.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE TOWN RESERVES THE RIGHT TO AMEND THE EROSION AND SEDIMENTATION CONTROL MEASURES AS FIELD CONDITIONS WARRANT.
- STOCKPILES OF HAY BALES, MIRAFI FABRIC FENCE, CRUSHED STONE, STAKES, ETC. ARE TO BE MAINTAINED ON SITE FOR UNSEEN EROSION AND SEDIMENTATION PROBLEMS THAT MAY ARISE.
THE CONTRACTOR AND/OR OWNER SHALL BE CONTACTED IN THE EVENT OF AN EMERGENCY EROSION OR SEDIMENTATION FAILURE.
STOCKPILE MATERIALS SHALL BE KEPT ON THE SITE FOR THE DURATION OF THE CONSTRUCTION.
- MAINTAIN DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER DURING CONSTRUCTION.

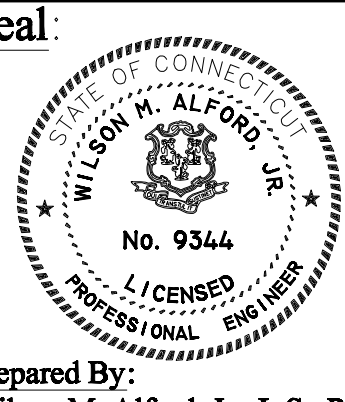
POST-CONSTRUCTION STORM DRAINAGE MAINTENANCE SCHEDULE:

MAINTENANCE OF THE ON-SITE STORM DRAINAGE IS THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY, (STEVEN BRIGGS, 860.817.4368).

MAINTENANCE SCHEDULE:

- PARKING AREA SURFACE CLEANING; ALL PAVED AREAS SHALL BE SWEEPED ANNUALLY BETWEEN APRIL 1st AND JULY 1st.
 - CATCH BASINS; ALL BASIN RIM AREAS AND SUMPS SHALL BE KEPT CLEAR OF SEDIMENT, TRASH AND DEBRIS. ALL CATCH BASINS SHALL BE INSPECTED ANNUALLY BETWEEN MAY 1st AND SEPTEMBER 15th AND SUMPS SHALL BE CLEANED WHEN THE DEPTH OF ACCUMULATED MATERIAL EXCEEDS 1 FOOT. ACCUMULATED SAND, DIRT AND DEBRIS SHALL BE DISPOSED OF OFF-SITE IN A PROPER MANNER.
 - SILT SACKS; SILT SACKS SHALL BE EMPTIED WHEN 6 INCHES TO 12 INCHES OF SEDIMENT HAS COLLECTED, BE INSPECTED EVERY 1 TO 2 WEEKS AND AFTER EVERY MAJOR RAIN EVENT.
 - STORM DRAINAGE PIPES AND STRUCTURES; ALL STORM DRAINAGE STRUCTURES AND PIPES SHALL BE KEPT IN PROPER WORKING CONDITION.
 - WATER QUALITY/DETENTION BASIN SHALL BE INSPECTED ANNUALLY FOR EVIDENCE OF EROSION, UNDERCUT OR ERODED AREAS SHALL BE REPAIRED WITHIN 30 DAYS OF DOCUMENTATION.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE TOWN RESERVES THE RIGHT TO AMEND THE EROSION AND SEDIMENTATION CONTROL MEASURES AS FIELD CONDITIONS WARRANT.
 - ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "2024 CONNECTICUT GUIDELINES FOR SOIL AND SEDIMENT CONTROL".
- MAINTENANCE NOTE: DRY-BOTTOM WATER QUALITY BASIN SIDES SHALL BE MAINTAINED BY SEASONAL PERIODIC MOWING DOWN TO A HEIGHT OF +/- 3" UNDER DRY CONDITIONS.

Seal:



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ENGINEER NOTE: SEALED
FOR STORM DRAINAGE,
SANITARY SEWER AND
RELATED DETAILS ONLY.



Drawing Title:
Proposed Commercial Facility:

#14 MILL POND DRIVE, GRANBY, CT

GRADING &

DRAINAGE PLAN

18 Mill Pond, LLC

161 NOTCH ROAD, GRANBY, CT 06035

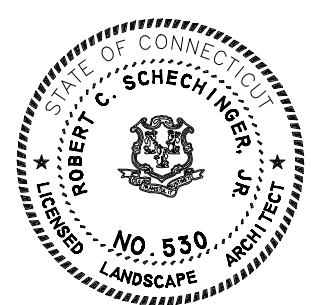
Prepared For:

Scale: 1" = 20'

Date: 2 May 2025

Revisions: 6/4/2025

Seal:



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Website: BiffAndDesign.com

Sheet No.

L.3

PRIVATE & PUBLIC WELL LOCATION PROXIMITY NOTE: THERE ARE NO PRIVATE WELLS WITHIN 200' AND NO PUBLIC WELLS WITHIN 1,000' OF EITHER SITE.

PROP. +/-10' TREE LINE SECTION TO BE PROTECTED WITH TREE BARRIER FENCING, AS NOTED AND DETAILED, (SEE DETAIL SHEET L.7).

EXISTING TREE LINE / VEGETATION TO BE PROTECTED WITH TREE BARRIER FENCING, AS NOTED AND DETAILED, (SEE DETAIL SHEET L.7).

PROP. SEDIMENT LOG SILT SOCK CHECK DAM, (AS DETAILED, SEE SHEET L.8).

PROP. TOP SOIL STOCK PILE ENCLOSED IN SILT FENCE, (AS DETAILED, SEE DETAIL SHEET L.8).

SEDIMENT LOG SILT SOCK AROUND EXTERIOR & SILT SACK INSIDE CATCH BASINS, TYP., (AS DETAILED, SEE SHEET L.8)

SILT FENCE, TYP., (AS DETAILED, SEE SHEET L.8)

LEGEND:

EX. SPOT ELEVATIONS 208.42X
PROP. SPOT ELEVATIONS 369.04
TOP OF RAMP ELEV. / 108.370.69
BOTTOM OF RAMP ELEV. 108.370.19
EXISTING CONTOUR -375-
PROPOSED CONTOUR 365
LIMIT OF DISTURBANCE
EXISTING TREE LINE
PROPOSED TREE LINE
EX. CATCH BASIN
PROP. CATCH BASIN
PROP. YARD DRAIN
PROP. FLARED END
PROP. ROOF DRAIN
EX. STORM MANHOLE
PROP. STORM MANHOLE
EX. SEWER MANHOLE
PROP. SEWER MANHOLE
PROP. SEWER LINE
PROP. SEWER FORCE MAIN

PROP. EROSION & SEDIMENTATION CONTROLS LEGEND:

50' DEEP CONSTRUCTION ENTRY PAD.
BIODEGRADABLE SLOPE STABILIZATION MAT.
STAKED SEDIMENT LOG SILT SOCK AROUND EXTERIOR & SILT SACK INSIDE CATCH BASINS
STAKED SEDIMENT LOG SILT SOCK.
STAKED SEDIMENT LOG SILT CHECK DAM.
TREE BARRIER FENCING
SILT FENCE
TOP SOIL STOCK PILE ENCLOSED IN SILT FENCE.

PROP. SANITARY SEWER LATERAL, FL.=+209.51' AT LAST LAVATORY.

STAKED SEDIMENT LOGS AROUND EXTERIOR & SILT SACK INSIDE YARD DRAIN, TYP., (AS DETAILED, SEE SHEET L.8)

SEDIMENT LOG SILT SOCK CHECK DAM, TYP., (AS DETAILED, SEE DETAIL SHEET L.8).

PROP. SANITARY SEWER LATERAL, FL.=+/-207.20' AT THE BUILDING.

PROP. SANITARY SEWER CLEAN OUT, FL.=+/-207.00' (AS DETAILED, SEE SHEET L.8 AND / OR AS SPECIFIED BY APPROVED BY TOWN STAFF).

PROP. ELECTRIC SERVICE LINE AND TRANSFORMER; FINAL LOCATION AND DESIGN SPECIFICATIONS TO BE DETERMINED BY THE UTILITY COMPANY.

PROP. 6" SDR-35 SANITARY SEWER GRAVITY PIPE @ 5=4.19%, (AS DETAILED & SPECIFIED BY INSTALLATION CONTRACTOR & APPROVED BY TOWN).

PROP. 1" COPPER DOMESTIC WATER SERVICE LINE; FINAL LOCATION AND DESIGN SPECIFICATIONS TO BE DETERMINED BY THE UTILITY COMPANY.

STAKED HAY BALES & SILT FENCE AROUND AT MOUTH OF FLARED END SECTION OUTLETS TYP., (AS DETAILED, SEE SHEET L.8)

PROPOSED WATER QUALITY BASIN SIDE SLOPE STABILIZATION, (AS NOTED, SEE LANDSCAPE PLAN SHEET L.5 & AS DETAILED SHEET L.10).

PROP. MAIN ELECTRIC SERVICE CONDUIT; SERVICE LINE & VOLTAGE AS SPECIFIED BY UTILITY COMPANY, TYP.)

EX. ELECTRIC TRANSFORMER, (TO BE PRESERVED).

PROP. WATER QUALITY BASIN BOTTOM TO BE MODIFIED RIP RAP, (AS DETAILED, SEE SHEET L.9). RIP-RAP TO BE INSTALLED AFTER SITE IS STABILIZED. CLEAN ALL SILT AND SEDIMENT FROM BOTTOM OF BASIN TO ORIGINAL SUBSOIL PRIOR TO INSTALLING RIP-RAP. PROTECT RIP-RAP WITH SILT FENCE AFTER INSTALLING, (AS DETAILED, SEE SHEET L.8).

PROP. SANITARY SEWER GRINDER PUMP UNIT, TOP OF FRAME ELEV.=+209.85, FLOW LINE IN = +/-204.60', (AS DETAILED & SPECIFIED BY INSTALLATION CONTRACTOR & APPROVED BY TOWN).

PROP. MIN. 1-1/4" MIN. PVC SANITARY SEWER FORCE MAIN SECTION, (CONNECT TO EXISTING STUBBED LATERAL PER TOWN STANDARDS FOR CONSTRUCTION & REPAIR OF SEWER LATERAL CONNECTION; AUG. 2024)

PROP. TELECOMMUNICATIONS SERVICE CONDUIT, (FINAL LOCATION & DESIGN SPECIFICATIONS TO BE DETERMINED BY THE UTILITY COMPANY).

PROP. PROPERTY WATER SERVICE METER; (FINAL LOCATION & DESIGN SPECIFICATIONS TO BE DETERMINED BY THE UTILITY COMPANY).

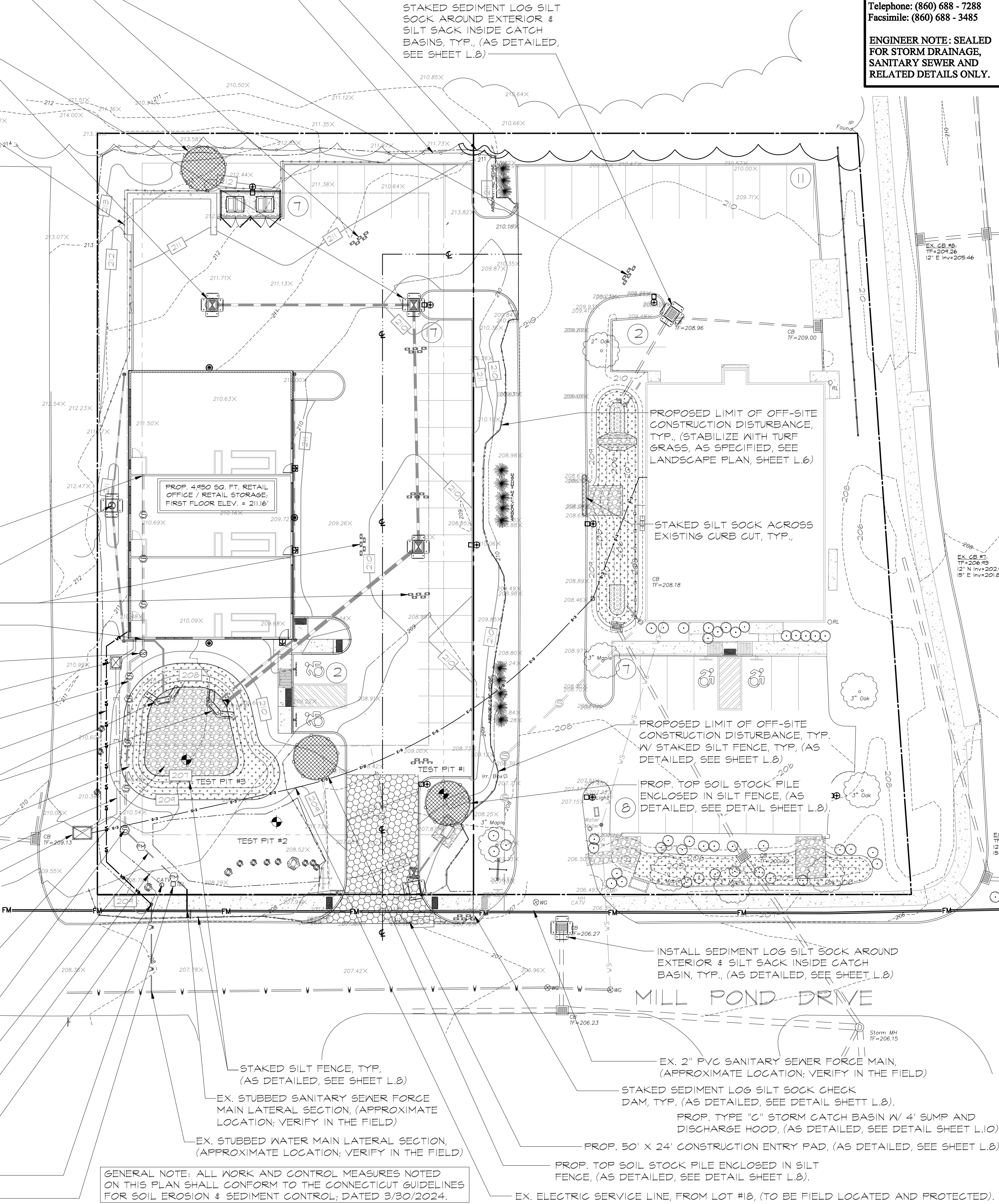
EX. TELECOMMUNICATIONS CABINET, (TO BE PRESERVED).

EX. TELEVISION / CABLE CABINET, (TO BE PRESERVED).

WATER QUALITY BASIN PREPARATION NOTE:

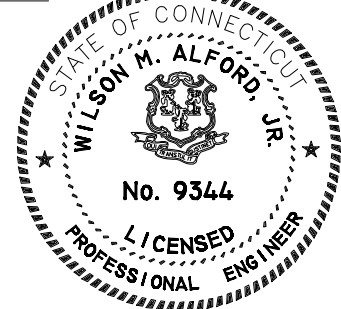
- 1.) REMOVE ANY POOR-DRAINING BARROW SOILS AROUND WATER QUALITY BASIN & REPLACE WITH THE SITE'S EXISTING WELL-DRAINING GRAVEL MATERIAL.
- 2.) THE FIRST LAYER OF "FILL" SHALL BE A 12" LIFT WITH EACH SUCCEEDING LAYER 6" LIFTS.
- 3.) SELECT FILL MATERIAL TO BE COMPACTED TO 90% PROCTOR DENSITY.
- 4.) SELECT FILL MATERIAL TO BE TESTED FOR INFILTRATION RATE AFTER PLACEMENT. MATERIAL NOT MEETING THE DESIGN RATE SHALL BE REMOVED AND REPLACED.
- 5.) TRUCK AND EQUIPMENT TRAFFIC SHOULD BE KEPT TO A MINIMUM IN AREA ONCE FILL IS IN PLACE.
- 6.) WORK SHALL BE DONE WHEN THE GROUND IS DRY.

STAKED SEDIMENT LOG SILT SOCK AROUND EXTERIOR & SILT SACK INSIDE CATCH BASINS, TYP., (AS DETAILED, SEE SHEET L.8)



GENERAL NOTE: ALL WORK AND CONTROL MEASURES NOTED ON THIS PLAN SHALL CONFORM TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION & SEDIMENT CONTROL; DATED 3/30/2024.

Seal:



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ENGINEER NOTE: SEALED FOR STORM DRAINAGE, SANITARY SEWER AND RELATED DETAILS ONLY.

GENERAL SITE CONSTRUCTION SEQUENCING OUTLINE:

1. A Pre-Construction Meeting with applicable Town Staff, for approved site development improvements, shall be required of the Contractor.
2. Stake Limits of Disturbance and install all peripheral Sedimentation and Erosion Controls as proposed, and as directed by Owner, applicable Town Staff and / or Landscape Architect in response to anticipated / evolved site conditions.
3. Commence clearing, grubbing and topsoil stripping and stock piling, in designated areas.
4. Field stake of all Water Quality Renovation Basin, Driveway, Parking Lots, Storm Drainage System, and all other proposed Site Improvements; install all specified internal Sedimentation and Erosion Controls.
5. Construct Water Quality Renovation Basin and stabilize as specified. Install the permanent Basin discharge controls as noted on the Drawings and as site conditions warrant.
6. Commence excavation for Driveways, Parking Lots, Storm Drainage System, and all other proposed Site Improvements.
7. Install Roadway, Parking Lots, and related Storm Drainage, as detailed on the Drawings. Silt Sacks to be installed in all Catch Basins and maintained throughout project; remove upon stabilization of functional area(s), the duration of construction and / or as directed by applicable Town Staff.
8. Carefully back fill and compact, as specified, around all site improvements and utilities, until sub-grade is reached below topsoil course in lawn and planting areas, or sub-base course is reached under paved areas.
9. Complete installation of all specified base course material, surface paving, site improvements and site utilities, and back fill with appropriate materials as specified, and as detailed on the Drawings.
10. Stabilize all remaining disturbed areas to finish grades with the appropriate materials, to the lines and grades detailed on the Drawings, and as specified.
11. Maintain and/or augment Sedimentation and Erosion Control Measures throughout the duration of the construction activity. Aggressive Sedimentation and Erosion Control Measures and stabilization techniques will be applied on site, particularly within Water Quality Basin, around permanent storm water structures and along Roadway and associated storm water control measures. Additional Sedimentation & Erosion Control Measures may be required throughout the duration of construction activity by the Owner, Engineer, Town Staff and / or Landscape Architect, due to evolving site / weather conditions.
12. Upon complete stabilization of disturbed areas, carefully remove any Temporary Discharge Control Measures from the Water Quality Basin and all remaining site Sedimentation and Erosion Control Measures. Stabilize as specified any remaining disturbance created by that activity, to the lines and grades detailed on the Drawings.

GENERAL SITE STABILIZATION NOTES AND SPECIFICATIONS:

1. The Contractor shall supply all grass seed mixes, erosion control blankets and other related stabilization materials in quantities sufficient to complete the work shown on the drawings and specified herein.
2. The Contractor shall submit Seed Producer's Product Sheets for all approved specified grass mixes for the Landscape Architect's review prior to on-site material delivery.
3. The Contractor shall provide product verification tags of the approved grass seed mixes Owner's construction supervisor or designated representative prior to installation.
4. All specified plant material shall be located on site by the Contractor for approval by the Owner, Landscape Architect and / or appropriate Town Staff, as directed. Any installation of material not by the Owner, Landscape Architect and / or appropriate Town Staff or the Owner's designated representative, and subsequently requested to be removed, will be done so at the Contractors expense.
5. Precise location of items not dimensioned on the plan to be sealed off the plan and field staked by the Contractor, for approval, as per Item Note # 4 above.
6. The Contractor is responsible for the prompt replacement of any damaged and / or unviable installed vegetation during the stipulated warranty period at his own expense. Unless otherwise specified, all plant material shall be under guarantee for a minimum of one year from formal acceptance by the Owner, Landscape Architect and / or appropriate Town Staff or the Owner's designated representative.
7. All fill, gully and or channel erosion within the Project shall be filled with appropriate specified topsoil backfill material, fine raked, scarified and stabilized with appropriate vegetative material and/or appropriate sedimentation and erosion control measures, as directed by the Owner, Landscape Architect and / or appropriate Town Staff or the Owner's designated representative.
8. Adjustments in the location of proposed plant material as a result of existing vegetation to remain shall be approved by the Owner, Landscape Architect and / or appropriate Town Staff or the Owner's designated representative prior to installation.

AQUIFER ZONE PROJECT NOTES AND SAFETY PROTOCOL OUTLINE:

I. FACILITY PROGRAM NOTES:

- A.) The front Retail Spaces are for General Retail Shops. The Garden and Lawn Retail Store will focus on Tools and General Hardware, with storage of inventory in the rear space. Herbicides, Pesticides, and other related Chemicals will not be stored or sold.
 - B.) The Retail Storage space will house several vehicles and lawn care equipment, along with Lawn and Garden Tools and Hardware inventory and Landscape Materials Displays. A few 5 Gallon Containers of Vehicle and Equipment Oil and Lubricant will be stored to accommodate minor regular equipment and vehicle maintenance; all substantive maintenance will be done off-site in certified Repair Facility.
 - C.) Stored Equipment anticipated includes a Backhoe and Small Dump Truck for bulk movement of Topsoil and Bark Mulch, and sundry small Lawn Maintenance Equipment. This Storage area will not have floor drains, nor will there be a vehicle lift.
 - D.) There will be basic Spill Clean Up Protocols and Materials kept on site, commiserative with small quantity of stored Vehicle and Equipment Oil and Lubricants.
- II. FACILITY SPILL RESPONSE CLEAN UP PROTOCOL:
- A.) The Staff will be properly trained and certified for handling the anticipated Vehicle and Equipment Oil and Lubricants, as well as their containment and clean up, in the event of a spill.
 - B.) Emergency Numbers Log: shall be posted that lists all the appropriate contact numbers for the local Fire Department, Ambulance, Name And Phone Number of Spill Response Staff Members, as well as a comprehensive list of the stored Vehicle and Equipment Oil and Lubricants.
 - C.) WYK Universal Spill Kits, or approved equal, shall be readily available to Staff, in the event of a spill.
 - C.) Isolate The Area: Identify spilled liquid and verify compatibility of spill cleanup material with the liquid to be absorbed.
 - D.) Protect Yourself: Open spill kit and put on appropriate Personal Protective Equipment (PPE) before proceeding. At a minimum it is recommended you use chemical resistant gloves and goggles.
 - E.) Immediately Place Socks around the spill to contain the liquid from spreading.
 - F.) Cordon Off Spill Area to prevent guest or other employees from slipping on the liquids. Cautions triangles, warning cones, empty drums or pails, trash cans and caution tape are commonly used to secure and cordon off the spill area.
 - G.) Cover The Spill with sorbent pads, pillows and/or SUPER SORBENT particulate to reduce vapors and soak up the liquid.
 - H.) Remove Saturated Sorbent media and place in temporary disposal bags and label. If liquid remains, place new pads or pillows on the spill to soak up any remaining liquids. Place all pads, pillows and containment socks into temporary disposal bags provided.
 - I.) Re-Cover Spill area with SAFETY SORBENT and work in with stiff broom. Sweep up SAFETY SORBENT and place in temporary disposal bags. Repeat this procedure if floor surface is wet or damp. Floor should be completely dry when cleanup is finished. Properly remove PPE in order and place in disposal bags and seal.
 - J.) Disposal of debris spill must be in compliance with local, state, and federal regulation. It is your responsibility to meet those requirements. It is the user's responsibility to determine suitability of sorbents to be used on specific liquids.

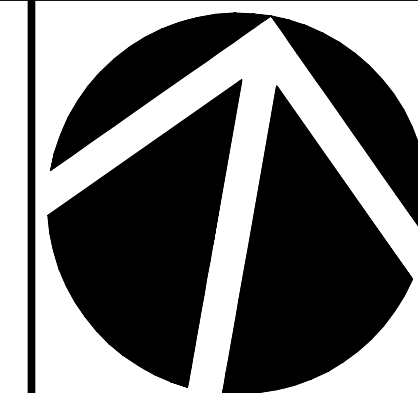
SEWER ALLOTMENT CAPACITY CALCULATIONS: THERE IS 4950 SQ. FT. OF RETAIL & COMMERCIAL STORAGE, WITH WITH SEWER FLOW OF 0.1 GALLONS PER DAY / PER SQ. FT. OF RETAIL USE, (PUBLIC HEALTH CODE), THERE WOULD BE AN EXPECTED FLOW VOLUME OF 495 GALLONS PER DAY FOR OUR REQUESTED SEWER ALLOTMENT.

RIP-RAP INSTALLATION NOTE: INSTALL RIP-RAP SO THAT IT ENTERS THE EXISTING NATIVE WELL-DRAINING GRAVEL SOIL STRATA AT APPROXIMATELY 2' BELOW EXISTING GRADES.

SITE PLAN & SPECIAL PERMIT APPLICATIONS APPROVED BY THE TOWN OF GRANBY PLANNING AND ZONING COMMISSION ON MAY 10, 2025

CHAIRMAN'S SIGNATURE

DATE



Drawing Title:
Proposed Commercial Facility:
#14 MILL POND DRIVE; GRANBY, CT

S & E CONTROL & UTILITIES PLAN

18 Mill Pond, LLC
161 NOTCH ROAD; GRANBY, CT 06035

Prepared For:

Scale: 1" = 20'

0' 10' 20' 30' 40' 60'

Date:

2 May 2025

Revisions: 6/4/2025

Seal:

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Sheet No.

L.4

Site Plant Schedule: (100% Native By Type; 100% Native By Volume)					
Key	Quantity	Botanical Name	Common Name	Size Installed	Comments
Street / Ornamental / Evergreen Trees:					
Arr	# 1	Acer rubrum 'Redpointe'	Redpointe Maple	2" – 2-1/2" Cal.	B & B (N)
Aag	# 1	Acer rubrum 'Armstrong Gold'	Armstrong Gold Maple	2" – 2-1/2" Cal.	B & B (N)
Gtd	# 1	Gleditsia triacanthos 'Draves'	Street Keeper Honeylocust	2" – 2-1/2" Cal.	B & B (N)
Lsh	# 2	Liquidamber styraciflua 'Hapdell'	Hapdell Sweetgum	2" – 2-1/2" Cal.	B & B (N)
Nsy	# 2	Nyssa sylvatica	Black Tupelo	2" – 2-1/2" Cal.	B & B (N)
Qbm	# 2	Quercus bicolor 'Bonnie & Mike'	Bonnie & Mike Swamp Oak	2" – 2-1/2" Cal.	B & B (N)
Qpa	# 1	Quercus palustris	Pin Oak	2" – 2-1/2" Cal.	B & B (N)
Shrubs:					
Igs	# 5	Ilex glabra "Shamrock"	Shamrock Inkberry Holly	5 Gal., 4.5" O.C.	Container (N-E)
Kau	# 3	Kalmia augustifolia	Sheep Laurel	3 Gal., 4.5" O.C.	Container (N-E)
Kof	# 9	Kalmia latifolia 'Olympic Fire'	Olympic Fire Mt. Laurel	3 Gal., 5" O.C.	Container (N-E)
Klt	# 5	Kalmia latifolia 'Tinkerbell'	Tinkerbell Mountain Laurel	3 Gal., 4.5" O.C.	Container (N-E)
Lax	# 6	Leucothoe axillaris	Coast Leucothoe	2 Gal., 4.5" O.C.	Container (N-E)
Lfo	# 5	Leucothoe fontanesiana	Drooping Leucothoe	5 Gal., 5" O.C.	Container (N-E)
PLANT MATERIAL MAINTENANCE NOTE: All Landscaping Materials Shall Be Installed As Specifically Outlined On The Landscaping Plan. Vegetation Shall Be Maintained In A Healthful State And Replaced As Necessary To Remain In Continual Compliance With The Landscaping Plan.					

- GENERAL PLANTING NOTES:**
- All plant material to be nursery grown stock subject to applicable A.A.N. standards.
 - The Contractor shall supply all plants in quantities sufficient to complete the work shown on the drawings and listed in the plant list. In the event of a discrepancy between quantities shown in the plant lists and those required by the drawings, the larger number shall apply.
 - All plants shall be inspected by the Landscape Architect. Any plant material that is deemed unsatisfactory shall be immediately removed from the Site and replaced with acceptable specimens at the Contractor's expense.
 - Prior to installation, plant material shall be located on site by the Contractor for approval by the Landscape Architect. Any installations which were not approved by the Landscape Architect, and which are requested to be moved, will be done so at the Contractors expense. Precise location of items not dimensioned on the plan to be scaled off the plan and field staked by the Contractor, for approval, as per note # 3 above.
 - All shrub massing plantings and tree pits shall be mulched to a min. depth of 3" with shredded pine bark or hardwood mulch, as detailed.
 - All trees under 3" caliper shall be staked. All trees 3" caliper and greater shall be guyed, as detailed.
 - The Contractor is responsible for any damaged vegetation and shall replace or repair any damage at his own expense. Unless otherwise specified, all plant material shall be under guarantee for a minimum of one year for formal acceptance by the Owner.
 - The Contractor should contact "Call Before You Dig" at 1-800-922-4455, (811), and not commence with construction activity unless they have field verified the existence of subsurface utilities and demarcated their location within the development envelope.
 - Regardless of the results by adherence to activities described in Item 8. above, the Contractor is responsible for locating all utilities in the field. Where plant materials may interfere with utilities, the Contractor shall notify the Owner and Landscape Architect to coordinate their relocation prior to the installation of that material. Approval of plant material relocation must conform to the conditions dictated in Item 4. above.
 - All shrub and groundcover planting areas shall have minimum continuous beds of topsoil, 18" deep. Bare Root plantings shall have a minimum topsoil bed of 12", unless otherwise specified.
 - For planting soil mix, see specifications and/or planting details.
 - All existing rill, gulley and or channel erosion shall be filled with appropriate backfill material, fine raked, scarified and stabilized with appropriate vegetative material and / or appropriate sedimentation and erosion control measures, as required. Refer to appropriate Stabilization Seed Mix and / or Sedimentation and Erosion Control Plans, Details and Specifications for site-specific requirements.
 - Adjustments in the location of proposed plant material, as a result of existing vegetation determined in the field to remain, shall be approved by the Landscape Architect prior to installation, pursuant to the conditions dictated in Item 4. above.
 - Bare Root and Sprig planting areas shall be hydro-seeded first with specified Seed Mix for immediate stabilization. Once hydro-seed activity has been successfully completed, clear a 1' diameter area around each proposed Sprig and / or Bare Root planting bed, prior to installation of that specified plant material.
 - Additional Planting material and / or increased seeding rates may be required by the Owner, Landscape Architect as site conditions dictate. Additional materials shall be compensated, to the mutual agreement of the Owner and the Contractor, and shall be approved and located as directed by the Landscape Architect, and pursuant to the conditions specified in these General Notes.

Slope Stabilization / Detention Basin / Turf Lawn Seed Specifications:

- I.) General Seeding Notes:**
- All disturbed areas not paved or otherwise landscaped shall be fine graded with 6" of approved loamy topsoil. Apply soil amendments as directed pursuant to Soil Test Recommendations.
 - Permanent Turf Seed application periods shall be between April 1 to June 15 and September 1 to October 15, unless otherwise directed, with the specified seed mixes and materials below.
 - Permanent dormant seeding applications after the fall deadline into Winter shall be applied at a seeding rate of 110%, min., of the Manufacturer's standard recommended rate, or as directed otherwise.
 - Temporary Turf Seed application periods shall be between March 1 to June 15 and August to October 15, unless otherwise directed, with 100% Annual Ryegrass; Application Rate: 1 lb. / 1,000 Sq. Ft.
 - Finish grading completed after growing season has past shall be stabilized with weed-free Hay Mulch, Erosion Control Fabric and / or Geotextile Blankets, or combination thereof, as directed. Unfinished disturbed areas remaining out of season shall be rough graded to the lines and specifications of the Drawings and then stabilized with the measures noted above, or alternative erosion control measures as necessitated by specific seasonal and site conditions, as directed.
 - Refer to all additional, applicable requirements as set forth in the "Planting General Notes" on the appropriate Planting Plan(s), as well as all related, referenced Plans, Notes & Details.

- II.) Seed Mixes & Specifications:**
- A.) Turf Grass Lawn Areas:** Shall be "Water Star Ultra Mix" Seeding Rate; 25 lb. / 6,250 Sq. Ft., as manufactured by Planters' Choice; 140 Huntingtown Road; Newtown, CT 06109; Telephone: (203) 426 - 4037, or approved equal.
- | Kind of Seed | Percent of Weight |
|--------------------|-------------------|
| Perennial Ryegrass | 50% |
| Red Fescue | 30% |
| Chewing Fescue | 10% |
| Kentucky Bluegrass | 10% |
- Lawn Areas General Notes:** Weed Seed; maximum of 0.50%, no noxious weed seed. Purity; minimum 97% pure. Crop; maximum 0.50%. Germination Rate; minimum 80%, (or as generally required by the manufacturer's recommendations and specifications). Apply per manufacturer's recommendations and specifications.
- B.) Detention Basin Areas:** Shall be "New England Erosion Control / Restoration Mix For Detention Basins And Moist Sites", as manufactured by New England Wetland Plants, Inc.; 14 Pearl Lane, South Hadley, MA 01075; Telephone: (413) 548 - 8000 or approved equal. Seeding Rate = 1 Lb. / 1250 S.F. Apply per manufacturer's recommendations and specifications.

- GENERAL TURF ESTABLISHMENT AND MANAGEMENT NARRATIVE:**
- 1. Soil Testing**
A composite soil sample from the subject property will be collected and delivered to a University of Connecticut Cooperative Extension office for testing of soil nutrient levels (i.e., pH, nitrogen, phosphorus, calcium, magnesium, potassium) prior to a fertilizer application. The Extension office will recommend a fertilizer application rate based upon these test results. The actual fertilizer application rate will follow this recommendation. This will ensure against an excessive fertilizer application, which could lead to chemical leaching or export.
- 2. Slow-Release Fertilizers**
Slow-release fertilizers will be applied to lawns, planted trees and shrubs. These can include, but are not limited to, organic-based fertilizers. A variety of commercial slow-release nitrogen fertilizer products are available (e.g., Milorganite, isobutylidene diurea, coated ureas, etc.). Advantages of slow-release fertilizers include the supply of a steady nitrogen source, and reduced nitrogen leaching. By combining small amounts of soluble nitrogen sources with slow-release nitrogen products, nitrogen availability can be extended without a threat of leaching.
- 3. Fertilizer Application Schedule**
Fertilizer will be applied three times annually to the subject property: early to late May (after the threat of cool, wet weather has passed), late August to early September, and mid-September to mid-October. If the soil test indicates a need for lime, it will be applied at the last fertilization date.
- 4. Integrated Pest Management (IPM)**
IPM is an integrated, preventative approach to maintaining healthy turf and landscape plants. IPM recognizes that, although chemicals are an important component of a turf management plan, other strategies are available to maintain a healthy lawn. A central premise of IPM is to treat pest problems as they arise on an as-needed basis only, using a variety of biological (e.g., natural predators), chemical and cultural (e.g., disease-resistant seed) practices.

#2 EXISTING TRANSPLANTED ARBORVITAE TREES, (INSTALL TREES AS DETAILED, SHEET L.7)

EX. TREE LINE, TO REMAIN, AS NOTED, (SEE GRADING & DRAINAGE PLAN, SHEET L.3)

PROP. STREET SHADE TREE PLANTING, (AS DETAILED, SEE DETAIL SHEET L.7)

PROP. POLE-MOUNTED LED AREA LIGHTING, (AS SPECIFIED, SEE LIGHTING / PHOTOMETRIC PLAN, SHEET L.6 & AS DETAILED, SEE DETAIL SHEET L.9).

PROP. LIMIT OF DISTURBANCE, TYP.

PROP. TURF LAWN AREA, (AS NOTED, SEE SEED MIX SPECIFICATIONS)

EX. SOIL STOCKPILES, TO BE REMOVED AND DEVELOPED OR LANDSCAPED, (AS NOTED, SEE APPLICABLE DESIGN PLANS)

#3 EXISTING TRANSPLANTED SPRUCE TREES, (INSTALL TREES AS DETAILED, SHEET L.7)

PROP. POLE-MOUNTED LED AREA LIGHTING, (AS SPECIFIED, SEE LIGHTING / PHOTOMETRIC PLAN, SHEET L.6 & AS DETAILED, SEE DETAIL SHEET L.9).

PROP. WALL PACK LED DOWN-LIGHTS, (AS NOTED, SEE LIGHTING PLAN L.6).

PROP. RECESSED LED DOWN-LIGHTS, (AS NOTED, SEE LIGHTING PLAN L.6).

PROP. MULCHED SHRUB / GROUNDCOVER BED, (AS DETAILED, SEE DETAIL SHEET L.7)

#4 EXISTING TRANSPLANTED SPRUCE TREES, (INSTALL TREES AS DETAILED, SHEET L.7)

PROP. 130 SQ. FT. WATER QUALITY BASIN MODIFIED RIP-RAP BOTTOM, (AS DETAILED, SEE SHEET L.9).

PROP. 1155 SQ. FT. WATER QUALITY BASIN #1 EROSION CONTROL / RESTORATION SEED MIX, (AS NOTED, SEE SEED MIX SPECIFICATIONS)

PROP. TURF LAWN AREA, (AS NOTED, SEE SEED MIX SPECIFICATIONS)

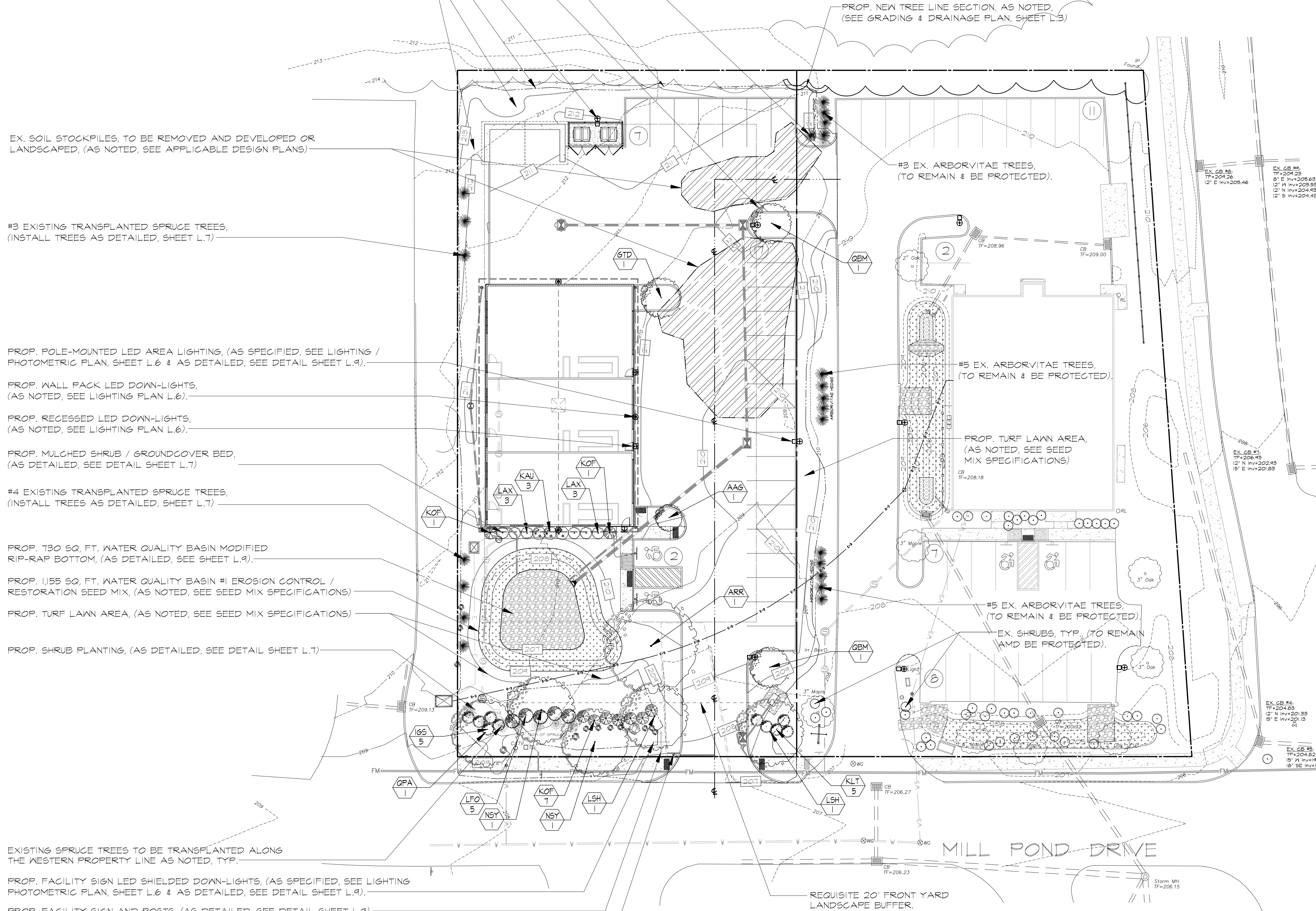
PROP. SHRUB PLANTING, (AS DETAILED, SEE DETAIL SHEET L.7)

EXISTING SPRUCE TREES TO BE TRANSPLANTED ALONG THE WESTERN PROPERTY LINE AS NOTED, TYP.

PROP. FACILITY SIGN LED SHIELDED DOWN-LIGHTS, (AS SPECIFIED, SEE LIGHTING PHOTOMETRIC PLAN, SHEET L.6 & AS DETAILED, SEE DETAIL SHEET L.9).

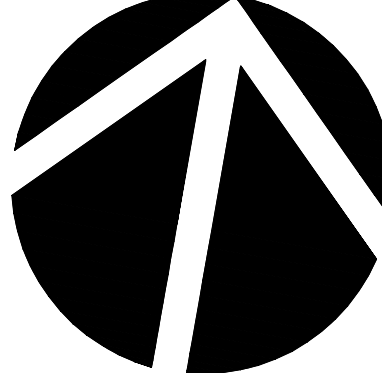
PROP. FACILITY SIGN AND POSTS, (AS DETAILED, SEE DETAIL SHEET L.9)

PROP. TRAFFIC CONTROL "STOP" SIGN, (AS DETAILED, SEE DETAIL SHEET L.7)



SITE PLAN & SPECIAL PERMIT APPLICATIONS
APPROVED BY THE TOWN OF GRANBY PLANNING
AND ZONING COMMISSION ON MAY 10, 2025

CHAIRMAN'S SIGNATURE _____ DATE _____

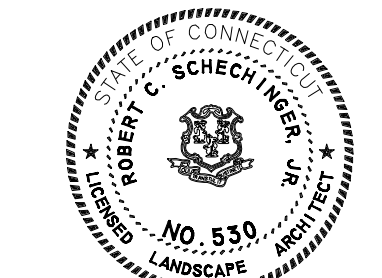


Drawing Title:
Proposed Commercial Facility:
#14 MILL POND DRIVE; GRANBY, CT
**LANDSCAPE &
SIGNAGE PLAN**

18 Mill Pond, LLC
161 NOTCH ROAD; GRANBY, CT 06035

Prepared For:
Scale: 1" = 20'
0' 10' 20' 30' 40' 60'
Date: 2 May 2025
Revisions: 6/4/2025

Seal:



Prepared By:
Robert C. Schoechinger, Jr. ASLA
772 Farmington Avenue
Farmington, CT 06032
Telephone: (860) 478 - 7839
Email: Biff.Design@sbcglobal.net
Website: BiffAndDesign.com

Sheet No.

L.5

PHOTOMETRIC LIGHTING PLAN NOTES:
1. ALL FIXTURES SHALL HAVE FULL CUT OFF LIGHTING AND PROVIDED WITH REAR AND SIDE SHIELDING, AS NECESSARY TO AVOID LIGHT TRESPASS OFF SITE.
2. VERIFY ANY AND ALL DIMMING COMPATIBILITIES WITH ELECTRICAL CONTRACTOR PRIOR TO ORDERING.
3. VERIFY FINAL VOLTAGE WITH ELECTRICAL CONTRACTOR PRIOR TO ORDERING.
4. PHOTOMETRY IS BASED OFF MANUFACTURER'S I.E.S. FILES.
ACTUAL LIGHT LEVELS MAY VARY SLIGHTLY. FOOT-CANDLES CALCULATED AT GRADE.
5. ANY POLE LOCATIONS AND SPECIFIED HEIGHTS TO BE VERIFIED IN THE FIELDS.
6. ALL MOUNTING DETAILS AND HARDWARE TO BE DETERMINED BY OTHERS.
7. MAXIMUM POLE-MOUNTED FIXTURE HEIGHT - 16.5'.
8. MAXIMUM WALL-MOUNTED FIXTURE HEIGHT - 9.0'.
9. ALL FIXTURES, POLES, COVERS AND HARDWARE TO BE FINISHED POWER-COATED BLACK.
10. LIGHTING SYSTEM FIXTURES TO BE ON TIMERS; FACILITY OPERATIONAL BUSINESS HOURS ARE 7:30 AM TO 5:30 PM; LIGHTING SYSTEM OPERATIONAL HOURS ARE 7:00 AM TO 7:00 PM.
11. OFF-HOUR LIGHTING PROGRAM: LIGHT FIXTURES TO HAVE MOTION DETECTOR ACTIVATION AFTER SYSTEM OPERATIONAL HOURS.

POLE SCHEDULE:
(10) 555-124-11-12-CN-B5-ID-C-BK (14' X 4" X 11GA STEEL SQUARE POLE, SINGLE, SET ON 24" CONC. BASE)
PROPOSED POLES MEET 140MPH SUSTAINED WINDS.
FIXTURE MOUNTING HEIGHT: 16.5', (16' POLE + 6" BASE)

ADDITIONAL EQUIPMENT:
CONDOR HP MOUNTING "SP" - (SQUARE POLE ARM MOUNT)

CONCRETE POLE FOOTING NOTE:
RAISED CONCRETE LIGHT POLE BASE, 6" ABOVE GRADE MAXIMUM, AS DETAILED.

8" X 9.75" FLAT FC-LINE, FULL CUT-OFF WALL PACK, AS MANUFACTURED BY ENVISION LED LIGHTING, INC., OR APPROVED EQUAL.

4" REGRESSED DOWNLIGHT; SNAPTRIM LINE, AS MANUFACTURED BY ENVISION LED LIGHTING, INC., OR APPROVED EQUAL.

4" O.D. X 0.120" WALL THICKNESS, SQUARE TUBE, HOT-ROLLED CARBON STEEL POLE AND SQUARE BASE, MODEL 555-4-12, W/ ALL COMPONENTS' TO HAVE POWDER COATED BLACK FINISH. MANUFACTURED BY AV POLES & LIGHTING, OR APPROVED EQUAL.

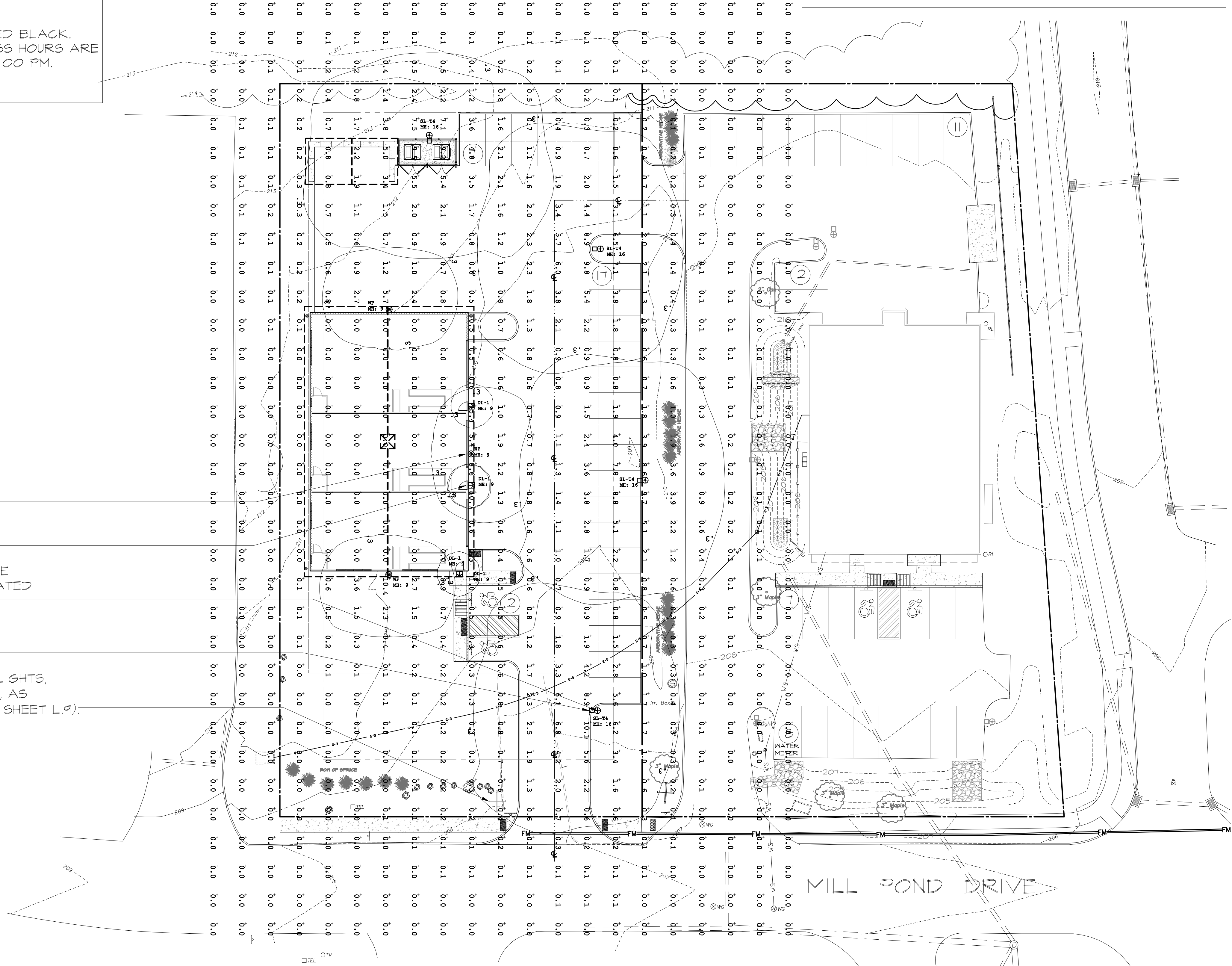
CAST ALUMINUM LED FIXTURE - CONDOR HP SERIES AREA LUMINAIRES, WITH ALL COMPONENTS TO HAVE POWDER COATED BLACK FINISH. MANUFACTURED BY SUNLED INDUSTRIES LIGHTING, OR APPROVED EQUAL.

#4 ARM-MOUNTED, ACCENTURE 120 VOLT, LED, ALUMINUM FACADE MINI-SPOT SIGN LIGHTS, (TWO PER SIGN FACE); ACCENTURE MODEL # 11-120-CAT-30-DMX-O-C15-45-A5-B-O, AS MANUFACTURED BY SUNLED INDUSTRIES, OR APPROVED EQUAL, (AS DETAILED, SEE SHEET L.9).

PHOTOMETRIC PLAN PREPARED BY:
LANGLAIS GROUP INC.
11 SEA PAVE ROAD
SOUTH WINDSOR, CT. 06074
E: GLENN@LANGLAISGROUP.COM
O: 860.648.2480
C: 860.805.5701

SITE PLAN & SPECIAL PERMIT APPLICATIONS
APPROVED BY THE TOWN OF GRANBY PLANNING
AND ZONING COMMISSION ON MAY 10, 2025

CHAIRMAN'S SIGNATURE _____ DATE _____



Luminaire Schedule								Calculation Summary							
Symbol	Qty	Label	Description	LMF	Lum. Lumens	Lum. Watts	Total Watts	LABLE	CALCTYPE	UNITS	AVG.	MAX.	MIN.	AVG. MIN.	MAX / MIN
	3	WP	LED-WPFC-FL-5P60W-TRI-BK-PC	1.000	2,900	20.0	60.000	CALCPTS	ILLUMINANCE	FC	0.50	15.40	0.0	N / A	N / A
	4	SL-T4	CONDOR HP 80W T4	1.000	12,286	80.0	320.000	PARKING LOT	ILLUMINANCE	FC	2.08	15.40	0.2	10.40	77.00
	3	DL-1	LED-DLJBX-4-15W-5CCT	1.000	975	13.1146	39.344								



Drawing Title:
Proposed Commercial Facility:
#14 MILL POND DRIVE, GRANBY, CT
LIGHTING & PHOTOMETRIC PLAN

Prepared For:
18 Mill Pond, LLC
161 NOTCH ROAD, GRANBY, CT 06035

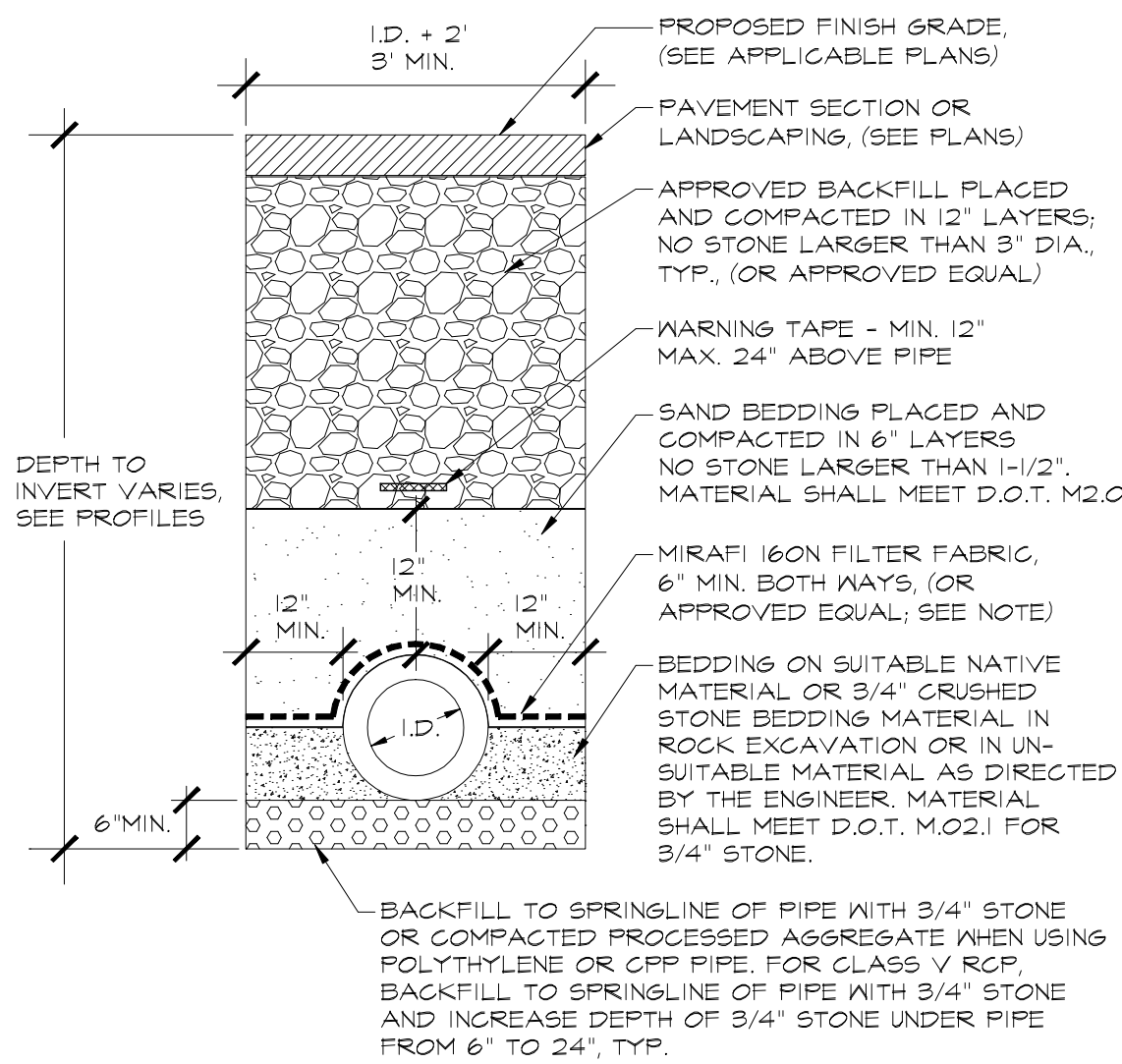
Scale: 1" = 20'
0' 10' 20' 30' 40' 60'
Date: 2 May 2025
Revisions: 6/4/2025



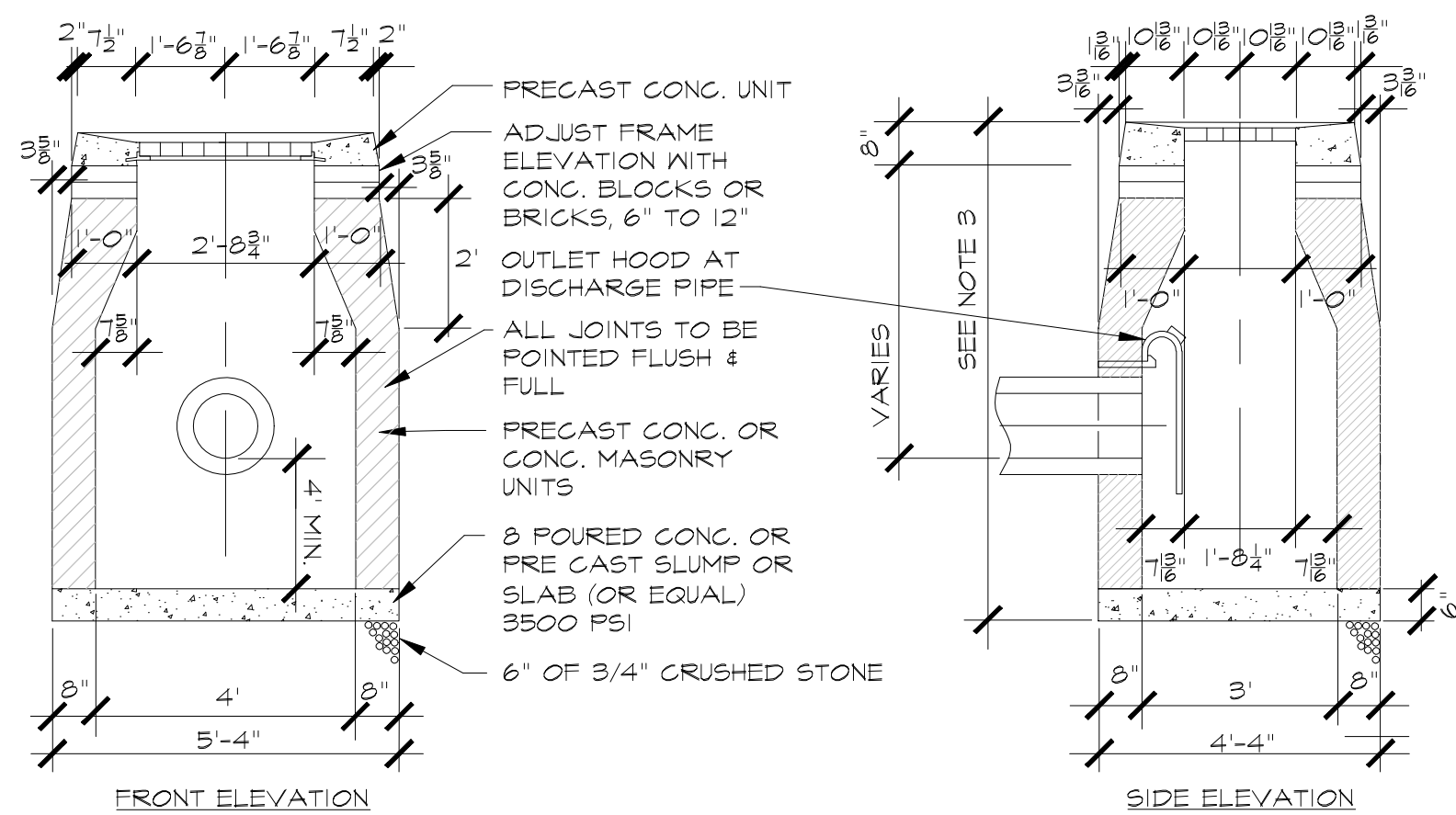
Prepared By:
Robert C. Schechinger, Jr. ASLA
772 Farmington Avenue
Farmington, CT 06032
Telephone: (860) 478 - 7839
Email: Biff.Design@sbglobal.net
Website: BiffLandDesign.com
Sheet No.

L.6

8" 2'-6" MIN. 1'-1 5/8"



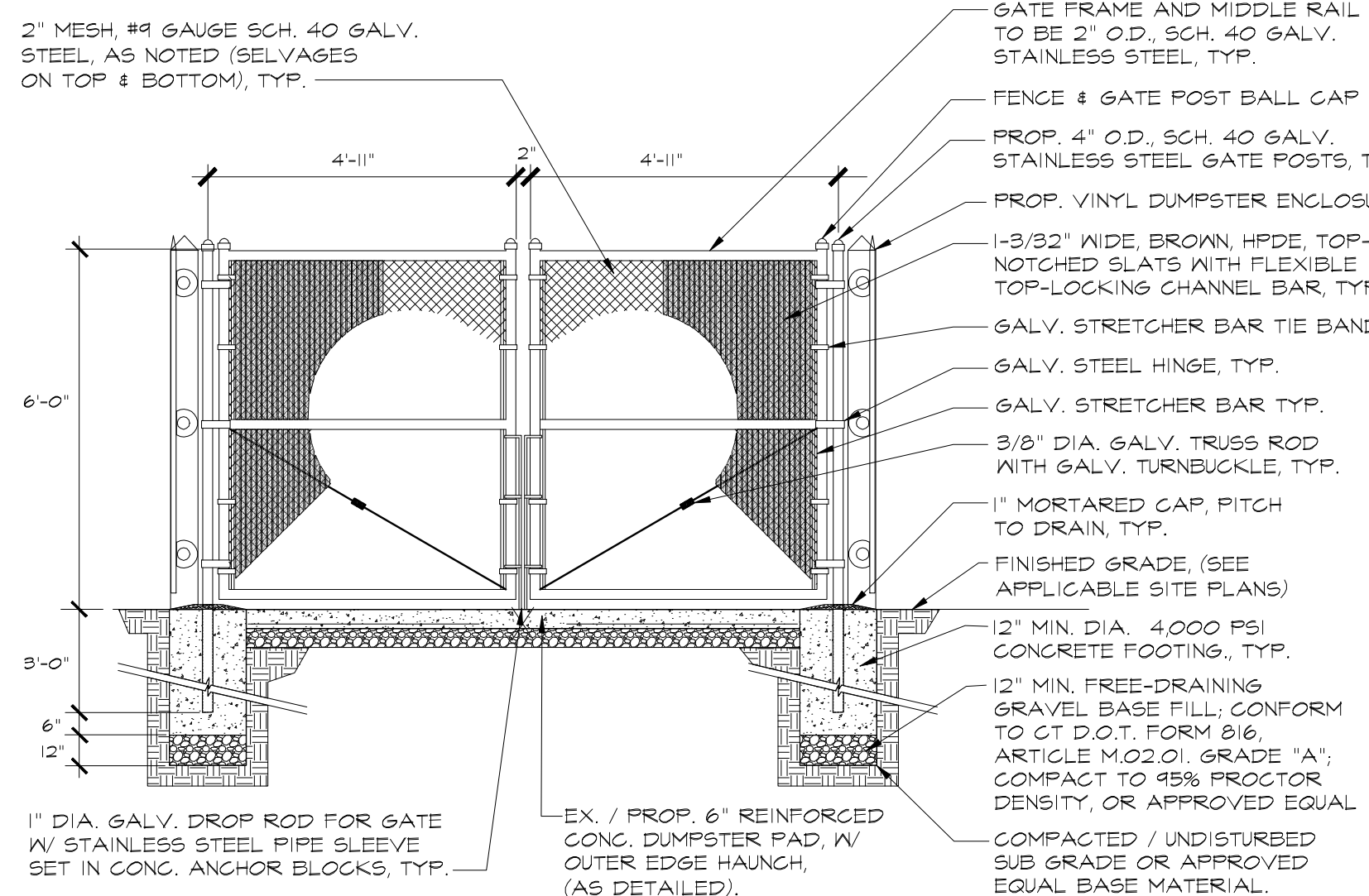
Storm Pipe Trench Detail:
Scale: N.T.S



GENERAL NOTES:
1. MINIMUM COVER OVER TOP OF PIPE SHALL BE 2'-0".
2. WALL THICKNESS SHALL BE SUFFICIENT TO MEET HS-20 LOADING.
3. WALL THICKNESS FOR STRUCTURES OVER 10' HIGH IS 12" FOR CONCRETE BLOCK UNITS. INSIDE DIMENSIONS REMAIN THE SAME.
4. ALL PIPES SHALL BE CUT FLUSH WITH INSIDE WALLS.
5. ALL BRICKS SHALL BE CONCRETE.
6. ALL OUTLET PIPES SHALL HAVE PROTECTIVE METAL HOODS, AS DETAILED.
7. INSIDE WALLS OF STRUCTURE TO BE SMOOTH. NO SHELVES ALLOWED.
8. IF 4' SUMP IS NOT POSSIBLE DUE TO UTILITY CONFLICTS OR SITE CONSTRAINTS, A 2' SUMP MAY BE SUBMITTED FOR THE TOWN ENGINEERS APPROVAL.
9. FRAME AND GRATE SHALL BE GALVANIZED.

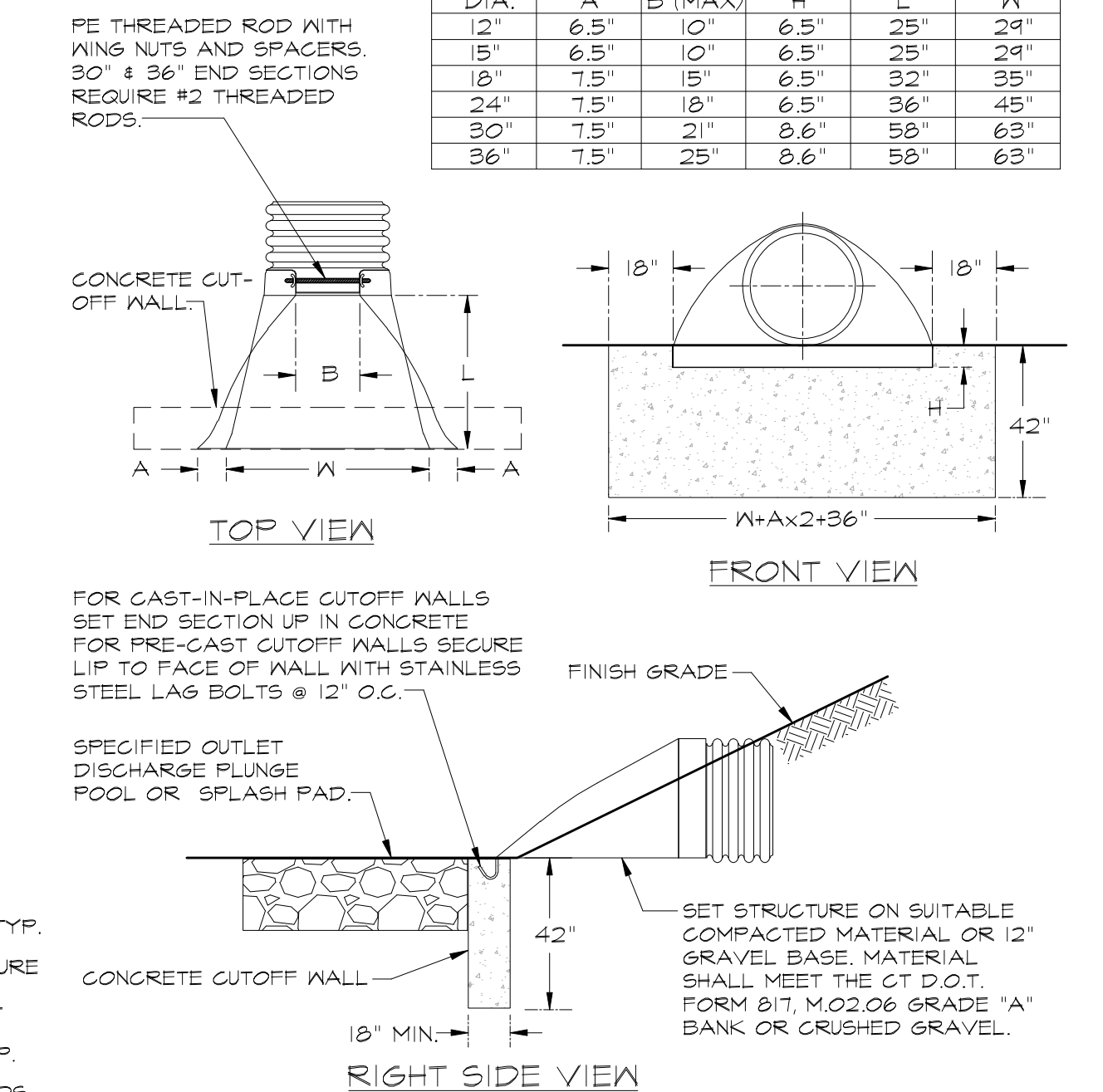
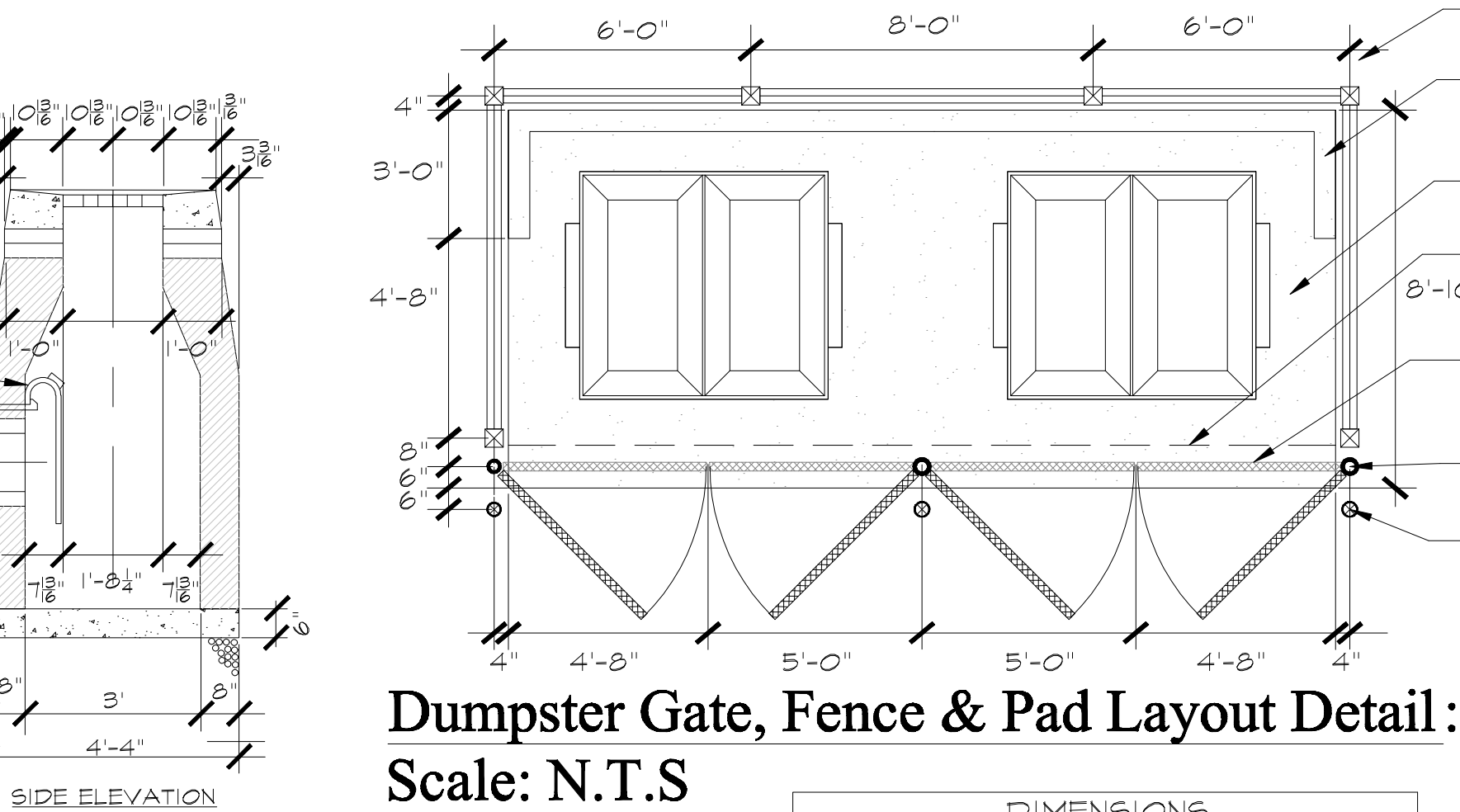
Type "C-L" Catch Basin:
Scale: N.T.S

GENERAL NOTES:
1. ALL GATE FRAME WORK, RAILS, POSTS FABRIC, AND ACCESSORIES SHALL BE STANDARD WEIGHT SCHEDULE #40 HOT-DIPPED GALVANIZED DOMESTIC STEEL PIPE, UNLESS OTHERWISE SPECIFIED.
2. CHAIN LINK FABRIC SHALL BE GALVANIZED AFTER HEAVING AND FINISHED AS SPECIFIED.
3. KNUCKLE BOTH SELVAGES, SO THAT FABRIC IS EVEN WITH THE TOP OF THE RAIL AND EXTENDS NO MORE THAN 1" BELOW THE BOTTOM EDGE OF BOTTOM RAIL.
4. ATTACH FABRIC TO FRAME WORK AND ADD APPROPRIATE TRUSS RODS PER MANUFACTURER'S SPECIFICATIONS.
5. POST FOOTINGS TO BE SET AS DETAILED IN SOILS FREE OF ROCK, CONSTRUCTION DEBRIS AND / OR LEDGE. POSTS CAN BE DIRECTLY ANCHORED TO LEDGE OR ADJACENT STRUCTURES PER MANUFACTURER'S SPECIFICATIONS.

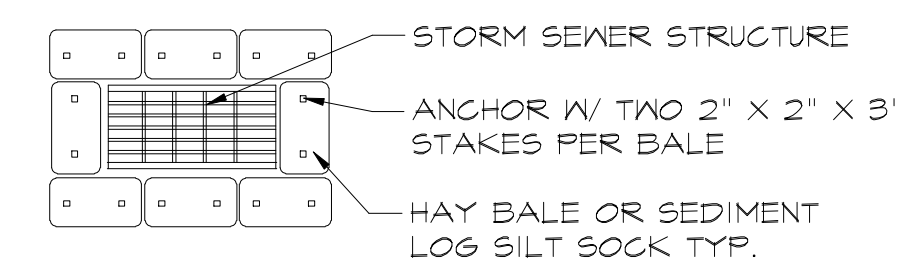


Double-Hung Chain Link Dumpster Gate W/ Slats:
Scale: N.T.S

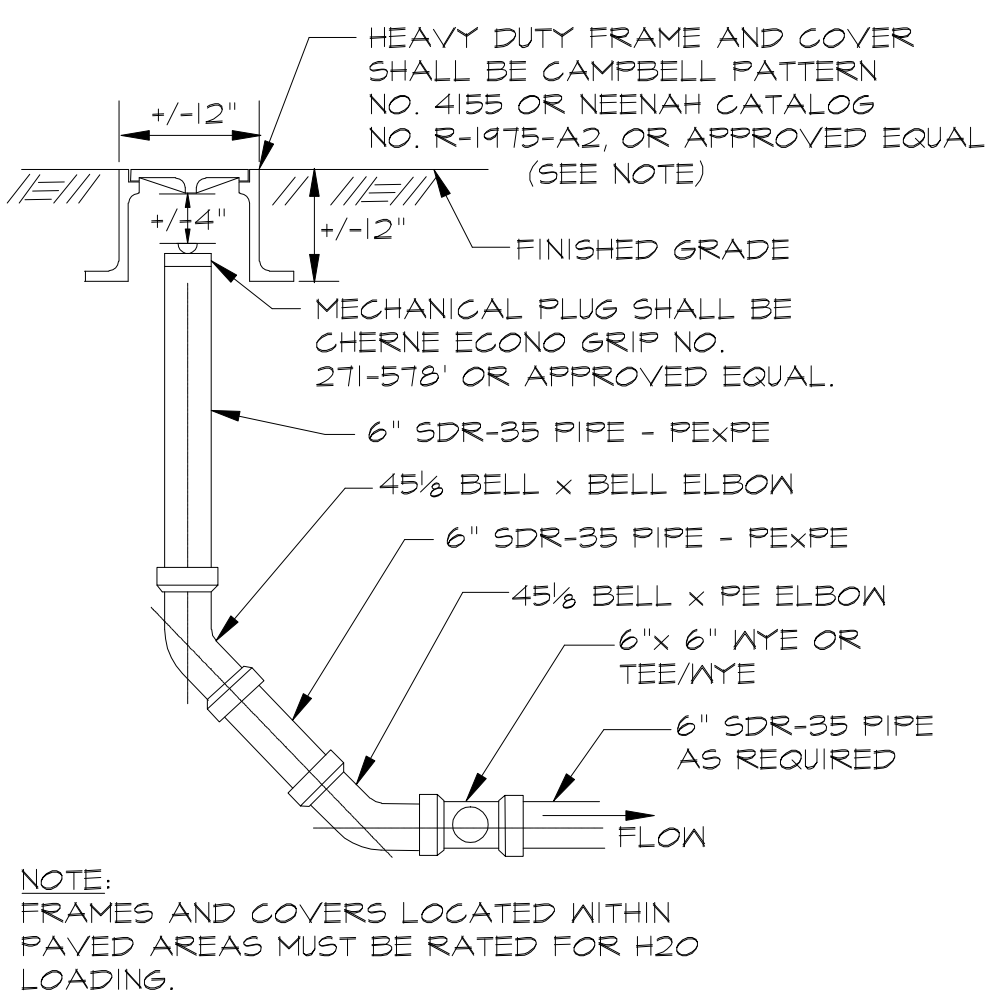
Silt Sack Yard Drain Inlet Protection:
Scale: N.T.S



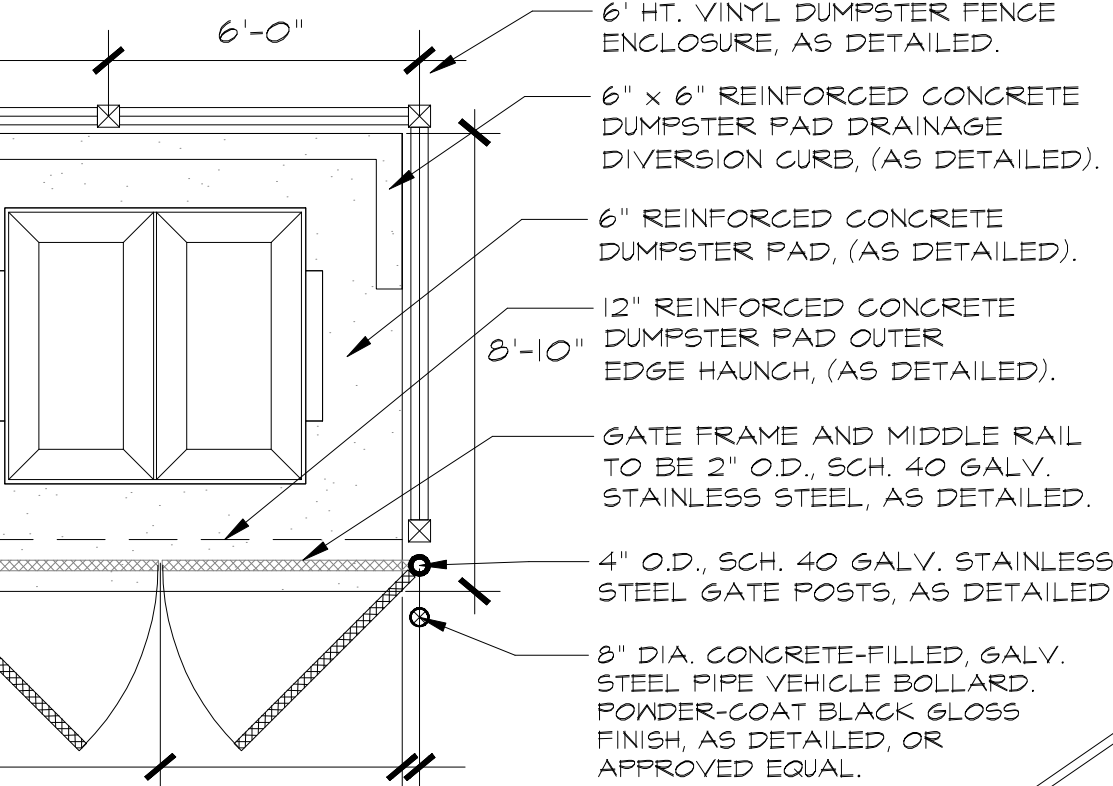
Corrugated HDPE Flared End Section:
Scale: N.T.S



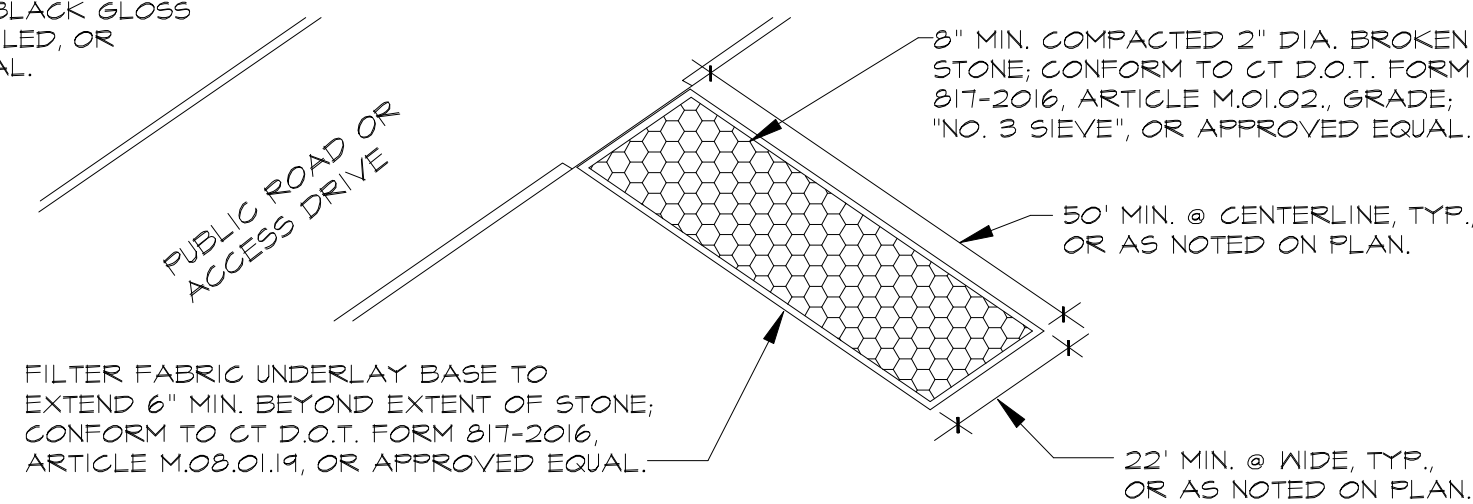
Sediment Log @ Catch Basin:
Scale: N.T.S



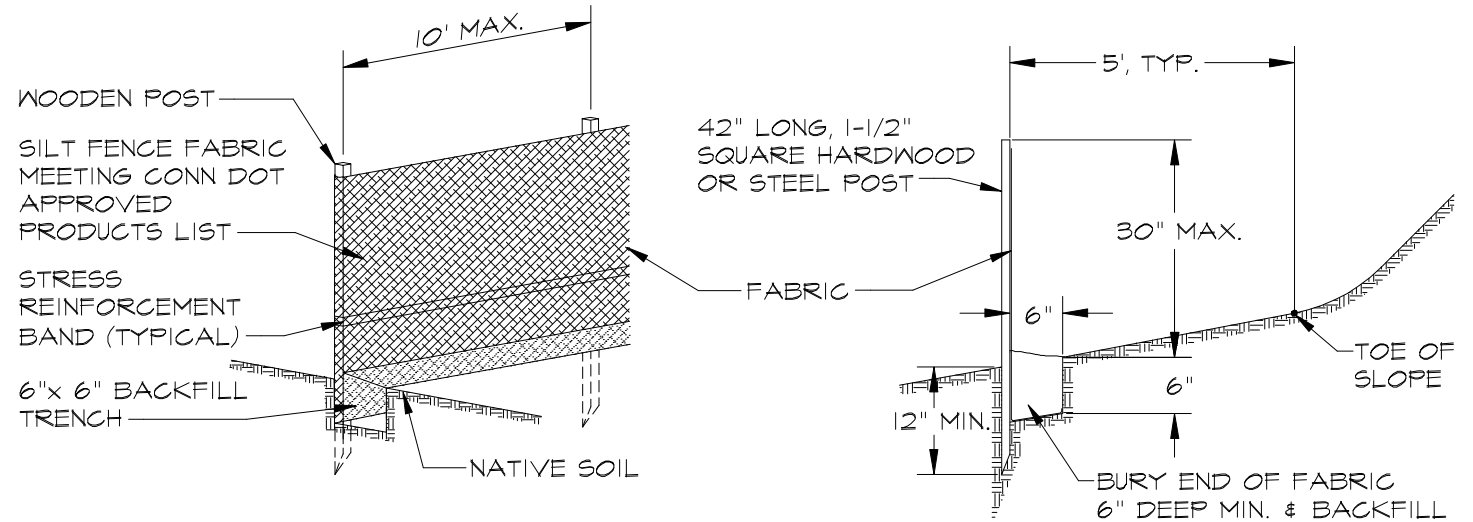
Proposed Sanitary Sewer Clean-Out:
Scale: N.T.S.



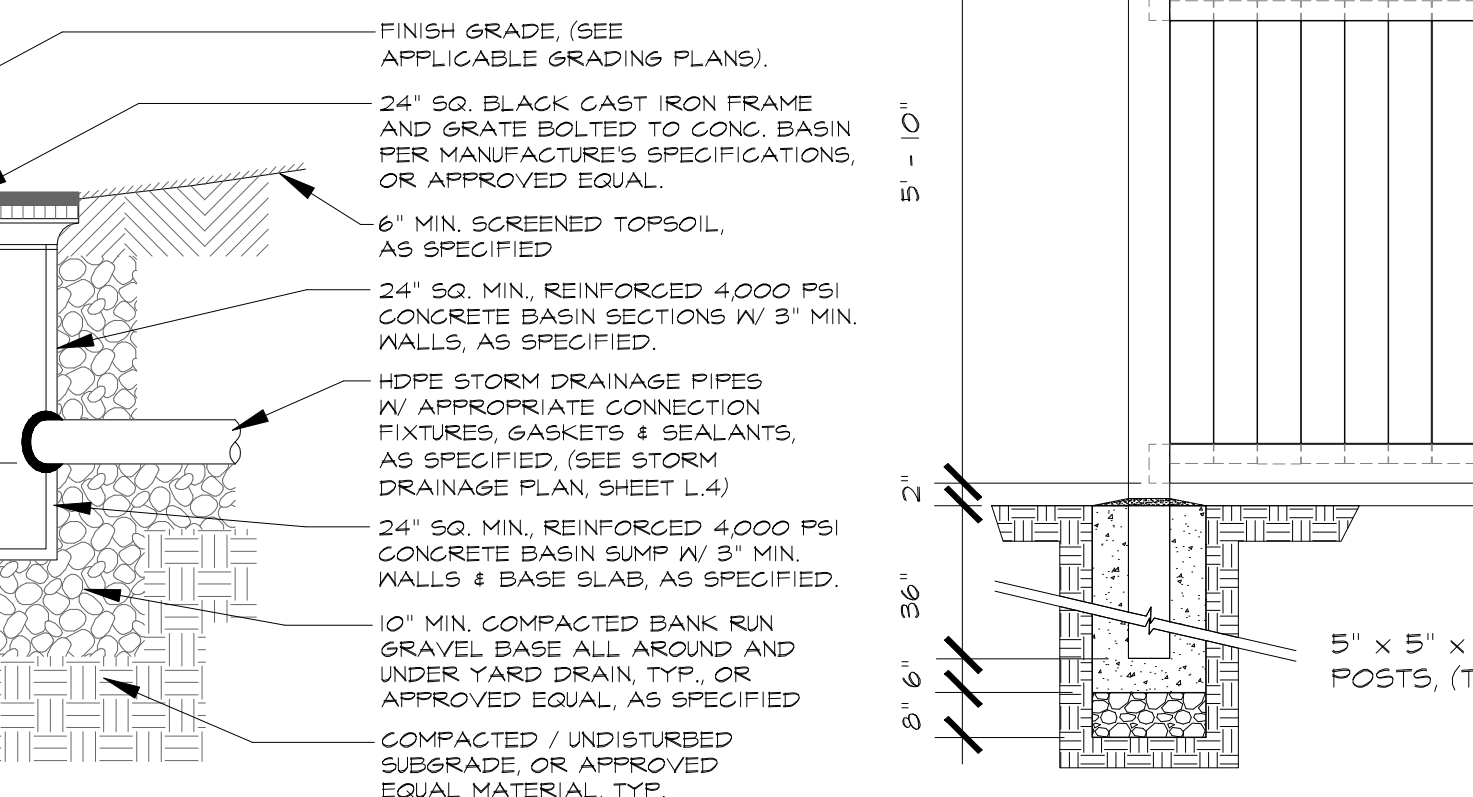
Steel Vehicle Protection Bollard:
N.T.S.



Construction Tracking Pad:
Scale: N.T.S



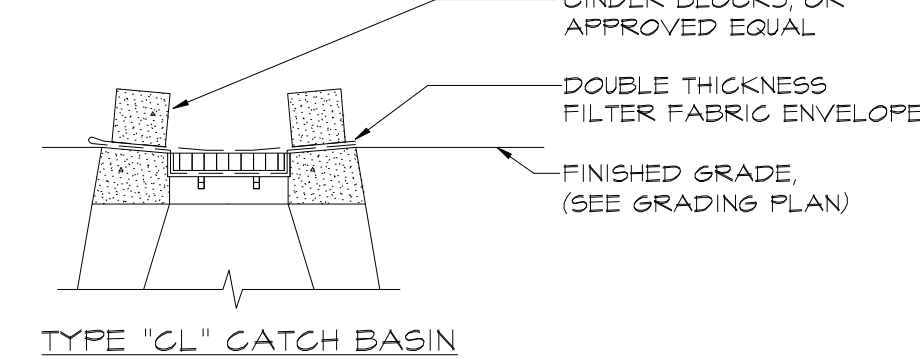
Silt Fence Barrier Detail:
Scale: N.T.S



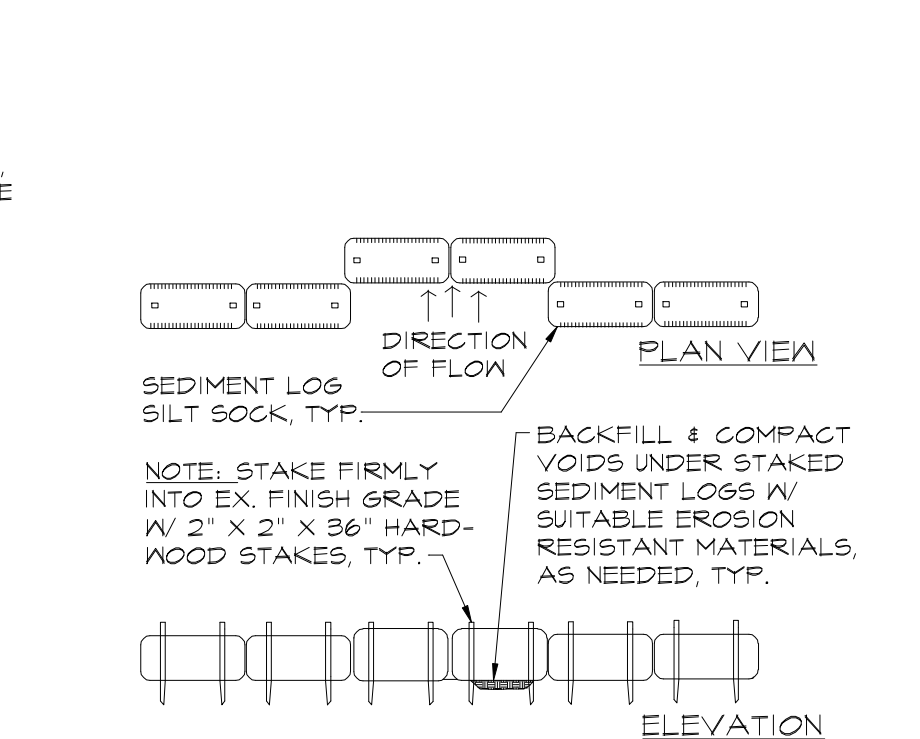
Pre-Cast Concrete Yard Drain:
Scale: N.T.S

SITE PLAN & SPECIAL PERMIT APPLICATIONS
APPROVED BY THE TOWN OF GRANBY PLANNING
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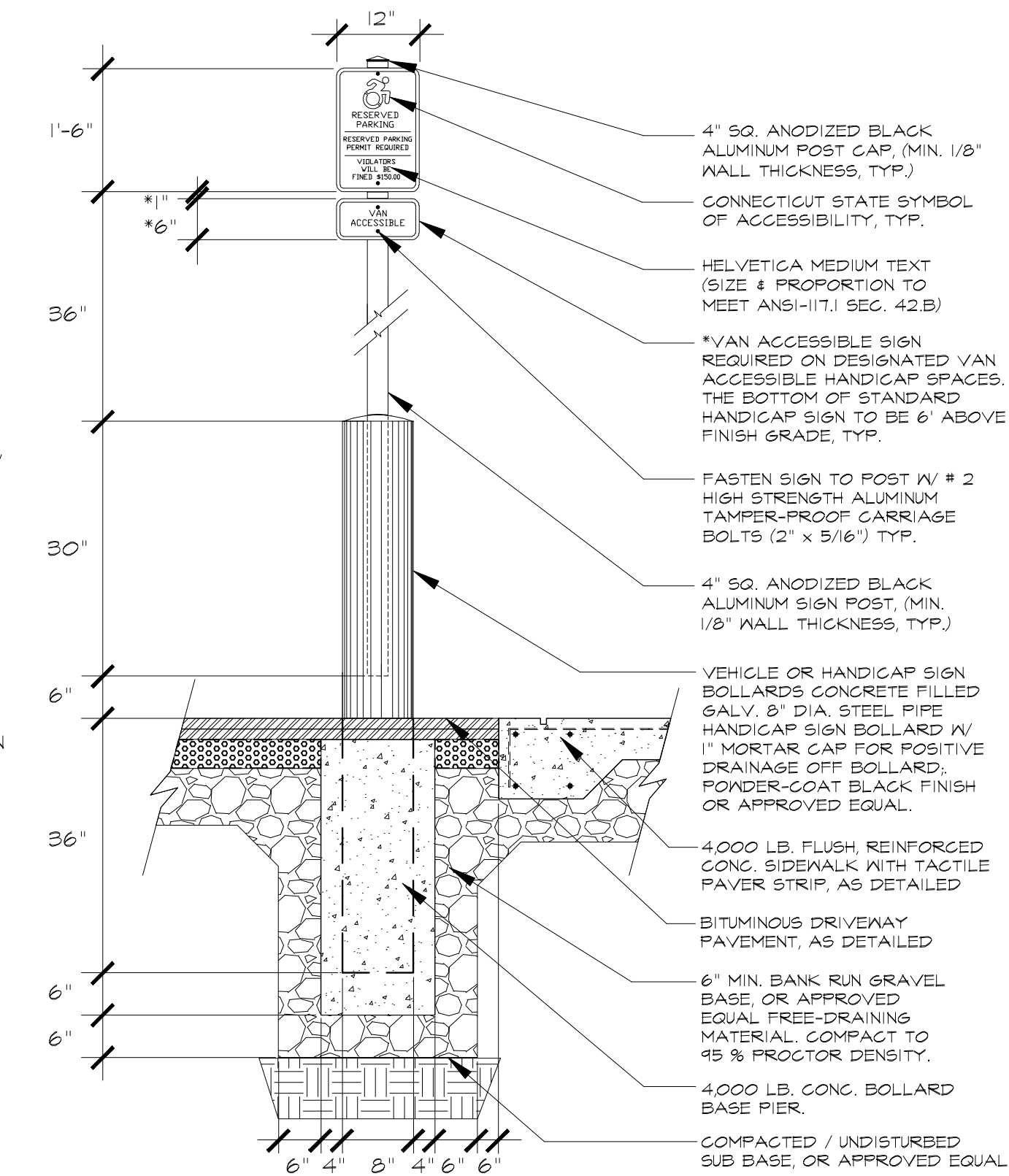
CHAIRMAN'S SIGNATURE _____ DATE _____



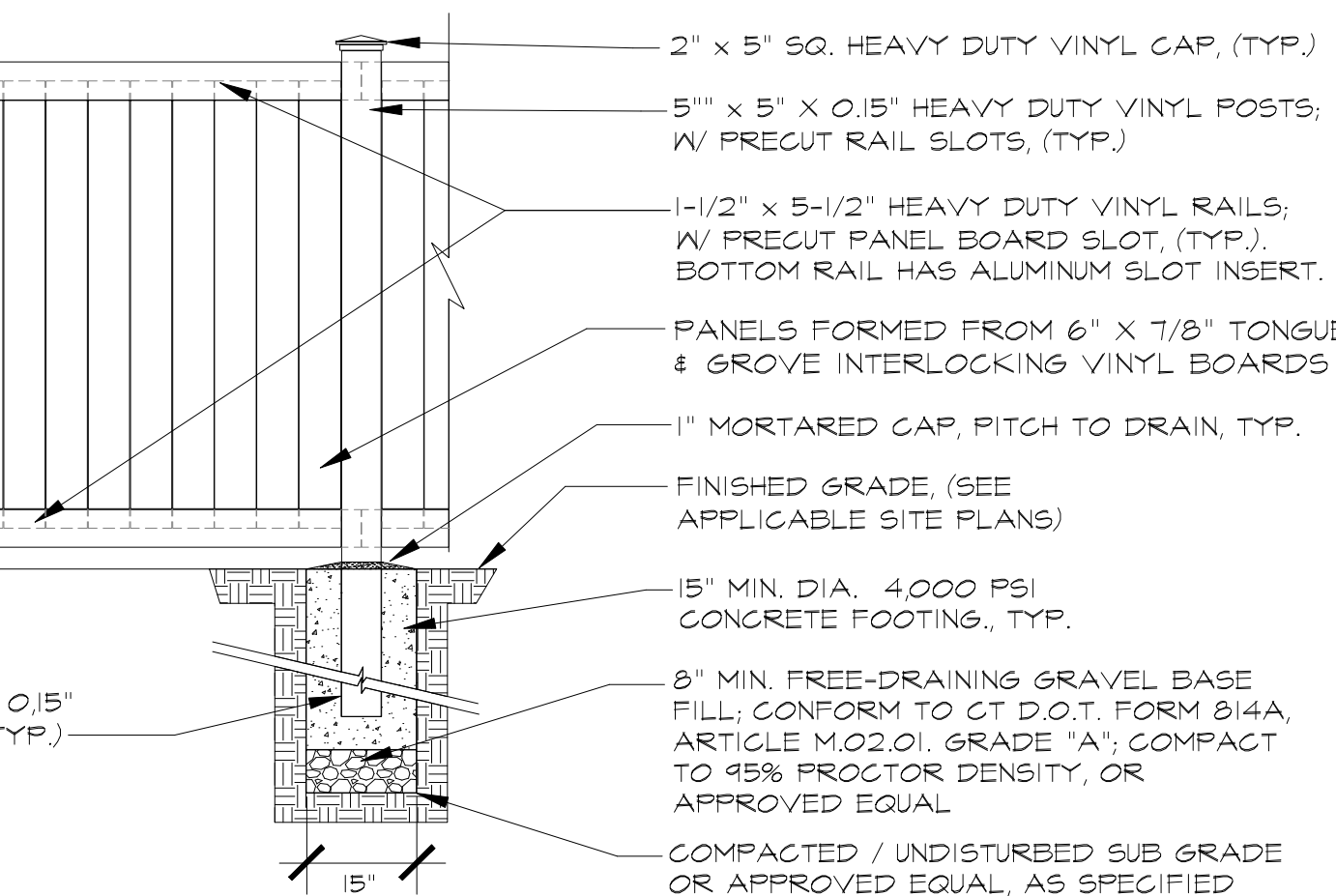
Yard Drain Protection Detail:
Scale: N.T.S



Sediment Log Silt Check Dam:
Scale: N.T.S



Handicap Parking Sign & Bollard:
N.T.S.



6' Solid Vinyl Fence:
Scale: N.T.S

Seal:

Prepared By:
Wilson M. Alford, Jr., L.S., P.E.
Alford Associates, Inc.
200 Pigeon Hill Road,
P.O. Box #484
Windsor, CT 06095
Telephone: (860) 688 - 7288
Facsimile: (860) 688 - 3485

ENGINEER NOTE: SEALED
FOR STORM DRAINAGE,
SANITARY SEWER AND
RELATED DETAILS ONLY.

Drawing Title:

Proposed Commercial Facility:
#14 MILL POND DRIVE, GRANBY, CT

DETAILS & NOTES

18 Mill Pond, LLC

161 NOTCH ROAD, GRANBY, CT 06035

As Noted

Scale: 0' 10' 20' 30' 40' 60'

Date: 2 May 2025

Revisions: 6/4/2025

Seal:

Prepared By:
Robert C. Schechinger, Jr. ASLA
772 Farmington Avenue
Farmington, CT 06032
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Email: Biff.Design@bcbglobal.net
Website: BiffAndDesign.com

Sheet No.

L.8



Water Quality ARC 36 Infiltrator Chamber & End Cap:
Scale: N.T.S

Scale: N.T.S

Scale: N.T.S

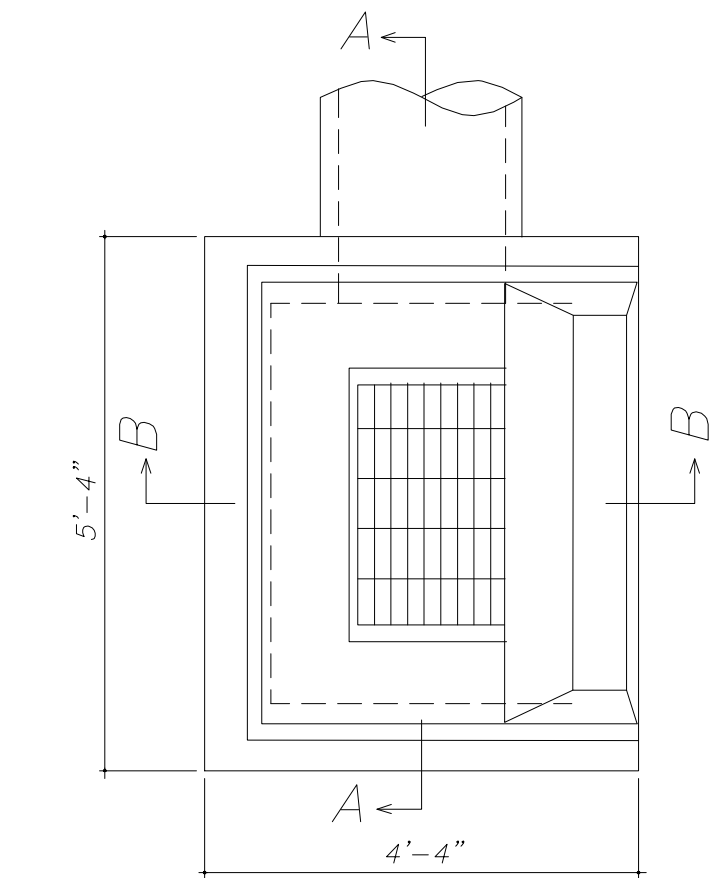


Concrete Light Pole Base:
N.T.S.

Sh

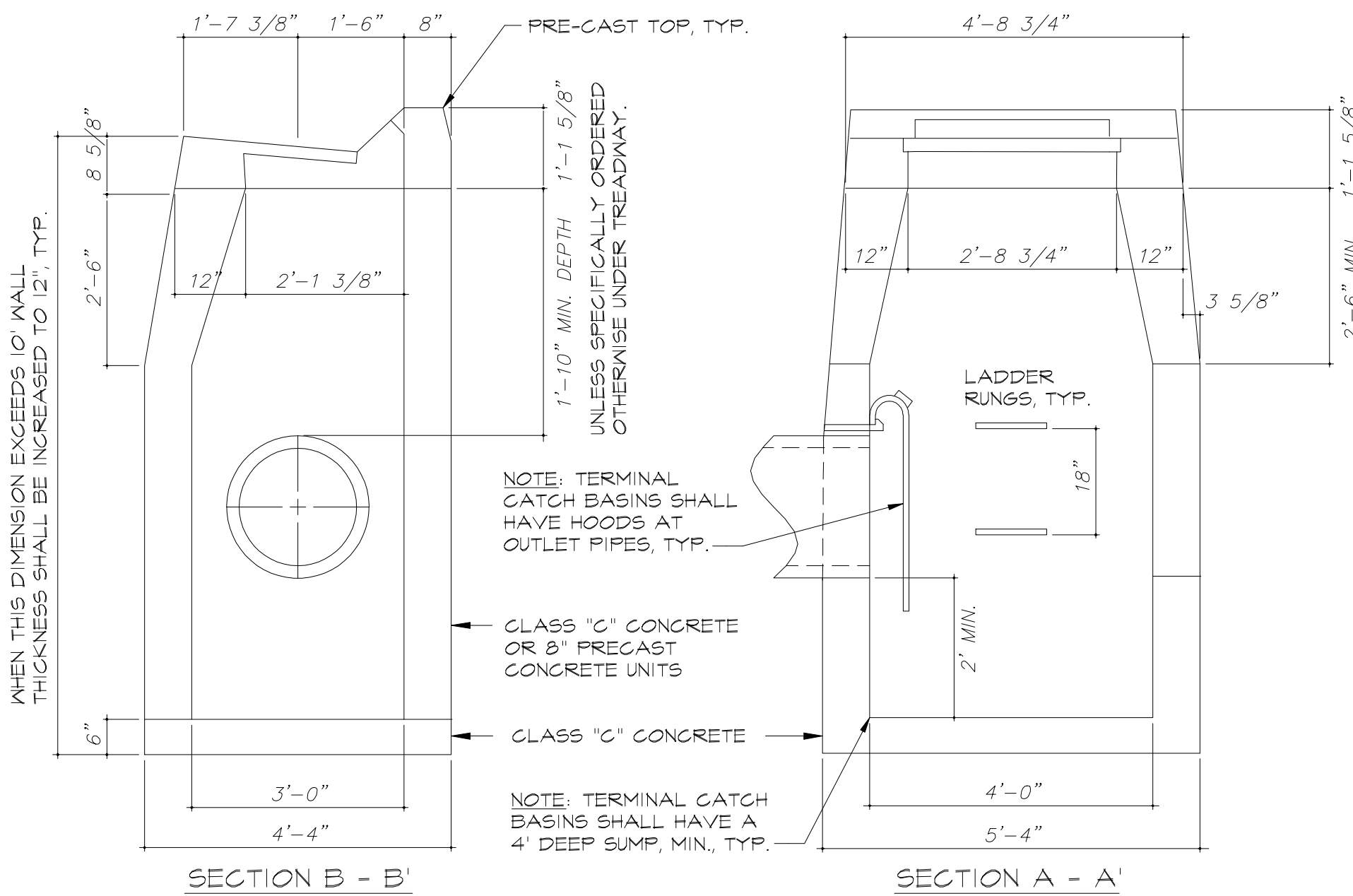
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L.9

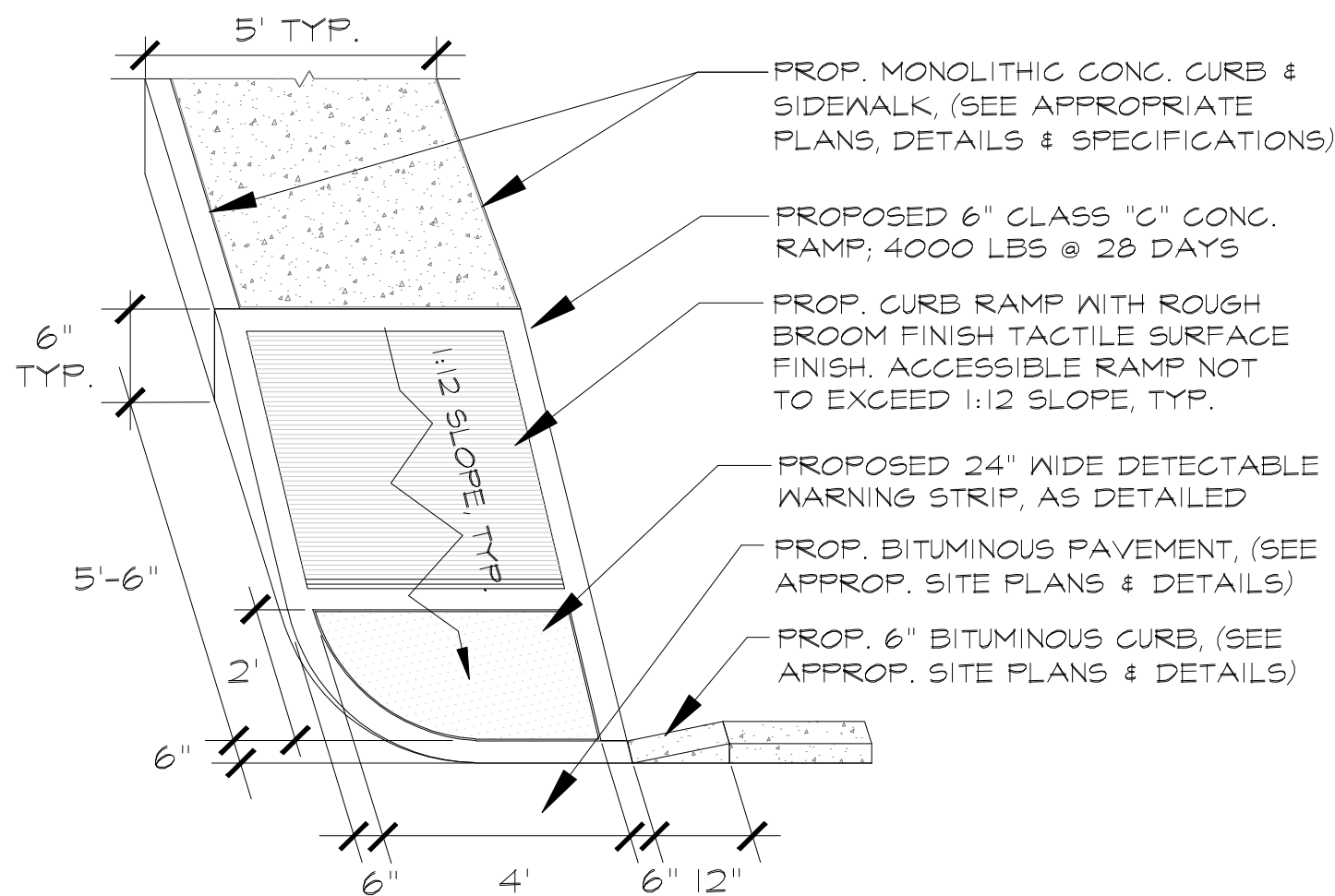


CATCH BASIN NOTES:

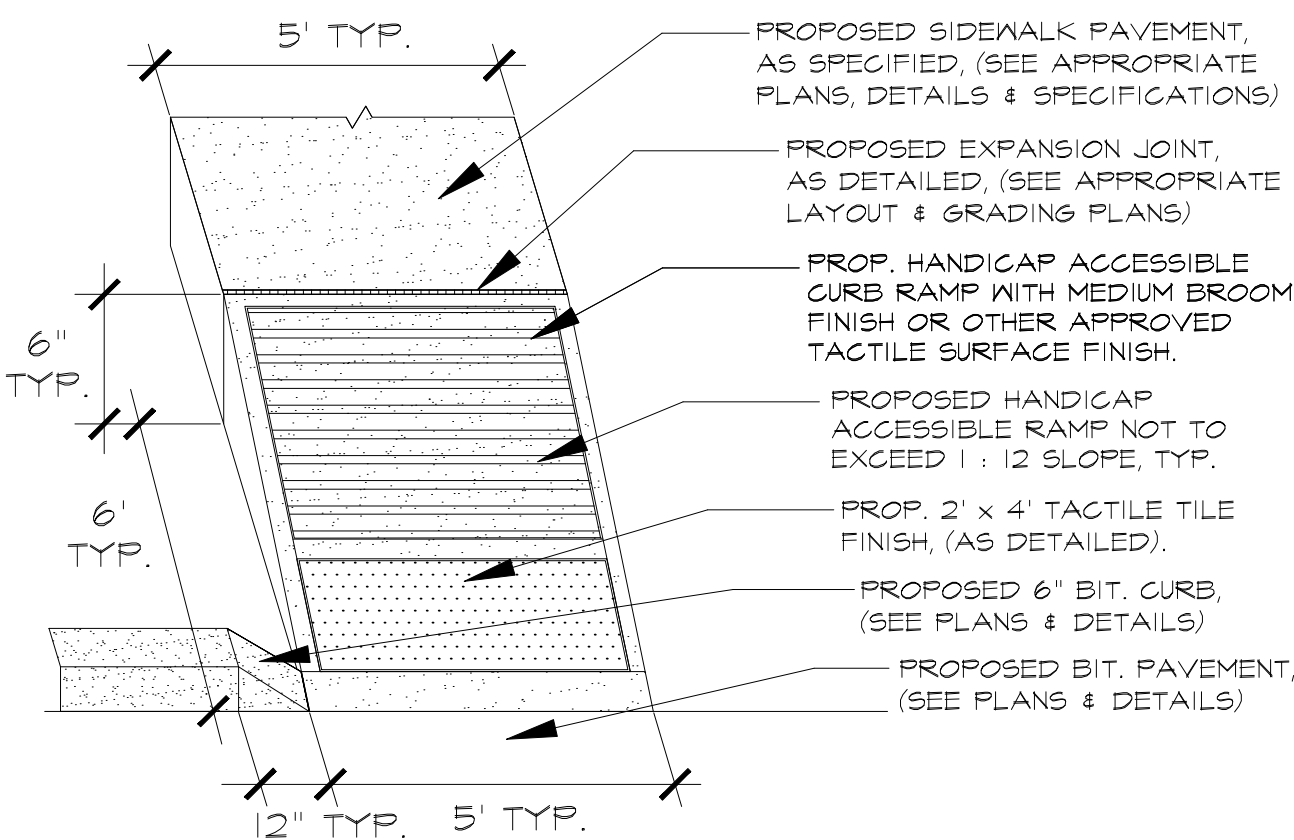
1. END OF PIPE SHALL BE CUT FLUSH WITH INSIDE MAL OF CATCH BASIN & ALL PIPES SHALL EXTEND TO INSIDE WALLS OF CATCH BASIN.
2. RED BRICK IS NOT TO BE USED.
3. WHERE CONCRETE UNITS ARE USED, CORBELLING WILL BE ALLOWED AT A MAXIMUM OF 1" PER BLOCK ON LAST 3 COURSE, TURN TOP COURSE FRONT AND SIDE ONLY.
4. ALL EXTERIOR WALLS OF CATCH BASIN WILL BE FACED, PAINTED AND GROUTED WITH CONCRETE.
5. LADDER RUNGS SHALL BE PROVIDED IN CATCH BASIN WHEN TOTAL DEPTH OF STRUCTURE EXCEEDS 8 FEET.
6. ANY OVER-EXCAVATION SHALL BE REPLACED WITH PROCESSED AGGREGATE OR NO. 6 STONE.
7. WRAP STRUCTURE WITH MIRAFI FABRIC OR EQUIVALENT MAINTAINING A 6 INCH OVERLAP.
8. ALL PRECAST CONCRETE PRODUCTS MUST HAVE THE CASTING DATE CLEARLY LABELED ON EACH PRODUCT. NO PRECAST CONCRETE PRODUCT SHALL BE DELIVERED TO THE SITE WITHIN THE SEVEN DAY PERIOD FOLLOWING THE CASTING DATE.



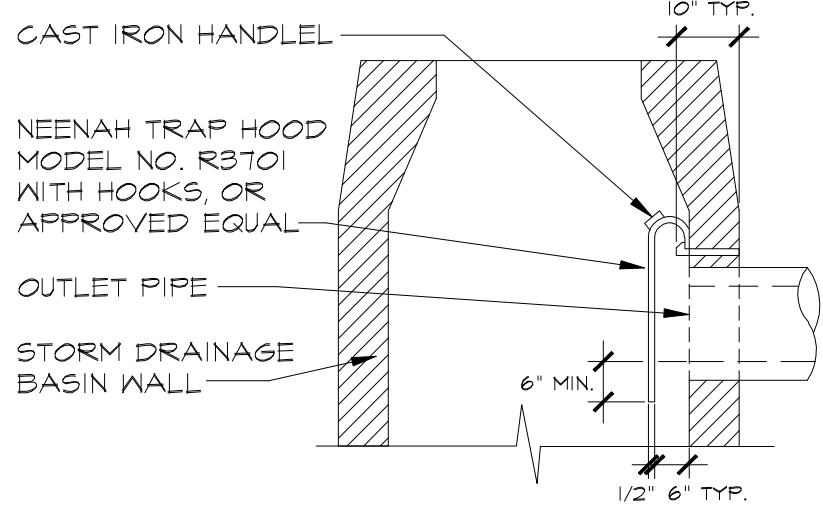
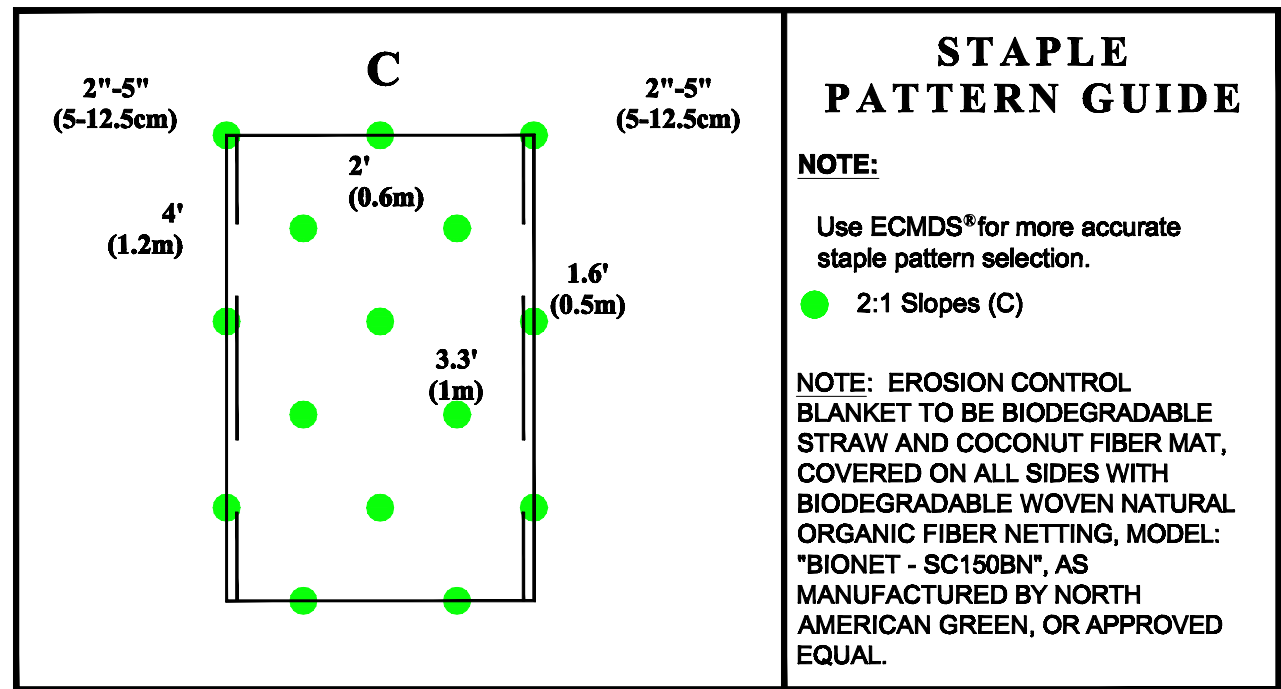
Type "C" Precast Concrete Catch Basin:
Scale: N.T.S



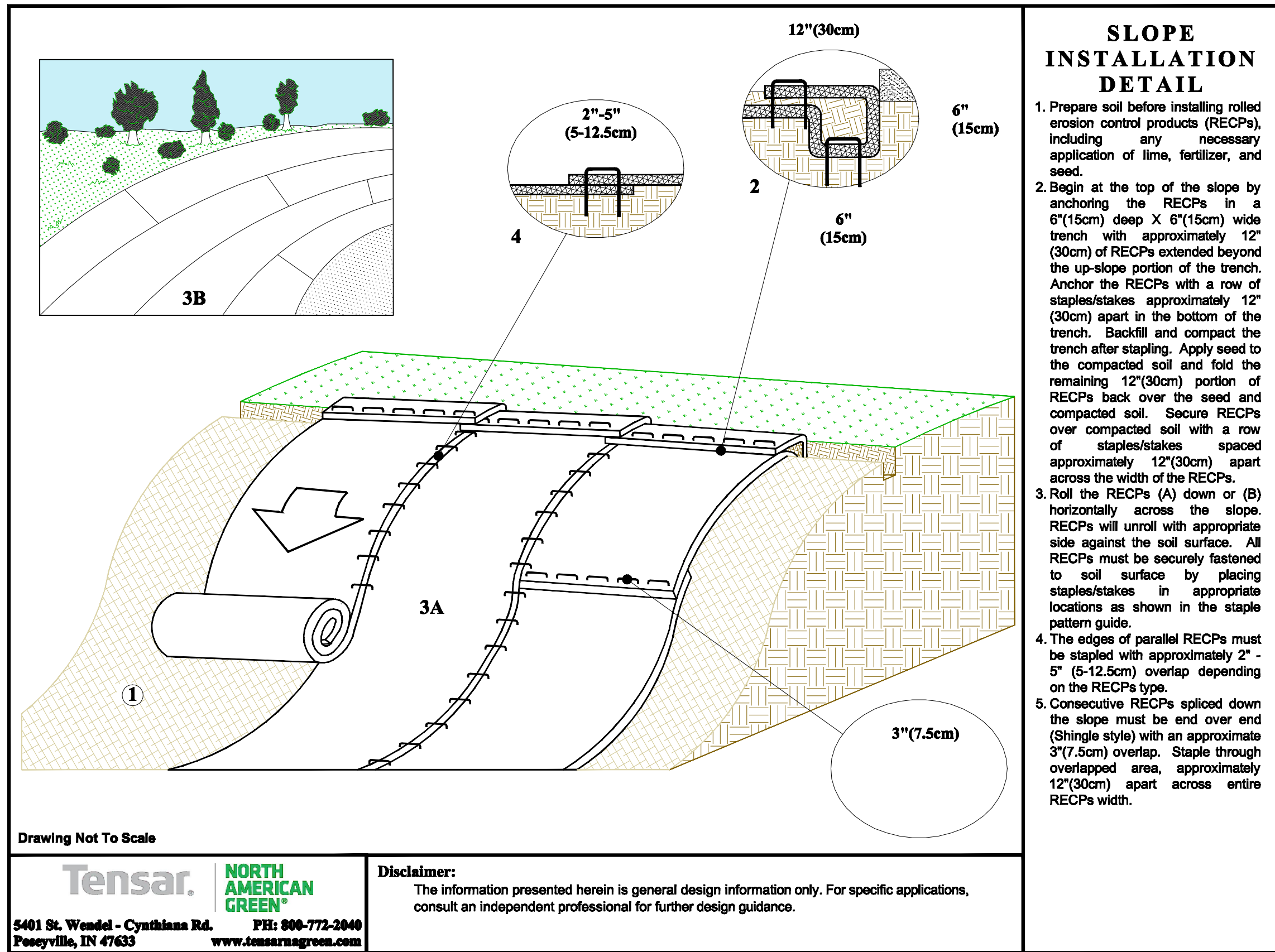
Accessible Concrete Curb Ramp #2 Detail:
Scale: N.T.S



Accessible Concrete Curb Ramp #3 Detail:
Scale: N.T.S



Drain Basin Trap Hood Detail:
Scale: N.T.S



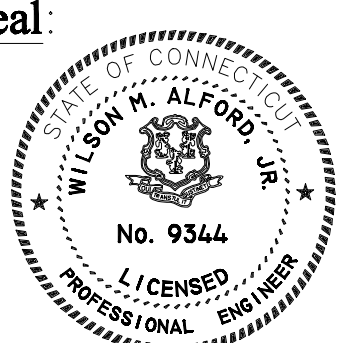
Biodegradable Slope Stabilization Mat:
Scale: N.T.S

SITE PLAN & SPECIAL PERMIT APPLICATIONS
APPROVED BY THE TOWN OF GRANBY PLANNING
AND ZONING COMMISSION ON MAY 10, 2025

CHAIRMAN'S SIGNATURE

DATE

Seal:



Prepared By:
Wilson M. Alford, Jr., L.S., P.E.
Alford Associates, Inc.
200 Pigeon Hill Road,
P.O. Box #484
Windsor, CT 06095
Telephone: (860) 688 - 7288
Facsimile: (860) 688 - 3485

ENGINEER NOTE: SEALED
FOR STORM DRAINAGE,
SANITARY SEWER AND
RELATED DETAILS ONLY.

Drawing Title:

Proposed Commercial Facility:
#14 MILL POND DRIVE; GRANBY, CT

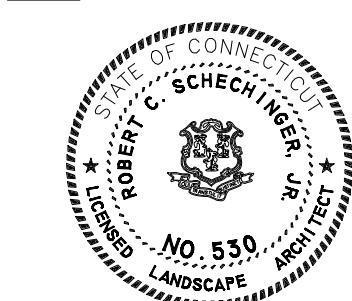
DETAILS & NOTES

Prepared For:

As Noted

Scale:

Seal:



Prepared By:
Robert C. Schechinger, Jr. ASLA
772 Farmington Avenue
Farmington, CT 06032
Telephone: (860) 478 - 7839
Email: Biff.Design@bcglobal.net
Website: BiffAndDesign.com

Sheet No.

L.10



Lancaster Pole Buildings


FOR:

Steve Briggs
161 Notch Rd
Granby, CT 06035
860-817-4368

CONTACT:

Matt Shawaryn
Lancaster Pole Buildings
138 Ranck Church Rd.
New Holland, PA. 17557
717-572-2266

CONSTRUCTION:

Post Frame

DIMENSIONS:

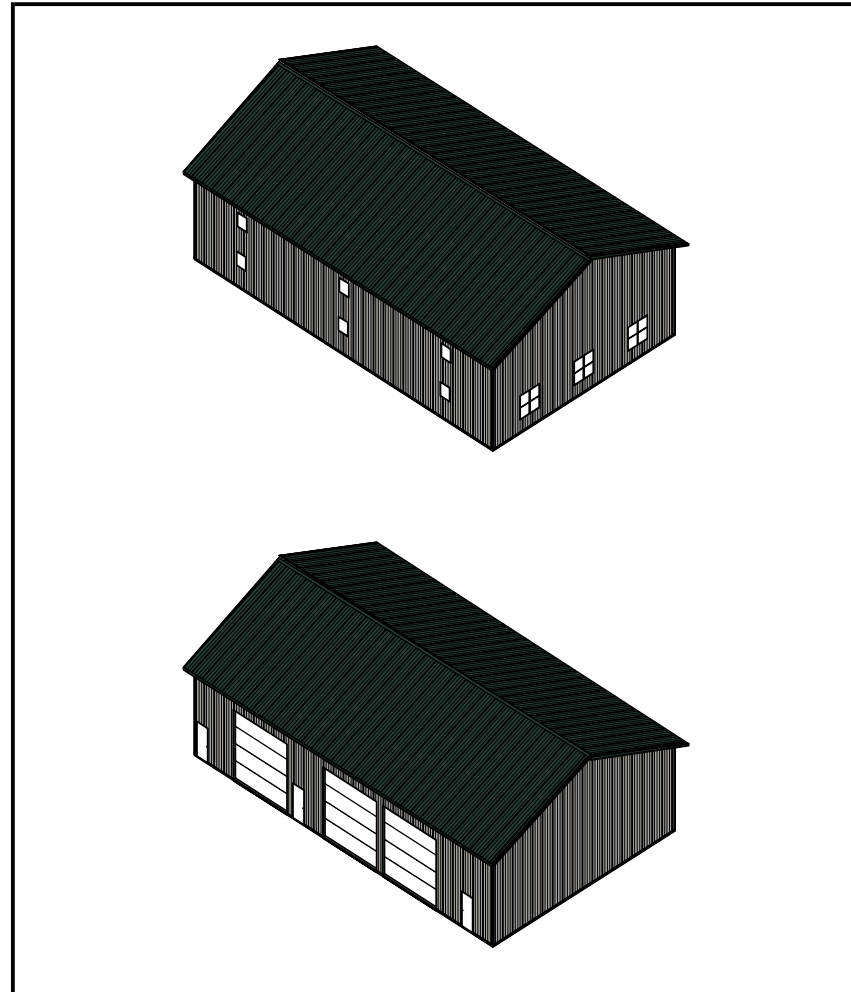
55' X 90' X 18'

SPECIFICATIONS FOR 55' X 90' X 18' POST FRAME PACKAGE:
• MATERIAL PACKAGE

- Pre-Engineered Wood Trusses (4/12 Pitch, 4' O/C)
- 4.5 x 5.25 Glulam 3 Ply Eave Posts (8' O/C) w/ Perma Column Bases
- 4.5 x 5.25 Glulam 3 Ply Gable Posts (8' O/C) w/ Perma Column Bases
- 2 x 8 Treated Skirt Boards (1 Row)
- 2 x 4 Wall Girts (24" O/C) and Roof Purlins (24" O/C)
- 2 x 12 MSR Double Top Girt Truss Carriers
- Ash Gray 28 Gauge Steel Siding
- Evergreen 28 Gauge Steel Roof
- 10" x 18" Concrete Footers w/ 8" Concrete Collars - 8" x 18" on Gables

• DOORS & WINDOWS

- Three 16 X 14 Insulated Overhead Doors w/ Hi-Lift Tracks
- Three 3' Steel Entry Doors w/ Steel Jambs, Panic Bars, Closers
- Six 3' x 3' Fixed Windows w/ Grids
- Three 3' x 5' TWIN UNIT Double Hung Windows w/ Grids

• 24" OVERHANG ON ALL SIDES W/ VENTED SOFFIT
• 2 ROWS OF SNOW GUARDS ON BOTH EAVES @ 18" O/C
• R-38 BLOWN INSULATION IN CEILING W/ LINER PANEL STEEL
• FASTENERS
• DETAILED BUILDING PLANS


DATE: 5/9/2025

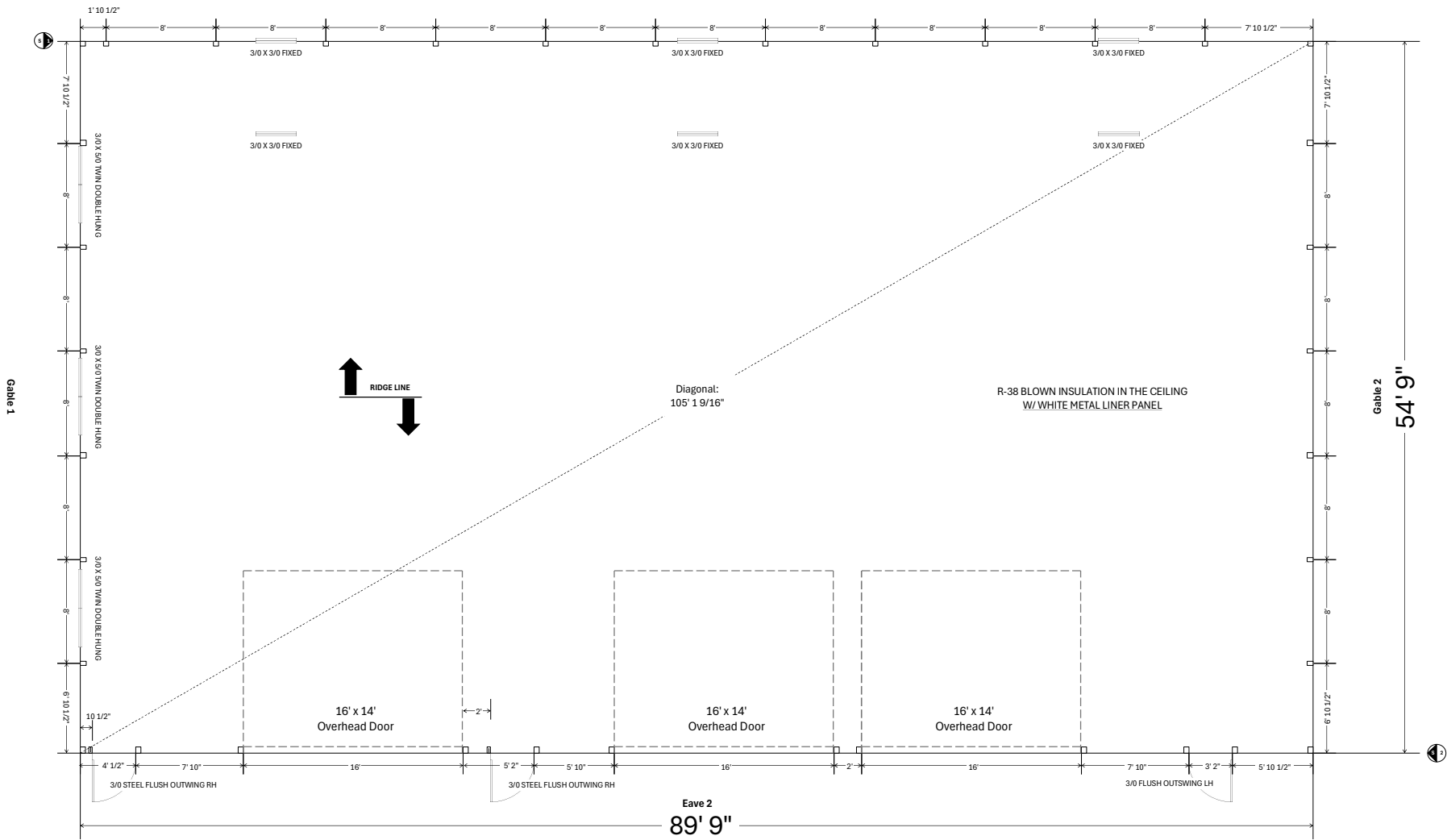
NUMBER: 4953



POLE LAYOUT
Agricultural Use, 4950 sq. ft.



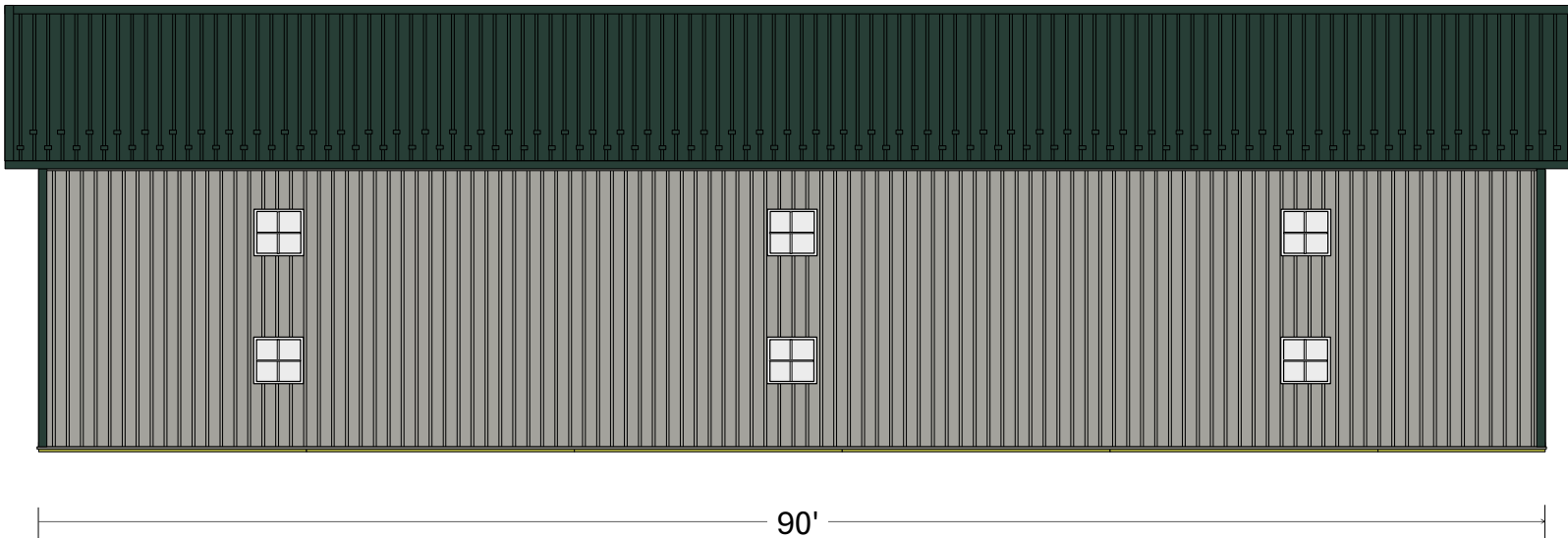
Eave 1



Sheet 3: West Building Elevations



EAVE SIDE 1 ELEVATION



9' 10"

18'

90'

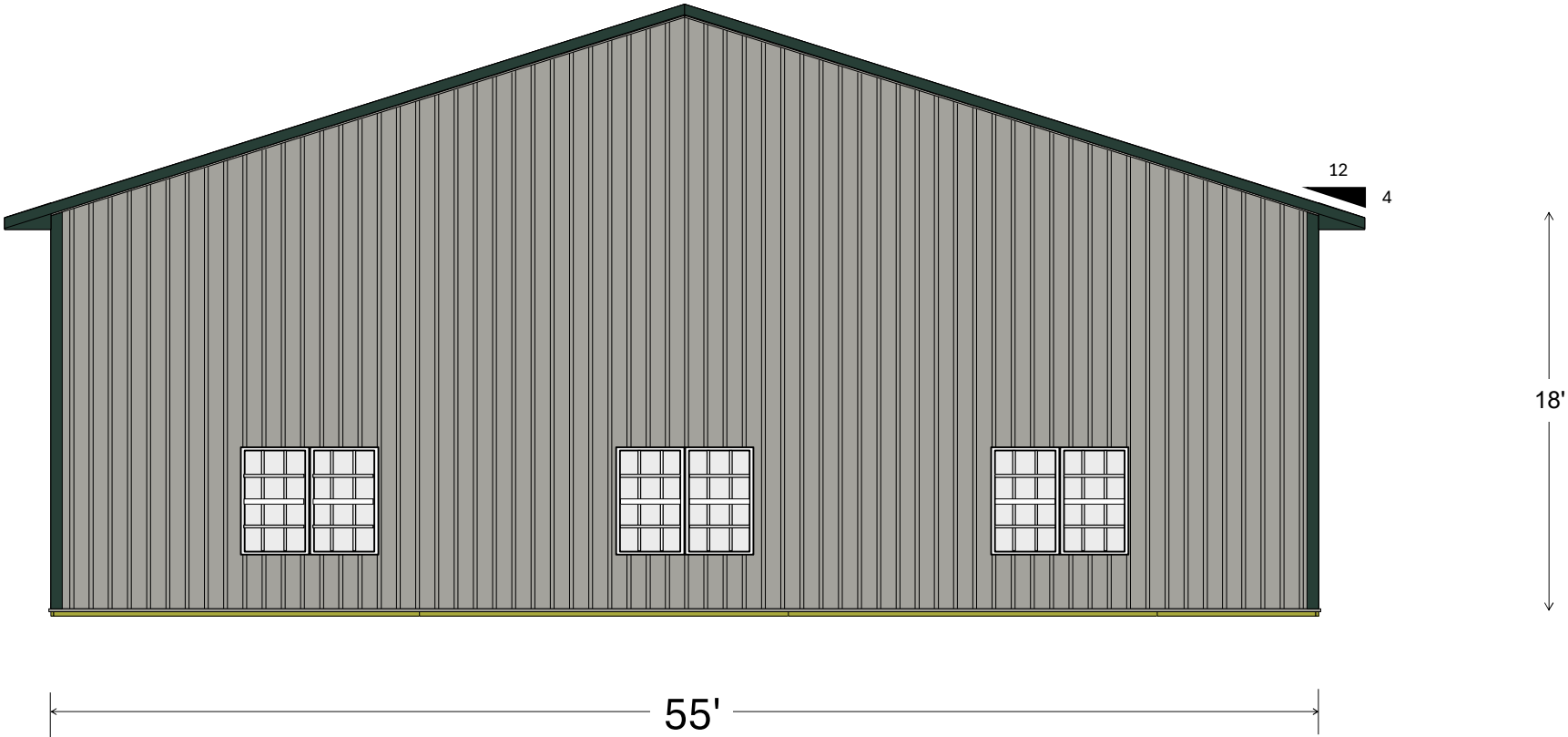


EAVE SIDE 2 ELEVATION



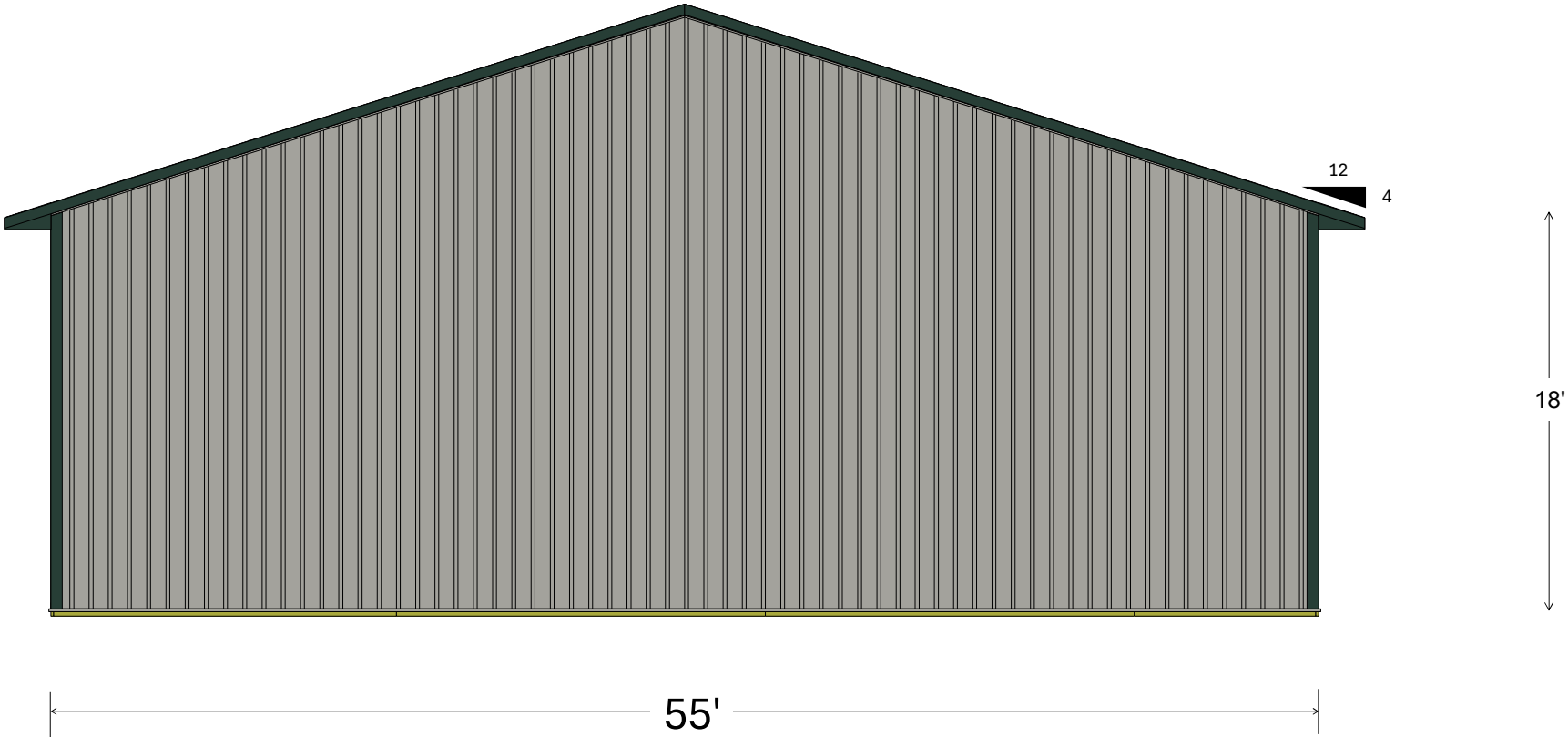


GABLE SIDE 1 ELEVATION





GABLE SIDE 2 ELEVATION



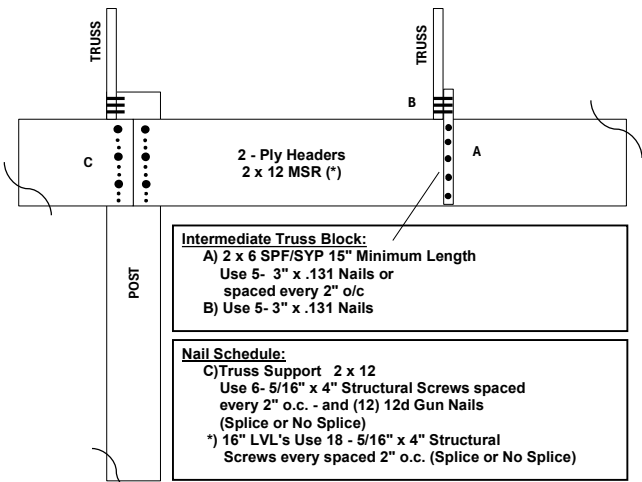
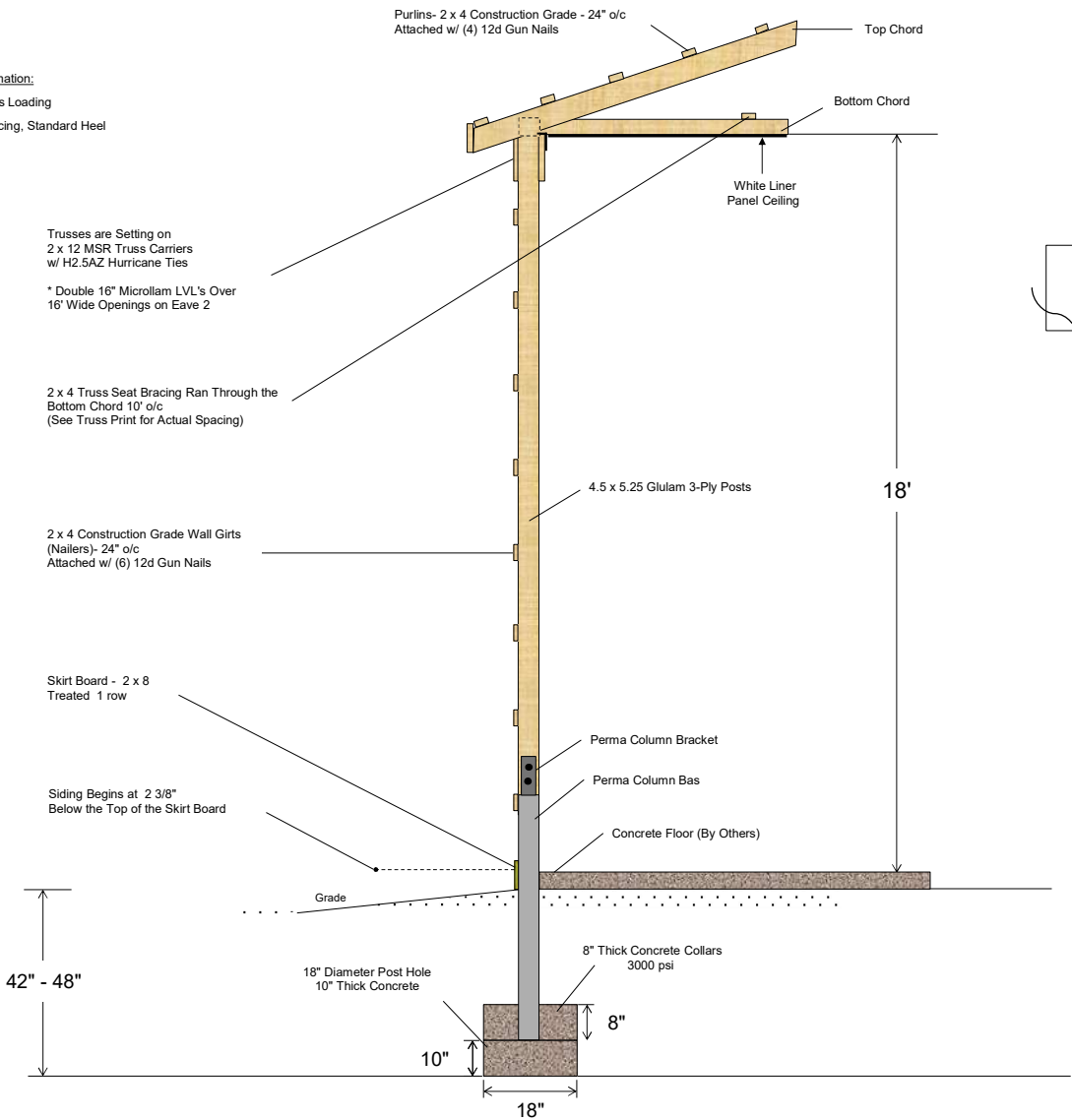


Cross Section Detail



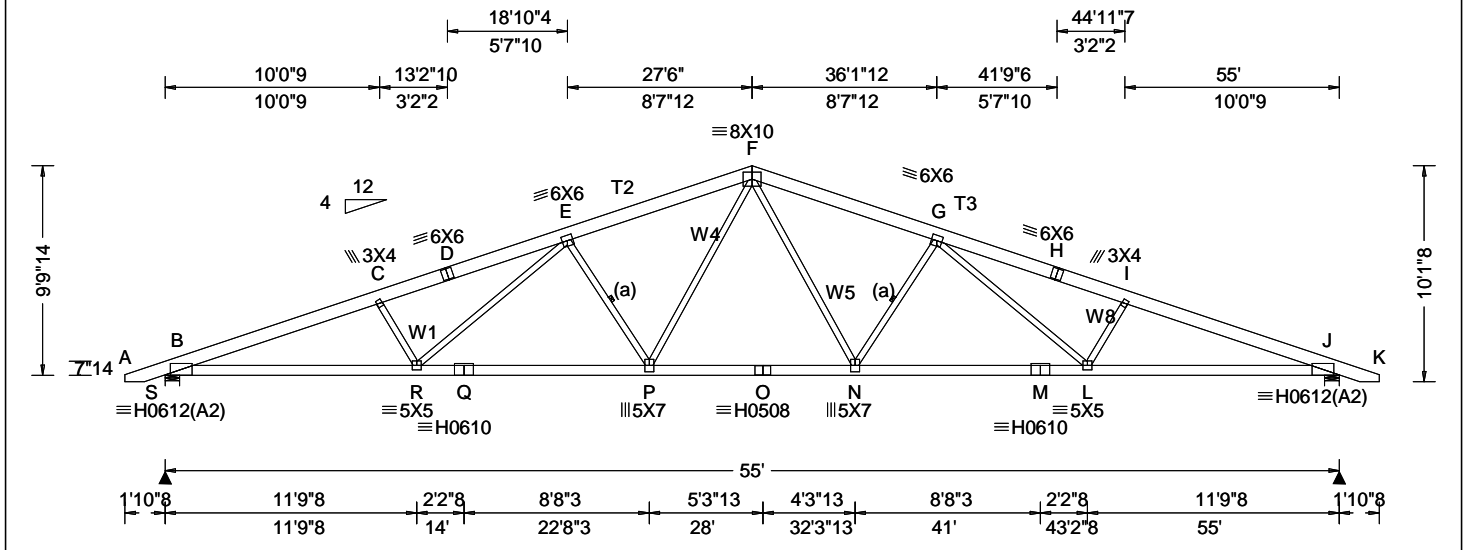
Truss Information:

30-5-5 Truss Loading
48" o/c Spacing, Standard Heel



Sheet 8: Interior Truss Structural Detail

SEQN: 267276 FROM:	COMN Qty: 22	Ply: 1	Job Number: 35649 /35649 /Lanc Pole/Briggs Lawn Car Truss Label: 35A/Com/55/412	Cust: R 6697 JRRef: 1Y9M66970007 T264 DrwNo: 121.25.1347.51877 / FK 05/01/2025
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Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg, Pf in PSF)	Defl/CSI Criteria	Maximum Reactions (lbs)
TCLL: 30.00 TCDL: 5.00 BCLL: 0.00 BCDL: 5.00 Des Ld: 40.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.15 Spacing: 48.0 "	Wind Std: ASCE 7-16 Speed: 115 mph Enclosure: Closed Risk Category: II EXP: C Kzt: NA Mean Height: 15.00 ft TCDL: 3.0 psf BCDL: 3.0 psf MWFRS Parallel Dist: h/2 to h C&C Dist a: 5.50 ft Loc. from endwall: Any GCpi: 0.18 Wind Duration: 1.60	Pg: 35.0 Ct: 1.2 CAT: II Pf: 29.4 Ce: 1.0 Lu: - Cs: 1.00 Snow Duration: 1.15 Building Code: IBC 2021 TPI Std: 2014 Rep Fac: No FT/RT/PT: 2(0)/2(0)/2(0) Plate Type(s): HS, WAVE	PP Deflection in loc L/def L/# VERT(LL): 0.785 P 836 240 VERT(CL): 1.053 N 623 240 HORZ(LL): 0.275 J - - HORZ(TL): 0.368 J - - Creep Factor: 2.0 Max TC CSI: 0.714 Max BC CSI: 0.959 Max Web CSI: 0.838 VIEW Ver: 24.02.00D.0114.11	Gravity Loc R+ / R- / Rh / Rw / U / RL S 4710 - / - / - /1297 /901 /310 J 4710 - / - / - /1297 /901 - / - Wind reactions based on MWFRS S Brg Wid = 8.2 Min Req = 4.8 (Truss) J Brg Wid = 8.2 Min Req = 4.8 (Truss) Bearings S & J are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens.Comp. Chords Tens. Comp. B - C 3484 - 11103 F - G 2861 - 8141 C - D 3399 - 10528 G - H 3421 - 10382 D - E 3422 - 10382 H - I 3399 - 10528 E - F 2861 - 8141 I - J 3484 - 11103

Lumber
Top chord: 2x8 SP 2400F-2.0E; T2,
T3 2x8 SP SS Dense;
Bot chord: 2x6 SP SS Dense;
Webs: 2x4 SPF #1/#2; W1, W8 2x4 SPF Stud; W4,
W5 2x4 SPF 2100F-1.8E;

Bracing
(a) Continuous lateral restraint, equally spaced on member.

Purlins
In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

Chord	Spacing(in oc)	Start(ft)	End(ft)
TC	24	-1.88	27.50
TC	24	27.50	56.88
BC	71	0.15	54.85

Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.

Loading
Bottom chord checked for 10.00 psf non-concurrent live load.
Truss designed for unbalanced snow loads.

Wind
Wind loads based on MWFRS with additional C&C member design.
Wind loading based on both gable and hip roof types.
Bottom chord bracing may be spaced on 120" centers when truss is used in post-frame construction.

Additional Notes
WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.

Maximum Bot Chord Forces Per Ply (lbs)

Chords	Tens.Comp.	Chords	Tens. Comp.
B - R	10334 - 3152	O - N	6551 - 1852
R - Q	8570 - 2607	N - M	8570 - 2535
Q - P	8570 - 2607	M - L	8570 - 2535
P - O	6551 - 1852	L - J	10334 - 3102

Maximum Web Forces Per Ply (lbs)

Webs	Tens.Comp.	Webs	Tens. Comp.
C - R	574 - 1089	F - N	2519 - 680
R - E	1690 - 529	N - G	843 - 2368
E - P	843 - 2368	G - L	1690 - 529
P - F	2519 - 680	L - I	573 - 1089

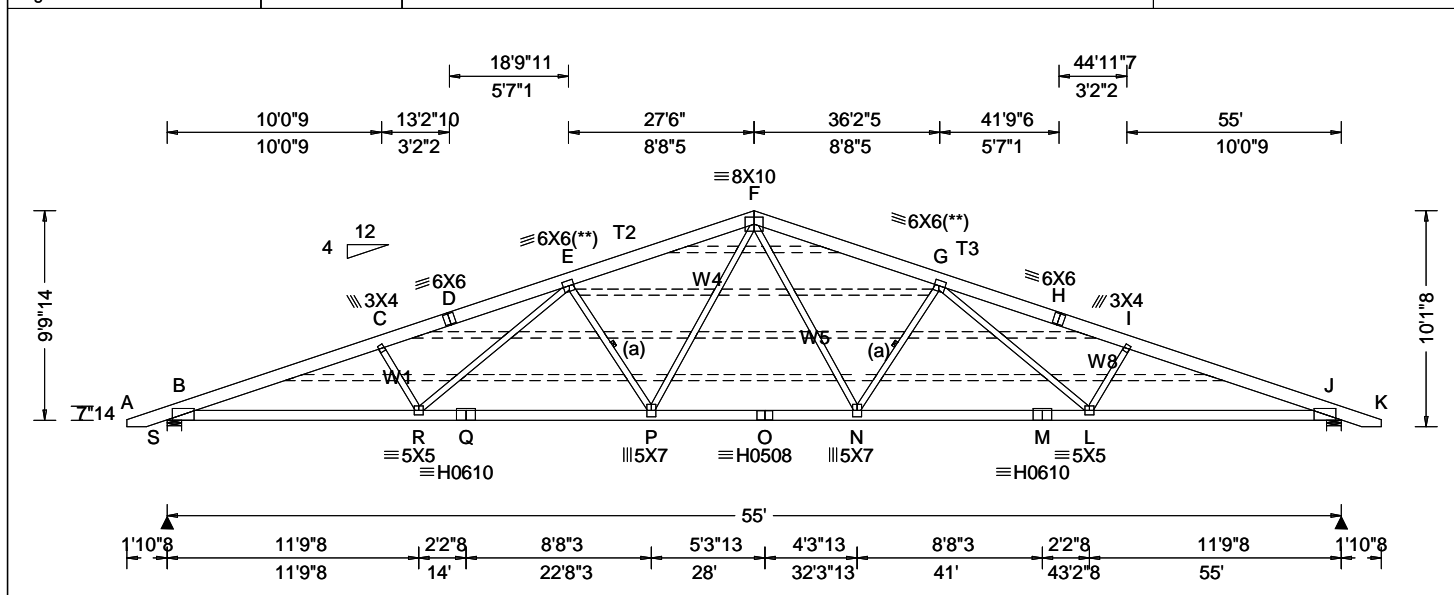


****WARNING**** READ AND FOLLOW ALL NOTES ON THIS DRAWING!
****IMPORTANT**** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and SBCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have continuous lateral restraint (CLR), installed with diagonal bracing installed on the CLR per BCSI sections B3, B7, or B10, as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions. Refer to job's General Notes page for additional information.
Alpine, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation and bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2.
For more information see these web sites: Alpine: alpineitw.com; TPI: tpinst.org; SBCA: sbccomponents.com; ICC: iccsafe.org; AWC: awc.org

ALPINE
AN ITW COMPANY
155 Harlem Ave
North Building, 4th Floor
Glenview, IL 60025

Sheet 9: Gable End Truss Structural Detail

SEQN: 267283 FROM: Page 1 of 2	GABL Ply: 1 Qty: 2	Job Number: 35649 /35649 /Lanc Pole/Briggs Lawn Car Truss Label: 35A/Gab/55/412	Cust: R 6697 JRef: 1Y9M66970007 T266 DrwNo: 121.25.1348.16240 / FK 05/01/2025
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Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg, Pf in PSF)	Defl/CSI Criteria	▲ Maximum Reactions (lbs)
TCLL: 30.00 TCDL: 5.00 BCLL: 0.00 BCDL: 5.00 Des Ld: 40.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.15 Spacing: 48.0 "	Wind Std: ASCE 7-16 Speed: 115 mph Enclosure: Closed Risk Category: II EXP: C Kzt: NA Mean Height: 15.00 ft TCDL: 3.0 psf BCDL: 3.0 psf MWFRS Parallel Dist: h/2 to h C&C Dist a: 5.50 ft Loc. from endwall: Any GCpi: 0.18 Wind Duration: 1.60	Pg: 35.0 Ct: 1.2 CAT: II Pf: 29.4 Ce: 1.0 Lu: - Cs: 1.00 Snow Duration: 1.15 Building Code: IBC 2021 TPI Std: 2014 Rep Fac: No FT/RT/PT: 2(0)/2(0)/2(0) Plate Type(s): HS, WAVE	PP Deflection in loc L/def L/# VERT(LL): 0.892 N 735 240 VERT(CL): 1.053 N 623 240 HORZ(LL): 0.312 J - - HORZ(TL): 0.368 J - - Creep Factor: 2.0 Max TC CSI: 0.714 Max BC CSI: 0.959 Max Web CSI: 0.838 VIEW Ver: 24.02.00D.0114.11	Gravity Loc R+ / R- / Rh / Rw / U / RL S 4710 -/- /- /1297 /901 /310 J 4710 -/- /- /1297 /901 -/ Wind reactions based on MWFRS S Brg Wid = 8.2 Min Req = 4.8 (Truss) J Brg Wid = 8.2 Min Req = 4.8 (Truss) Bearings S & J are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens.Comp. Chords Tens. Comp. B - C 3484 -11103 F - G 2861 -8141 C - D 3399 -10528 G - H 3421 -10382 D - E 3422 -10382 H - I 3399 -10528 E - F 2861 -8141 I - J 3484 -11103

Lumber
Top chord: 2x8 SP 2400F-2.0E; T2,
T3 2x8 SP SS Dense;
Bot chord: 2x6 SP SS Dense;
Webs: 2x4 SPF #1/#2; W1, W8 2x4 SPF Stud; W4,
W5 2x4 SPF 2100F-1.8E;

Bracing
(a) Continuous lateral restraint, equally spaced on member.

Plating Notes
All plates are H0612(A2) except as noted.
(**) 2 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.

Purlins
In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:
Chord Spacing(in oc) Start(ft) End(ft)
TC 24 -1.88 27.50
TC 24 27.50 56.88
BC 71 0.15 54.85
Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.

Loading
Bottom chord checked for 10.00 psf non-concurrent live load.
Truss designed for unbalanced snow loads.

Wind
Wind loads based on MWFRS with additional C&C member design.
Wind loading based on both gable and hip roof types.

Gable Studs
Dashed pieces are not analyzed and are optional; and may be attached at each end to adjacent pieces and members with connector plates, staples, nails, or other fasteners.
Bottom chord bracing may be spaced on 120" centers when truss is used in post-frame construction.

Maximum Bot Chord Forces Per Ply (lbs)
Chords Tens.Comp. Chords Tens. Comp.
B - R 10334 -3152 O - N 6551 -1852
R - Q 8570 -2607 N - M 8570 -2535
Q - P 8570 -2607 M - L 8570 -2535
P - O 6551 -1852 L - J 10334 -3102

Maximum Web Forces Per Ply (lbs)
Webs Tens.Comp. Webs Tens. Comp.
C - R 574 -1089 F - N 2519 -680
R - E 1690 -529 N - G 843 -2368
E - P 843 -2368 G - L 1690 -529
P - F 2519 -680 L - I 573 -1089



****WARNING**** READ AND FOLLOW ALL NOTES ON THIS DRAWING!
****IMPORTANT**** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS
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For more information see these web sites: Alpine: alpineitw.com; TPI: tpinst.org; SBCA: sbcacomponents.com; ICC: iccsafe.org; AWC: awc.org

ALPINE
AN ITW COMPANY
155 Harlem Ave
North Building, 4th Floor
Glenview, IL 60025



Alford Associates, Inc.

■ WILSON M. ALFORD, JR., P.E. & L.S.

■ CHRISTIAN L. ALFORD, P.E. & L.S.

ENGINEERS ■ SURVEYORS ■ PLANNERS

200 PIGEON HILL ROAD ■ P.O. BOX 484 ■ WINDSOR ■ CT 06095 ■ PHONE (860) 688-7288 ■ FAX (860) 688-3485 ■ skipalford@snet.net

June 4, 2025

Kevin Clark, PEL
Town Engineer
Town of Granby
15 North Granby Road
Granby, CT 06035

Re: 14 Mill Pond Road
Granby, CT

Dear Kevin:

We are proposing a new building at 14 Mill Pond Road. The facility will have 1250 Sq. Ft. of Retail and 3,750 Sq. Ft. of Retail storage. I have attached a copy of the parking analysis showing proposed uses.

Based on the design flow of 0.1 Gallons per Day per Sq. Ft. for Retail Building from Table 4 of the Public health Code, there would be an estimated flow of 495 GPD (4,950 Sq. Ft. at 0.1 GPD per Sq. Ft.)

I am requesting a letter acknowledging that the town sewer system can handle the additional 495 GPD flow.

Thank you.

Skip,

Wilson M Alford, Jr. PE & LS

TOWN OF GRANBY

MEMORANDUM

TO: Biff Schechinger, Steven Briggs

FROM: Abby Kenyon, Director of Community Development

DATE: June 6, 2025

RE: Application seeking a Site Plan Modification to allow access to abutting lot, for property located at 18 Mill Pond Drive, C2 Zone: File Z-8-25.

The property, 18 Mill Pond Drive, is .81 acres in the C2 Business Zone and also within the Aquifer Protection Overlay Zone. The Commission approved the construction of a commercial building on the property, which has been completed and is now occupied. The property owner of 18 Mill Pond Drive also owns 14 Mill Pond Drive, which is the subject of another application. He would like to connect the two properties via a driveway that would be located to the north end of the properties. This driveway would provide internal cross access between the two properties.

Similar to the application for 14 Mill Pond, staff comments were issued at the end of May and plan revisions were received on June 5th. As there was not enough time to review the revised plans and issue comments before the meeting packets were distributed, staff will review the plans in more detail and will report any outstanding items to the Commission at the meeting. The meeting packet includes the revised site plan, narrative, and the response to staff comments.

While 14 and 18 Mill Pond are separate applications, due to the coordinated development/improvements shown on the two properties, the Commission may want to hear the applications at the same time.

Property Location



EXISTING COMMERCIAL FACILITY

#18 MILL POND DRIVE; GRANBY, CONNECTICUT 06035

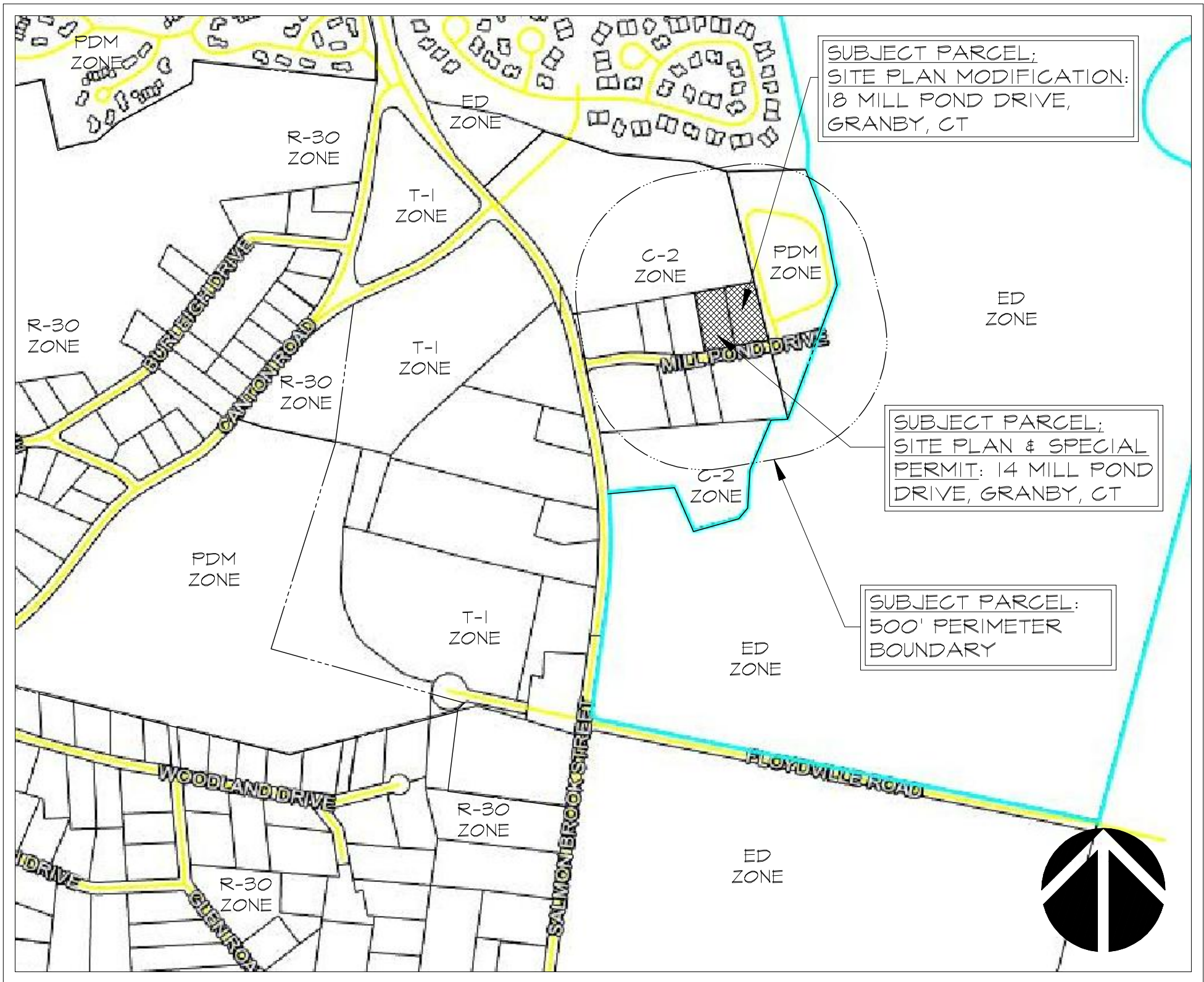
SUBMISSION TO PLANNING & ZONING COMMISSION FOR SITE PLAN MODIFICATION:
PROPOSED NEW BITUMINOUS PAVEMENT & CURB SECTION
WITHIN COMMERCIAL C-2 ZONE & AQUIFER OVERLAY ZONE

PROJECT CONSULTANTS:

LANDSCAPE ARCHITECT:
BIFF SCHECHINGER, ASLA
ROBERT SCHECHINGER, JR. ASLA
772 FARMINGTON AVENUE
FARMINGTON, CT 06032
TEL: 860-478-7839
EMAIL: BIFF.DESIGN@SBCGLOBAL.NET

CIVIL ENGINEER:
SKIP ALFORD, L.S., P.E.
ALFORD ASSOCIATES, INC.
200 PIGEON HILL ROAD
WINDSOR, CT 06095
TEL: 860-688-7288
FAX: 860-688-3485
EMAIL: ALFORD@SNET.NET

SURVEYOR:
JERRY P. MAHER, JR. L.S.
MERIANI LAND SURVEYING, L.L.C.
56 HILLCREST DRIVE
BARKHAMSTED, CONNECTICUT 06063
PHONE: (860) 677-7732
EMAIL: JERRY@MERIANISURVEYING.COM



LOCATION MAP:
SCALE: 1" = 500'

ZONING & DEVELOPMENT DATA:

ZONING SCHEDULE: C-2 COMMNERCIAL BUSINESS ZONE PARCEL #18 MILL POND DRIVE:

ZONING REQUIREMENTS:	EXISTING:	PROPOSED:
Min. Lot Area = 20,000 Sq. Ft.; 0.459 Ac.	35,125 Sq. Ft.; 0.806 Ac.	35,125 Sq. Ft.; 0.806 Ac.
Max. Lot Coverage = 40% Lot Area, (14,050 Sq. Ft.)	14.86%, (5,220 Sq. Ft.)	16.03%, (5,631 Sq. Ft.)*
Min. Landscape Area = 20% Lot Area, (7,025 Sq. Ft.)	38.11%, (13,386 Sq. Ft.)	36.93%, (12,975 Sq. Ft.)*

(*Added 411 Sq. Ft. of 24' Wide Driveway Connector to Lot #14 - Section 7, Article 3 - Location of Parking Spaces, Item 1 - Commercial Parking Areas May Be Paved To Common Property Line With Cross-Easements For Shared Parking)

PARKING REQUIREMENTS:	PROPOSED:
Min. Storage Retail Parking - 5 Space / 1,000 Sq. Ft.	3,000 Sq. Ft. = #15 Spaces
Min. Retail Stores Parking - 6 Space / 1,000 Sq. Ft.	1,800 Sq. Ft. = #11 Spaces
Min. Total Parking = #26	#26 Spaces
Min. Handicap Parking Spaces- 1 Space / #25 Spaces = #2 Spaces	#2 Spaces
(#1 Standard Handicap Space Parking @ 10' x 18'; #1 Handicap Van Parking Space @ 8' x 18'; #1 Shared Access Aisle @ 8' x 18')	
Min. Standard 90 Degree Parking Space = 9' x 18'	9' x 18'
Min. Two Way Driveway Width Without Parking = 22 L.F.	22.00 L.F.
Min. Two Way Driveway Width With Parking = 24 L.F.	24.00 L.F.
Min. Pedestrian Sidewalk Width = 4 L.F.	5.00 L.F.

DATE: 2 MAY 2025
REVISED: 4 JUNE 2025

DRAWING TABLE OF CONTENTS:

SITE DRAWINGS:
SHEET C: COVER SHEET
SHEET S.I.: PROPERTY & TOPOGRAPHIC SURVEY
SHEET L.I.: SITE PLAN

SITE PLAN MODIFICATION APPLICATION
APPROVED BY THE TOWN OF GRANBY PLANNING
AND ZONING COMMISSION ON MAY 10, 2025

CHAIRMAN'S SIGNATURE

DATE

18 Mill Pond, LLC

161 NOTCH ROAD; GRANBY, CT 06035

TRANSPLANT OR REPLACE #2 ARBORVITAE TREE PLANTINGS, TYP.

PROPOSED 24' WIDE, 411 SQ. FT., 3" THICK, CURBED DRIVEWAY CONNECTOR, ON LOT #18 TO ACCESS LOT #14 PARKING - SEE CONCURRENT SITE PLAN AND SPECIAL PERMIT APPLICATIONS FOR #14 MILL POND DRIVE, (AS DETAILED).

PROPOSED +/-42 LF OF BITUMINOUS CURBING ON DRIVEWAY CONNECTOR, ON LOT #18 TO ACCESS LOT #14 PARKING - SEE CONCURRENT SITE PLAN AND SPECIAL PERMIT APPLICATIONS FOR #14 MILL POND DRIVE, (AS DETAILED).

REMOVE +/-7.8' 6" BITUMINOUS CURB SECTION WITHIN NEW DRIVEWAY CONNECTION, TYP.

PROVIDE CLEAN, SAW-EDGE FOR EXISTING BITUMINOUS PAVEMENT AND PROPOSED BITUMINOUS PAVEMENT JOINT, TYP., (AS DETAILED)

EXISTING 6" BITUMINOUS PAVEMENT CURB, TO REMAIN, TYP.

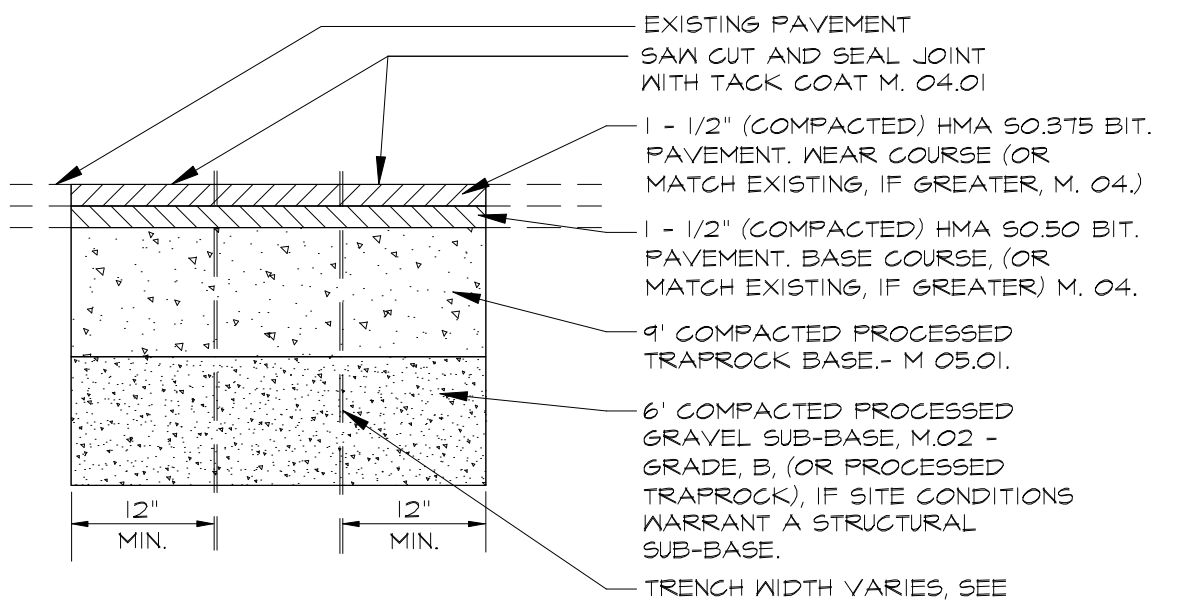
EXISTING 3" THICK BITUMINOUS PAVEMENT DRIVEWAY, TO REMAIN, TYP.

REMOVE +/-1.8' 6" BITUMINOUS CURB SECTION WITHIN NEW DRIVEWAY CONNECTION, TYP.

EXISTING 6" BITUMINOUS PAVEMENT CURB, TO REMAIN, TYP.

GENERAL LAYOUT NOTES:

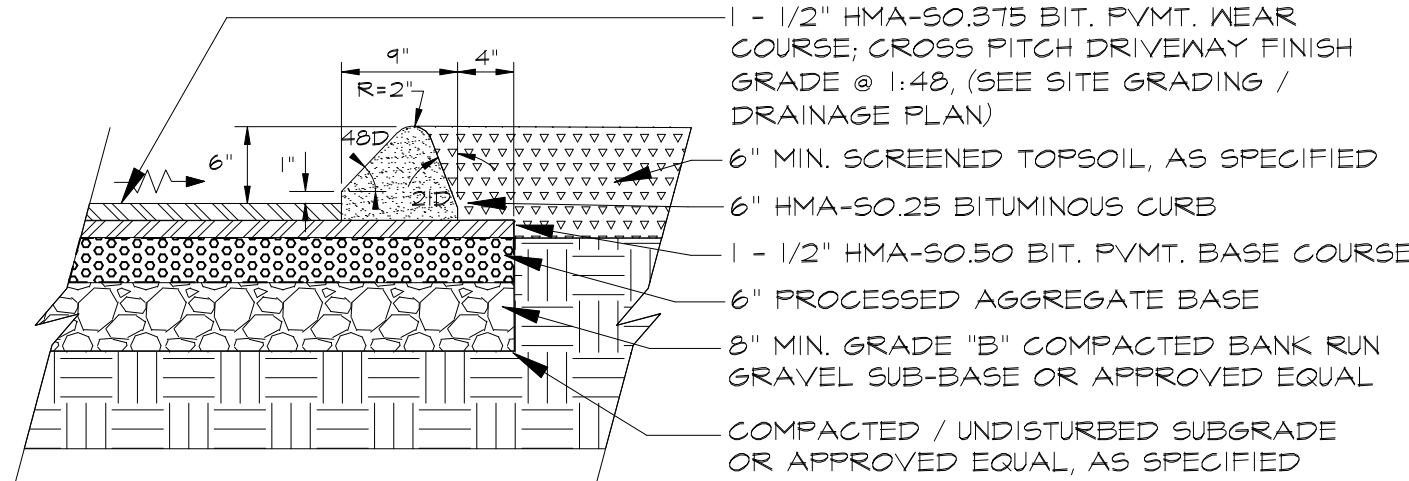
- Existing Site Area Property Survey, Existing Topography, Structures, Site Improvements, Storm Drainage, Utilities, substantive Vegetation Masses taken from Field Survey Map prepared and certified by Mr. Jerry P. Maher, Jr., L.S.; Neriani Land Surveying, LLC.; 56 Hillerest Drive, Barkhamsted, CT 06063; entitled "Asbuilt Prepared For 18 Mill Pond, LLC; 18 Mill Pond Drive; Granby, Connecticut"; prepared for: 18 Mill Pond, LLC; 16 Notch Road, Granby, Connecticut; Dated: September 13, 2024; Scale: 1" = 20'; Sheet S.1; certified to A - 2 / T - 2 accuracy, as noted.
- The Contractor shall check and verify all dimensions and other existing conditions. Any discrepancies shall be reported to the Owner or designated Engineer or Landscape Architect before proceeding with any work. Any work started before acceptance by the Owner, or designated representative shall be the sole responsibility of the Contractor and shall be the subject to correction without additional compensation.
- A Pre-Construction Meeting with Owner and applicable Town Staff, to confirm activities for approved site development improvements and requisite Sedimentation and Erosion Control Measures, shall be required of the Contractor, prior to any site disturbance. Contact Planning Department to schedule requisite Pre-Construction Meeting prior to construction activity.
- Coordinate the site work with other Contractors and Utility Agencies performing work on site.
- All construction is to be done in accordance with Town of Granby regulations, specifications and standards and applicable sections of the State of Connecticut D.O.T., Form 818-2020, "The Standard Specifications For Roads, Bridges And Incidental Construction", and as amended.
- All layout dimensions for the proposed Driveway, Parking and other related site improvement components on this Plan are taken from the inside face of the pavement where curbs are proposed and from pavement edge on uncurbed sections. All proposed vehicle pavement is to be bituminous pavement, unless otherwise noted. All proposed vehicle pavement curbing is to be bituminous curb, or integral concrete curb as part of monolithic concrete sidewalk, unless otherwise noted.



GENERAL NOTES:
1) ALL SAW CUT AND SEALED JOINTS TO BE EITHER PARALLEL WITH OR PERPENDICULAR TO THE CENTERLINE OF THE PIPE.
2) ALL MATERIALS ARE TO MEET CT D.O.T. FORM 818-2020, AND AS AMENDED.

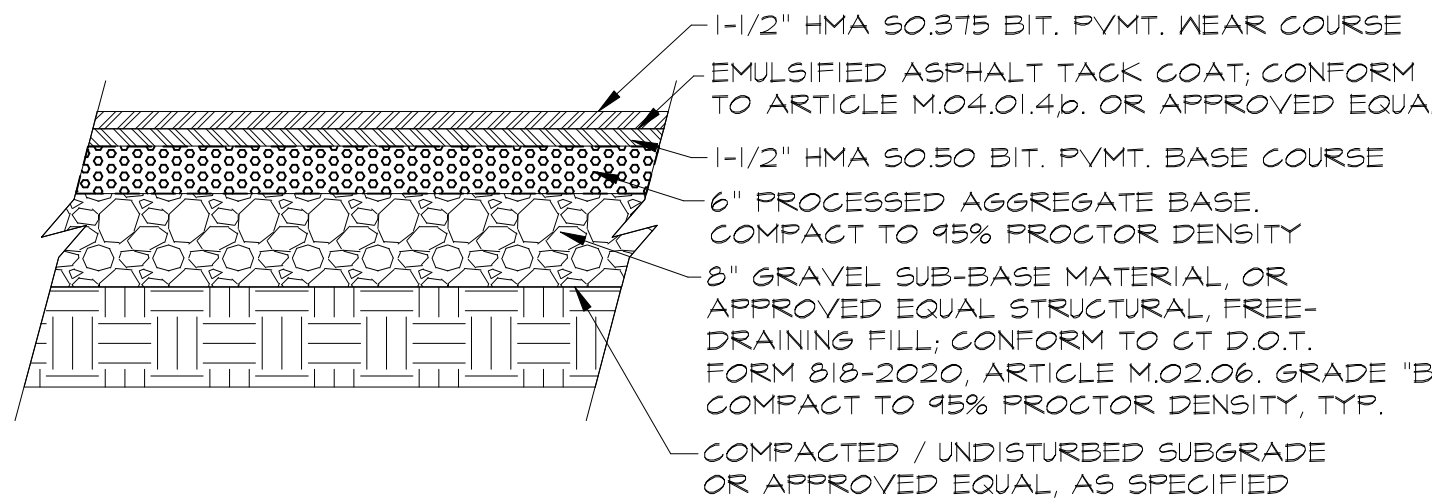
Bituminous Pavement Patch Detail:
Scale: N.T.S

NOTES: 1) CURBING MATERIAL TO BE HMA-50.25 BITUMINOUS CONCRETE, PER CONN. D.O.T. FORM 818 - 2020, AS AMENDED, SECTION 8.15 & ARTICLE M.04.03. 2) CURBING TO BE LAID ON TOP OF BITUMINOUS BASE COURSE. 3) TACK COAT TO BE PG 645-22, APPLIED PRIOR TO CURB PLACEMENT AS REQUIRED. COATING TO BE APPLIED PER CONN. D.O.T. FORM 818 - 2020, AS AMENDED, ARTICLE M. 04.02.2, AS SPECIFIED.



Bituminous Vehicle Pavement Curb:
N.T.S.

NOTE: MATERIALS TO CONFORM TO THE CONN. D.O.T. FORM 818-2020 CRITERIA, AND AS AMENDED, (OR APPROVED EQUAL, AS SPECIFIED), BITUMINOUS PAVEMENT SECTION 4.06, & ARTICLE M.04.01 - M.04.03; PROCESS AGGREGATE SECTION 3.04, & ARTICLE M.05.01-1.2 & 3; COMPACTED GRAVEL SUB-BASE SECTION 2.12; ARTICLE M.02.06.



Bituminous Vehicle Pavement:
Scale: N.T.S.

SITE PLAN MODIFICATION APPLICATION
APPROVED BY THE TOWN OF GRANBY PLANNING
AND ZONING COMMISSION ON MAY 10, 2025

CHAIRMAN'S SIGNATURE

DATE

SITE DEVELOPMENT / APPLICATION REFERENCE NOTES:
1.) SPOT ELEVATIONS, GRADING & DRAINAGE, LAYOUT DIMENSIONS, EROSION & SEDIMENTATION CONTROLS, LANDSCAPE PLANS AND RELATED DETAILS FOR THE PROPOSED 24' DRIVEWAY CONNECTION ARE INCLUDED IN THE CONCURRENT SITE PLAN & SPECIAL PERMIT APPLICATIONS FOR 14 MILL POND DRIVE.

SITE DEVELOPMENT: SHARED ACCESS & PARKING REFERENCE NOTE:
A SHARED PARKING / ACCESS AGREEMENT FOR BOTH #14 & #18 MILL POND DRIVE WILL HAVE TO BE EXECUTED AND FILED ON THE TOWN'S LAND RECORDS, AS A CONDITION OF APPROVAL FOR THIS SITE PLAN / SPECIAL PERMIT, (PER ZONING SECTION 7, ARTICLE 3, ITEM 1.)



Drawing Title:
Proposed Commercial Facility:
#18 MILL POND DRIVE, GRANBY, CT
SITE PLAN
MODIFICATION

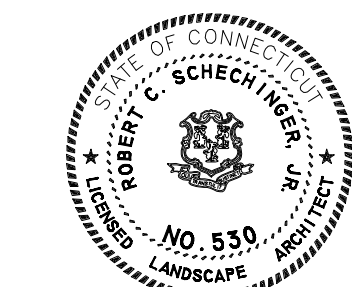
18 Mill Pond, LLC
161 NOTCH ROAD, GRANBY, CT 06035

Prepared For:

1" = 20'

Scale:

Seal:



Prepared By:
Robert C. Schochinger, Jr. ASLA
772 Farmington Avenue
Farmington, CT 06032
Telephone: (860) 478 - 7839
Email: Biff.Design@sbcbglobal.net
Website: BiffLandDesign.com

Sheet No.

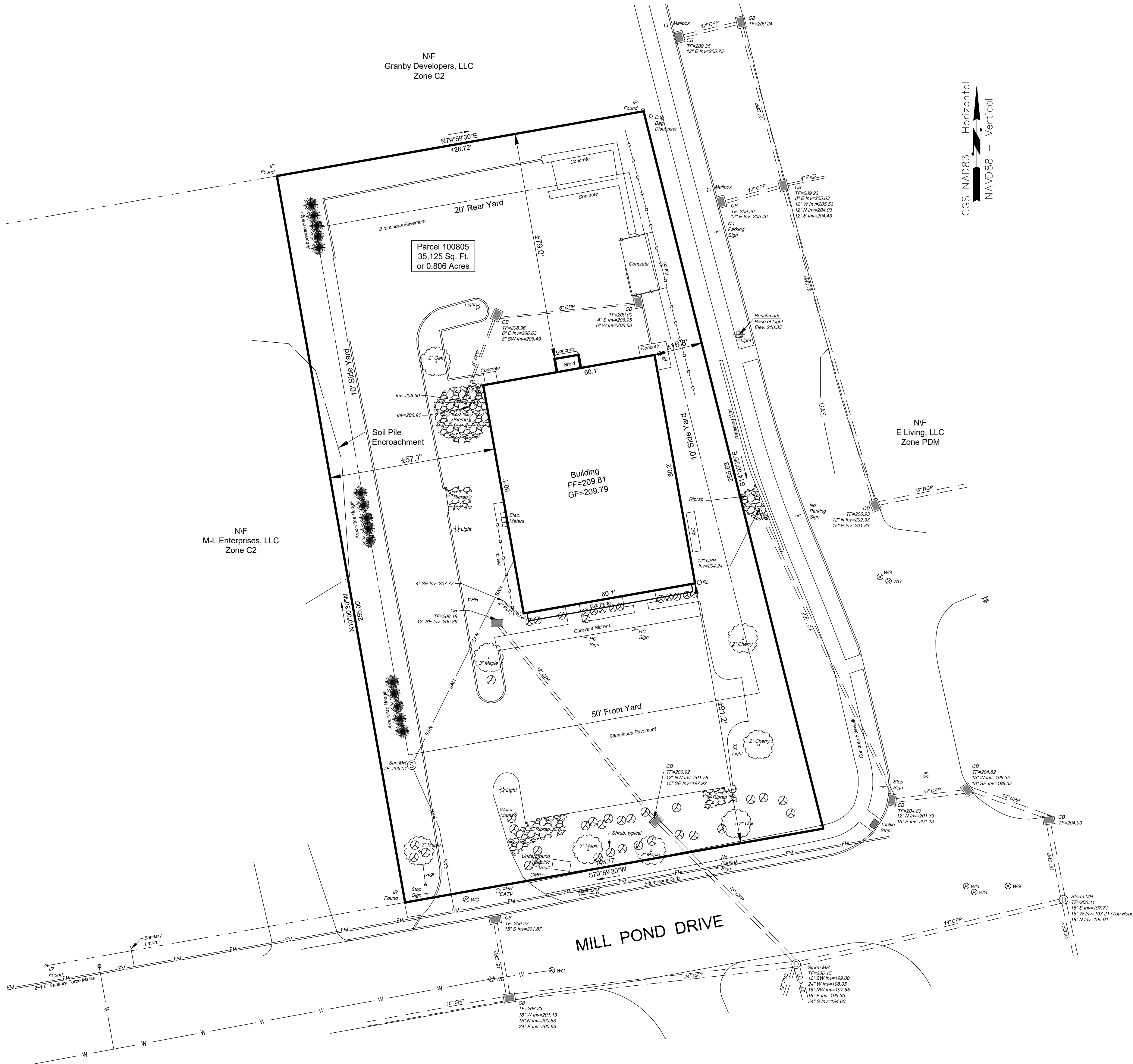
L.1

Map References:

1. "Subdivision Prepared For Michael B. and Eileen K. Guarco, Salmon Brook Street, Granby, Connecticut, Scale: 1 In. = 40 Ft., Date: 3/23/98", Alford Associates, Inc.

Notes:

1. Parcel is located in Zone C2 - Commercial
2. Underground utility locations were provided by others.




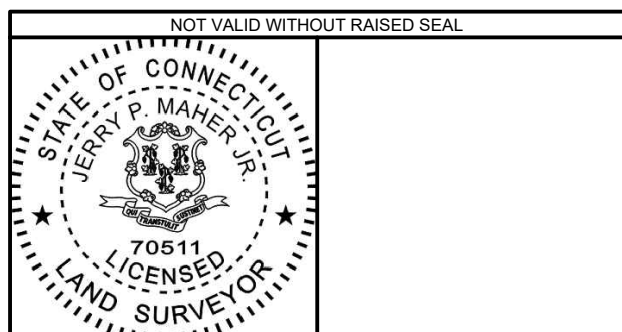
THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.

THIS IS A PROPERTY SURVEY BASED UPON A DEPENDENT RESURVEY.

CLASS OF ACCURACY: CLASS A-2 / T-2.

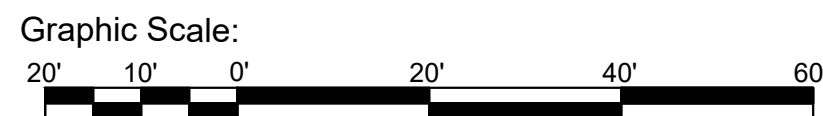
TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.


JERRY P. MAHER JR. - LAND SURVEYOR
CT LSX.0070511



These drawings are the property of the Surveyor and have been prepared specifically for the Owner of the Project at this site. They are not to be used for any other purpose, location, or person without the written consent of the Surveyor.

No declaration is expressed or implied unless these plans bear the live signature and embossed seal of the Surveyor whose name appears hereon.



Revisions:
1. June 4, 2025: Add shrub locations

Asbuilt
Prepared for
18 Mill Pond, LLC
18 Mill Pond Drive

Granby Connecticut
Scale: 1"=20' September 13, 2024

Prepared By
Neriani Land Surveying, LLC
56 Hillcrest Drive - Barkhamsted, Connecticut 06063
(860) 677-7732

DRAWN BY:	CHECKED BY:	JOB NO.	SHEET No.
GRA	JPM	21-14	S.1

TOWN OF GRANBY

MEMORANDUM

TO: Planning and Zoning Commission

CC: Lost Acres Orchard Operating Co., LLC

FROM: Abby Kenyon, Director of Community Development

DATE: June 3, 2025

RE: Application seeking a Special Permit modification for an existing farm store under Zoning Regulations Section 8.15.17, to allow a tent for property located at 130 Lost Acres Road, R2A Zone: File Z-9-25.

The Commission approved a Special Permit for a farm store in November of 1998. The farm store later opened in 1999 and has operated from the property since then. In 2012, the Commission approved an expansion to the farm store. The expansion included a 632 square foot addition for an open porch space and an additional 276 square feet of enclosed space for a walk-in cooler and storage. The porch area was also approved for display and to provide additional seating. This expansion was approved with the condition that there shall be no parking on Lost Acres Road. In 2018, the Commission approved another expansion. This allowed an existing porch to be enclosed and the construction of an open deck. It should be noted the farm store is located on a 17.59 acre property in the R2A zone.

The applicants are now before the Commission seeking approval to erect a 10 foot by 10 foot tent on the property. As shown on the attached aerial, the tent will be located either immediately to the west of the existing barn or to the east of it, closer to the orchard area. This tent will be used to make and sell donuts from during the fall season. While this could be considered accessory to the overall operation, location of the tent does require Commission review as the area was not previously approved for farm store activities under the previous special permits.

Commission Considerations:

As stated in the applicant's narrative, the tent would be erected from August to October. It is noted that based on demand, an expansion of the months may be needed. When considering another tent application within the past several years, the Commission set a 180 day per calendar year limit. Due to the relatively small size of this proposed tent, the Commission may want to consider if a similar 180-day time limit is applicable or if it should be modified.

It is not expected that this proposal would result in an increase in traffic or activity to the property, as it will likely be utilized by customers already visiting the orchard. Therefore, it is staff's opinion that no additional parking would be needed for this expanded area.

130 Lost Acres Road



Lost Acres Orchard Operating Company, LLC
Greg and Melissa Bennett

Location: 130 Lost Acres Rd.

North Granby, CT 06060

Email: Greg@lostacresorchard.com

Cell: 860-324-7872

Date: 04/30/2025

We are writing to submit a proposal for the operation of a donut machine at Lost Acres Orchard at 130 Lost Acres Rd. North Granby, CT

1. Project Overview

The proposed project involves the use of a Belshaw donut machine at Lost Acres Orchard. The machine will produce a variety of freshly made donuts, catering to the local community that visits the orchard to enjoy nature and purchase items from the Farmstore.

2. Purpose and Benefits

The benefits of the donut machine include:

- **Convenience:** Quick and easy access to freshly made cider donuts for customers visiting the orchard during peak Peach and Apple season from August - October. Based on demand, we may look to expand the months fresh cider donuts are available.
- **Quality:** Use of high-quality ingredients to ensure delicious and safe products including cider containing our apples from the farm. We are currently partnering with another cider mill in CT to press our apples until we are able to bring our current cider mill up to code with the state.
- **Economic Impact:** Many visitors come from surrounding towns to visit the orchard. We have seen a recent uptick in customers traveling from as far away as the CT shore, New York City, and neighboring states to escape to the country and enjoy our small, local, family owned and operated farm.

- **Employment Opportunities:** At least 1 additional part time employee would be needed to help with the operation and sales of donuts, in the future, 2-3 part time employees may be needed to support donut production.

3. Compliance with Zoning Regulations

The proposed location is zoned R2A. We are submitting this proposal to ensure that we are compliant with all relevant zoning regulations and standards. Specific measures include:

- **Site Plan:** We are not planning to use the current FarmStore due to the small footprint of that facility and lack of hood to accommodate grease laden vapors. Instead, we are planning to setup a 10x10 fire retardant tent on the weekends (see attached Map with labeled areas on page 3).
 - The tent will provide cover from the elements and has been reviewed by the Town of Granby Fire Marshal to comply with applicable code for use with the donut machine.
 - With the tent erected, we will also place barriers around the tent to comply with the location requirements in section 3103.5.4 to ensure 20 ft. distance from lot lines, buildings, other tents or membrane structures, parked vehicles or internal combustion engines.
- **Health and Safety:** The donut machine will meet all health and safety standards, including proper sanitation and waste disposal. FVHD has already been consulted on our plans and provided approval while onsite inspecting the FarmStore in March 2025 (We received an A grade from that inspection).
 - Review of building codes indicate that a permit is not required from the building official under 3103.5.1 since the tent will be under 400 sq. ft. and will be greater than 12 ft. from any building or structure.
 - In addition, since the tent will be taken up and down on a regular basis (weekends in the summer and fall), as noted in section 3103.5.2 Use Period, it will fall within the 180 day temporary tent provision.
 - Visitors to the farm will not be allowed under the tent and appropriate barriers will be in place to restrict access to the public.
- **Noise Control:** Measures will be implemented to minimize noise by using electricity supplied by our out buildings to minimize the use of a generator during the donut making process.

- **Accessibility:** The location will be accessible to all members of the community, including those with disabilities whether sales are outside near the tent or inside at the Farmstore.

4. Conclusion

The use of the donut machine at Lost Acres Orchard will provide an additional option for our community to enjoy fresh locally made and locally sourced ingredients.

Thank you for considering this proposal. We look forward to working with the Planning and Zoning Department to bring this exciting project to fruition.

Sincerely,

Greg and Melissa Bennett (Owners)

Proposed locations for
donut making tent
(Of Note: not on GLT
Easement).

1.

2.



TOWN OF GRANBY

MEMORANDUM

TO: Planning and Zoning Commission

CC: Yoelin Sanchez

FROM: Abby Kenyon, Director of Community Development

DATE: June 3, 2025

RE: Application seeking a Site Plan Modification under Zoning Regulations 8.16.10 for outdoor dining for property located at 518 Salmon Brook Street, Las Potras Mexican Restaurant, I Zone: File Z-10-25.

The applicant is seeking a site plan modification to add outdoor dining in front of Las Potras Mexican Restaurant. As shown in the photos below, there is a sidewalk that runs along the front of the restaurant. The applicant would like to locate three tables on the sidewalk to the right of the main entrance door and two tables on the sidewalk to the left of the door. This area is under the existing building overhang. There is an outer sidewalk that would provide an unobstructed path.

Below is the outdoor dining regulation, with staff comments following each section where applicable:

8.16.10 Outdoor dining areas may be permitted as an accessory use to an approved restaurant, subject to site plan review and approval by the Commission, provided the application complies with the following:

8.16.10.1 The outdoor dining area shall not exceed 40% of the restaurant gross floor area. The outdoor dining area shall be measured by drawing a rectangle around the area that encompasses all tables and chairs, but shall exclude any travel paths from the principal building to the outdoor dining area. The restaurant gross floor area shall be measured by calculating the sum of the floor areas of the spaces within the building occupied by the restaurant, excluding any basement or attic space storage areas.

Comment: If approved by the Commission, the total outdoor dining area would be about 258 square feet. The restaurant is approximately 2,200 square feet. Therefore, the total allowable outdoor dining area could be up to 880 square feet. The proposed 258 square foot outdoor dining area is well below the maximum area allowed (11.7%).

8.16.10.2 The outdoor dining area will not create visibility problems for motorists or pedestrians and will not result in interference with pedestrians or vehicular traffic. Where

outdoor dining is proposed on or adjacent to a sidewalk, at least 48 inches of unobstructed sidewalk space shall be maintained.

Comment: The proposed area is located on the sidewalk in front of the building. It is separated from the parking lot by a landscaped strip and an additional sidewalk, that will remain unobstructed.

8.16.10.3 Seating shall be located in such a manner as to not restrict access by emergency services to any portion of the building.

Comment: The proposed location would not impact emergency services.

8.16.10.4 If outdoor dining is to be located in a parking space or driveway, the outdoor dining area shall be located adjacent to the principal building. If outdoor dining is located in a parking space, it shall occupy no more than four parking spaces, unless the number of parking spaces on the property exceeds the minimum number required for the use, in which case the excess spaces may be used for outdoor dining.

Comment: The proposed area is located on the sidewalk.

8.16.10.5 The outdoor dining area shall be separated from the parking area with walls, fencing, plantings, or other means to ensure the safety of diners. This requirement may be waived by the Commission when the proposed seating is to be located on a sidewalk, is separated from the parking area with curbing, there are other existing barriers, or the outdoor dining configuration ensures separation.

Comment: As previously stated, the proposed area is separated from the parking area with a sidewalk and landscaped buffer. Due to its location, it is staff's opinion no other separation means are necessary.

8.16.10.6 Any lot, yard, court or open space abutting the approved restaurant may be used for outdoor dining provided the lot, yard, court or open space is located in a zone that allows restaurants, such use is in compliance with any applicable requirements for access or pathways pursuant to physical accessibility guidelines under the federal Americans with Disabilities Act, 42 USC 12101, et seq., as amended from time to time, and approved written authorization from the abutting property owner to use the area for outdoor dining is obtained and provided to the Commission. Upon the expiration or termination of the written authorization, the area shall be restored to its prior condition.

Comment: The proposed area is located on the same property as the restaurant.

8.16.10.7 Submission of a litter control plan, including policies to be followed by employees in keeping the premises free of litter originating from the site, is required and the location and design of trash receptacles shall be shown on the site plan.

Comment: As stated in the applicant's narrative, the tables will be cleared after each customer finishes a meal. Staff will monitor the area and remove any additional litter. A trash can will also be placed outside near the door.

8.16.10.8 No additional parking shall be required.

Comment: No changes needed to the plan.

8.16.10.9 Hours of operation for the outdoor dining area shall be limited to 9 PM, except on Fridays and Saturdays when outdoor dining shall be permitted until 10 PM.

Comment: The applicant is to note the hours.

8.16.10.10 If outdoor lighting is proposed, all fixtures must be full cutoff and dark sky compliant. The applicant shall submit cut sheets of the proposed fixtures and note the hours of lighting operation. A photometric plan may be required to demonstrate the lighting will not result in glare or adverse impacts on surrounding properties.

Comment: The applicant is asked to confirm that no outdoor lighting is proposed.

8.16.10.11 All tables, chairs, trash receptacles, outdoor heaters, etc. shall be removed at the end of each outdoor dining season or secured when not in use. If they are to remain on site outdoors, a storage plan shall be submitted for review and approval by the Commission.

Comment: The applicant is asked to provide information about this requirement. Will any tables/chairs remain on site? If so, provide details where they will be stored.

8.16.10.12 A tent or other temporary structure may be installed to cover the outdoor dining area. If 50% or more of the sides will be down to enclose the dining area, the outdoor dining area shall be treated as indoor dining and the site will have to comply with all other applicable regulations, including parking space requirements.

Comment: No tent or other structure is proposed.

8.16.10.13 A public address system or other system intended to convey verbal messages is prohibited.

Comment: The applicant is to note this.

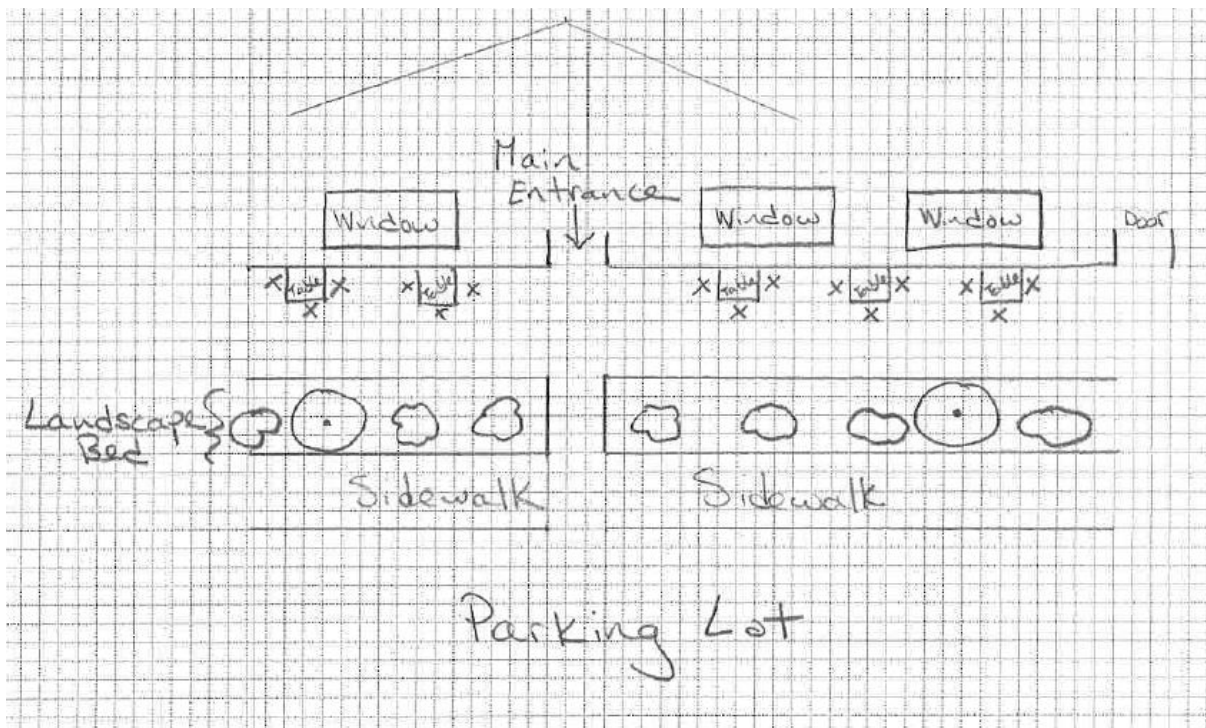
8.16.10.14 Special Permit approval is required for any proposed outdoor entertainment or music in the outdoor dining area, subject to the following criteria and Section 8.2. If approved by the Commission, light music may be permitted until 9 PM Sunday through Thursday and until 10 PM on Friday and Saturday. The decibel level for music may not exceed 50db, measured from the property line. When considering the Special Permit, the Commission may set conditions on entertainment to mitigate potential negative impacts on surrounding properties. Conditions may include, but are not limited to, frequency, time of day, use of amplified equipment, and duration.

Comment: No outdoor entertainment is proposed.

8.16.10.15 The applicant shall provide a site plan containing sufficient information for the Commission to review the proposal and its impacts on the site and surrounding area. A fully engineered site plan is not required for outdoor dining applications but at a minimum, the site plan shall be drawn to scale and shall indicate any tables, chairs, trash receptacles, etc. associated with outdoor dining in relation to buildings, sidewalks, parking spaces, and driveways.

Comment: The Commission is to refer to the sketch on the following pages and the photos.

518 Salmon Brook Street







Narrative

Las Potras Mexican Restaurant
518 Salmon Brook St. Suite 8/9, Granby

My plan for the outdoor dining is 2 “4 square feet” tables placed in front of the right side window of the main entrance and 3 “4 square foot” tables in front of the left window from the main entrance. The width of the area to be used is 4 feet and the length is 36 feet. There will be about 1 feet and 8 inches of free space between the table/chair usage and the grass section. There is also an additional space of sidewalk after the grass section that will remain empty. The trash/litter will be removed immediately after the customer leaves, the staff will be walking around multiple times making sure the area remains clean with no litter. We will also place a trash bin outside of the doorway.

TOWN OF GRANBY

MEMORANDUM

TO: Planning and Zoning Commission

FROM: Abby Kenyon, Director of Community Development

DATE: June 4, 2025

RE: Connecticut General Statutes Section 8-24 Referral—Sale of Town Property, 83 Salmon Brook Street

Background

The Town purchased 83 Salmon Brook Street in 2011 for \$90,000. The purchase of the property provided the Town control over future development of the area, including access to the rear property. At the time of purchase, the building needed extensive improvements. In 2012, the Town issued a Request for Proposals (RFP) and was able to negotiate an arrangement where Peppermill Country Deli & Bakery agreed to make all the improvements and maintain the property. The lease was signed in April 2012 and was to expire December 31, 2018, with an additional option to extend. In 2018, the Town authorized the sub-lease of the property to Freshies Café. The agreement with Freshies Café terminated December 31, 2023 and the property has been unoccupied since.

An RFP was issued last year seeking either a lease or sale. Two responses were received, and the Town engaged in further discussion with one of the respondents. After several months of discussing a lease arrangement, the respondent did not respond to a final offer by the Town.

At its meeting on June 2, 2025, the Board of Selectmen discussed the matter and referred it to the Planning and Zoning Commission under Connecticut General Statutes §8-24. The Commission is to evaluate this proposal for consistency with the Plan of Conservation and Development and is to report their findings to the Board of Selectmen.

Next Steps

If the Commission finds that the sale of 83 Salmon Brook Street is consistent with the Plan of Conservation and Development, the Commission is asked to make a motion to this effect and it will be reported back to the Board of Selectmen.

Property Aerial

